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Dwg. No. Sheet Title

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VIVIAN GORDON HARSH APARTMENTS RENOVATION

4227 S OAKENWALD AVENUE, CHICAGO, IL 60653

Application #: 100902815

ARCHITECT/ENGINEER OF RECORD:
URBANWORKS
 ARCHITECT - BUILDING ENVELOPE:
BAUER LATOZA STUDIO
 CIVIL ENGINEER:
D'ESCOTO
 LANDSCAPE ARCHITECT:
ACCENT URBAN DESIGN
 STRUCTURAL ENGINEER:
RUBINOS & MESIA
ENGINEERS, INC
 M/E/P ENGINEER:
PRIMERA ENGINEERING

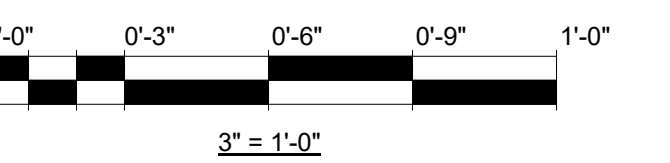
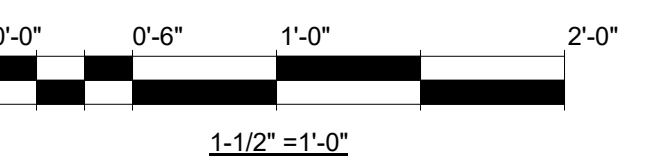
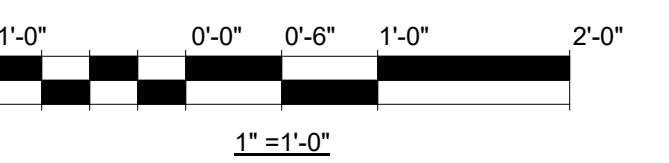
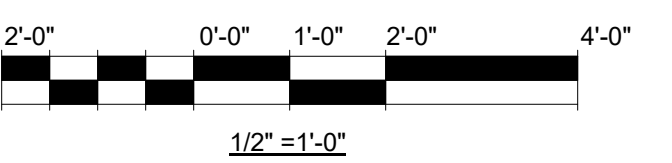
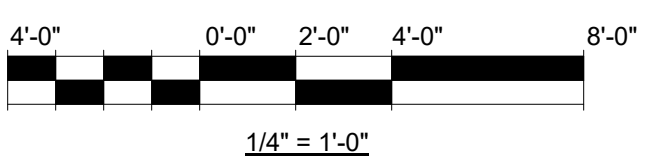
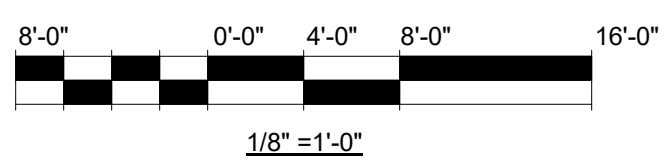
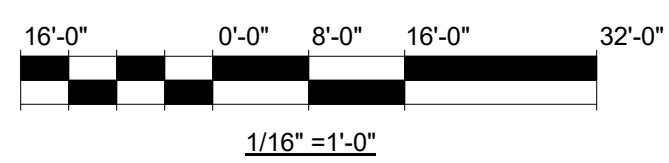
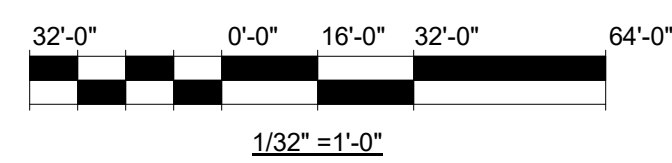
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| # | DESCRIPTION | DATE |
|---|--------------------------------------|------------|
| | ISSUED FOR SCHEMATIC DESIGN | 2020.03.06 |
| | ISSUED FOR DESIGN DEVELOPMENT | 2020.04.01 |
| | ISSUED FOR 90% CD | 2020.07.21 |
| | ISSUED FOR 90% CD | 2020.08.11 |
| | ISSUED FOR 100% CD ISSUED FOR PERMIT | 2020.12.18 |
| | ISSUED FOR PROCUREMENT | 2021.01.22 |
| | ISSUED FOR BID AND PERMIT PHASE 'A' | 2021.02.24 |

CHA CONTRACT NO: 12015-054AD

TITLE
DRAWING INDEX

SHEET
G0.01 'A'



1. ALL WORK PERFORMED SHALL COMPLY WITH THE CONTRACT DOCUMENTS. COORDINATE THE INTENT OF THE GENERAL NOTES WITH ALL TRADES.

2. SPECIFICATIONS, BOUND SEPARATELY, ARE PART OF THE CONTRACT DOCUMENTS.

3. THE ORGANIZATION OF THE DRAWINGS AND SPECIFICATIONS SHALL NOT CONTROL THE CONTRACTOR IN DIVIDING THE WORK AMONG SUBCONTRACTORS OR IN ESTABLISHING THE EXTENT OF WORK TO BE PERFORMED BY ANY TRADE.

4. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE CONTRACT DOCUMENTS SPECIFICATIONS. IF CONFLICT IS FOUND, CONSULT THE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.

5. NO DEVIATION FROM CONTRACT DOCUMENTS SHALL BE MADE WITHOUT WRITTEN APPROVAL OF THE ARCHITECT.

6. THE STRUCTURAL, MECHANICAL PLUMBING AND ELECTRICAL DRAWINGS (WHERE APPLICABLE) ARE SUPPLEMENTARY TO THE ARCHITECTURAL DRAWINGS. CHECK WITH THE ARCHITECTURAL DRAWINGS BEFORE THE INSTALLATION OF STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL WORK. SHOULD THERE BE A DISCREPANCY BETWEEN THE ARCHITECTURAL DRAWINGS AND THE CONSULTING ENGINEERS' DRAWINGS THAT WOULD CAUSE AN ANKWARD INSTALLATION, IT SHALL BE BROUGHT TO THE ARCHITECTS ATTENTION FOR CLARIFICATION PRIOR TO INSTALLATION OF SAID WORK. ANY WORK INSTALLED IN CONFLICT WITH THE ARCHITECTURAL DRAWINGS SHALL BE CORRECTED BY THE CONTRACTOR WITHOUT CHANGE IN CONTRACT SUM OR TIME.

7. DO NOT SCALE DRAWINGS. DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALES SHOWN ON DRAWINGS. VERIFY ALL DIMENSIONS, GRADES AND CONDITIONS AT THE SITE PRIOR TO COMMENCING THE WORK, AND REPORT ANY DISCREPANCIES TO THE ARCHITECT IN WRITING. ALL DIMENSIONS ON ARCHITECTURAL DRAWINGS LOCATING INTERIOR AND EXTERIOR WALL ARE SHOWN AT FINISH FACE OF WALLS, U.O.N.

8. ALL SYMBOLS AND ABBREVIATIONS USED ON THE DRAWINGS ARE CONSIDERED TO BE CONSTRUCTION STANDARDS. IF THE CONTRACTOR HAS QUESTIONS REGARDING SAME, OR THEIR EXACT MEANING, THE ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATION.

9. WHERE A TYPICAL CONDITION IS DETAILED, IT SHALL BE UNDERSTOOD THAT ALL LIKE OR SIMILAR CONDITIONS ARE THE SAME UNLESS SPECIFICALLY NOTED OR DETAILED OTHERWISE.

10. FINISH FLOOR ELEVATIONS ARE TO TOP OF FINISH CONCRETE UNLESS OTHERWISE NOTED.

11. CEILING HEIGHT DIMENSIONS ARE TO FINISHED SURFACES.

12. ALL CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF EFFECTIVE CODES, INCLUDING THOSE LISTED ON THIS SHEET.

13. PROVIDE CONSTRUCTION BARRICADES OR FENCING AS APPROVED BY PUBLIC SAFETY, PRIOR TO COMMENCING THE WORK.

14. FIRE PROTECTION EQUIPMENT AND SERVICE ACCESS MUST BE PROVIDED DURING THE CONSTRUCTION PERIOD AS REQUIRED BY THE FIRE & SAFETY AUTHORITY.

15. PROVIDE TEMPORARY EXIT SIGNS TO ASSURE A MEANS OF EGRESS DURING CONSTRUCTION.

16. NOT USED

17. NOT USED

18. OBTAIN NECESSARY PERMITS FROM THE CITY OF CHICAGO, DIVISION OF INDUSTRIAL SAFETY OSHA DEPARTMENT, FOR TRENCHES OR EXCAVATIONS GREATER THAN 5 FEET DEEP INTO WHICH A PERSON IS REQUIRED TO DESCEND FOR CONSTRUCTION PURPOSES.

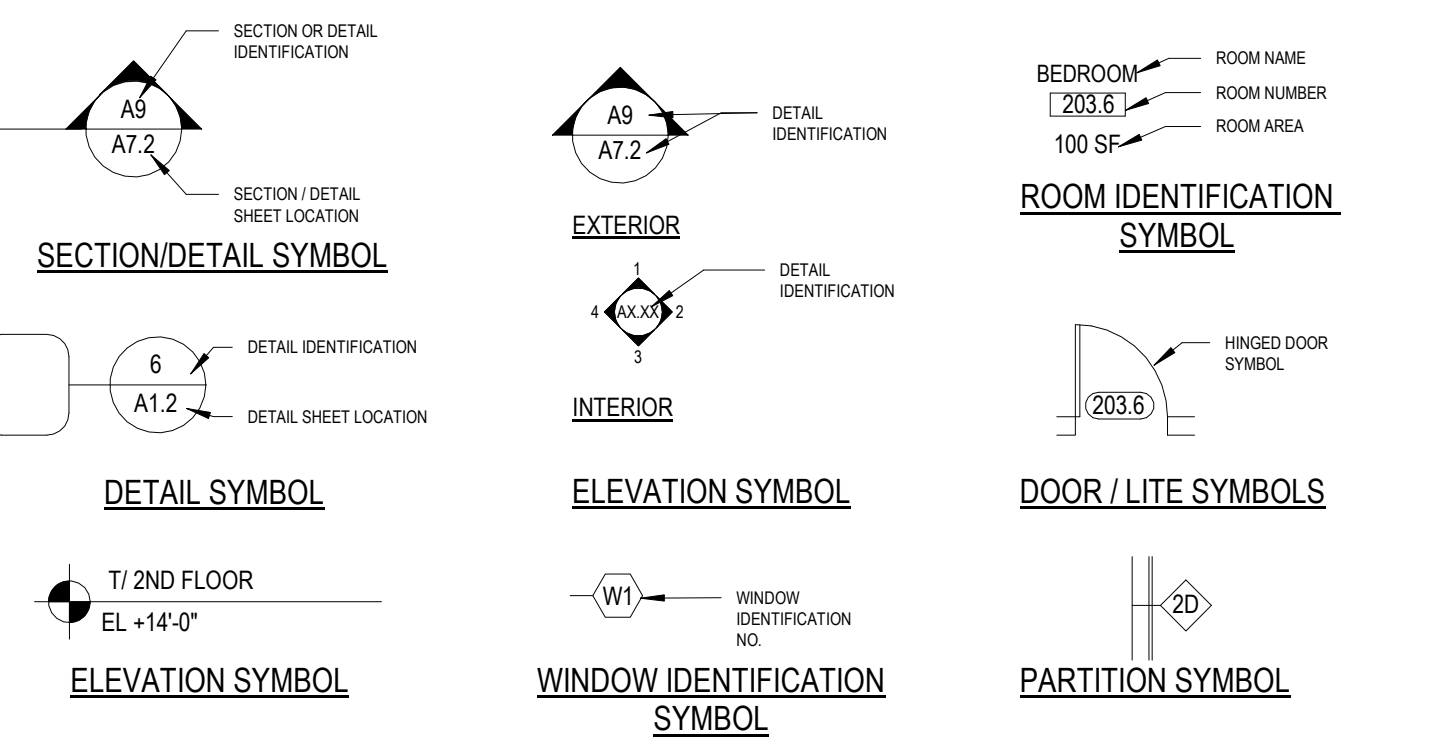
19. PUBLIC IMPROVEMENTS AND SERVICES ADJACENT TO THE SITE SHALL BE MAINTAINED DURING CONSTRUCTION.

44. ROOFING SYSTEM SHALL BEAR U.L. LISTING AS A CLASS "B" SYSTEM. ALL MANUFACTURED MATERIALS USED SHALL BEAR THE APPROPRIATE U.L. LABEL. REFER TO PROJECT SPECIFICATIONS.

45. CONTACT BETWEEN DISSIMILAR METALS SHALL BE PROTECTED. REFER TO PROJECT SPECIFICATIONS.

71. NOT USED.

SYMBOLS/ MATERIAL LEGEND



| | | |
|-------------------------------------|-----------------------------|---------------------------------|
| CONCRETE (CAST IN PLACE OR PRECAST) | WOOD, FINISHED | LIMESTONE OR CAST STONE / NOTED |
| BRICK | WOOD, ROUGH | PLASTER / GYPSUM PLASTER |
| CONCRETE MASONRY UNIT | STRUCTURAL STEEL | DRYWALL (GYPSUM BOARD) |
| EARTH | INSULATION | MEMBRANE |
| BATT INSULATION | GLAZED MASONRY UNIT / NOTED | ACOUSTICAL TILE |
| GASKET / COMPRESSIBLE FILLER | RIGID INSULATION | MORTAR / SETTING BED |
| SEALANT AND BACKER ROD | RIGID INSULATION, TAPERED | PLYWOOD |
| CONTINUOUS WOOD BLOCKING | STEEL / STAINLESS STEEL | CARPET |
| INTERMITTENT BLOCKING / SHIMS | GRAVEL / GRANULAR FILL | ALUMINUM |

ABBREVIATIONS

| | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
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| AB Anchor Bolt | AC Air Conditioner | ACP Aluminum Composite Panel | AD Fire Door | ADA American with Disabilities Act | ADAA ADA Accessible | ADAA ADA Accessibility Guidelines | ADJ Adjustable or Adjacent | AFP Above Finish Floor | ALS Acrylic Latex Sealant | ALY Aluminum | ALUM Aluminum | ANOD Anodized | AP Access Panel | APPROX Approximately | APT Apartment | AR Above Recessed | ARCH Architectural | AS Acoustical Sealant | ASSOC Associated | AT Acoustic Tile | ATTEN Attention | BA Bottom Of | B-MARK Benchmark | BD Board | BEJ Building Expansion Joint | BOF Bolts | BSF Blown-In Joint Filler | BLDG Building | BLK Block | BLKG Blocking | BM Beam | BMT Bit | BSK Bit | BRS Butyl Rubber Sealant | B-TWIN Between | CC Center to Center | CAB Cabinet | CCTV Closed Circuit Television | CB Catch Basin | CF Cubic Feet / Feet | CFRG Ceramic Fire Rated Glass / Glazing | CJ Control Joint (CONCRETE CMU) | CJF Cork Joint Filler | CL Center Line | CLG Ceiling | CLO Closet | CUR Clear Opening | CLSM Classroom | CS Cabinet | CONC Concrete | CONCP Concrete Painted | COND Condition | CONRT Construction | CONTR Contractor | CONC Concrete | CORR Corridor | CPT Carpet (Wall to Wall) | CMU Concrete Masonry Unit | CMUP CMU Painted | CD Clean Out | CGO Ceramic Tile | CT Ceramic Tile | DEMO Demolition / Demolish | DES Design | DF Drive/Fraction | DH Double Hung | DIA Diameter | DM Dimension | DN Down | DS Down Spout | DTL Detail | DWG Drawing | DWM Department of Water Management | EA Each | EC Exposed Construction / Electrical Connector | ECP Exposed Construction/Panel | EFTS Egress Finish System | EFS Exterior Insulated Finish System | EJ Expansion Joint (Block Masonry) | EL Elevation | ELEC Electrical | ELEV Elevation / Elevations | EM Emergency | ENCL Enclosure | EQ Equipment | ETC Etc | ES Existing | EWH Exhaust | EXP Expansion | EXT Exterior | FACP Fire Alarm Control Panel | FD Floor Drain | FEC Fire Equipment Connection | FETN Firearm | FE ABC Fire Extinguisher (Surface Mounted) | FEC ABC Fire Extinguisher (Cabinet, rated as req'd) | FHS Fire Hose Station | FN Finish | FRT Finish | FSR Floor | FLSHG Flashing | FF Factory Finish | FF & E Furniture Furnishings and Equipment | FF E Finished Floor Elevation | FF Fire | F.L. Fire Lined | FTG Fitting | GA Gauge | GALV Galvanized | GB Grab Bar | GC General Contractor | GFCM Ground/Faced Concrete Masonry (UHM) | GL Glass | GRND Ground | GSP Gross Square Foot / Feet | GYP Gypsum | GWB Gypsum Wall Board | H Height | HB Hard Board | HC Hollow Core | HD Hot Dipped (galvanized) | HDR Hardware | HNCG Hollow Neoprene Compression Gasket | HR Horizontal | HM Hollow Metal | HP High Point | HR Hour | HT Height | HTD Heating | IAC Inhibit Accessibility Code | IE This is | ID Inside Diameter | IN Inch | INCL Including | INFO Information | INSL Insulation (see) | JBOX Janitor's Closet | JC Junction Box | JT Joint | CLSM Classroom | KT Kitchen | L Length, Long | LAM Laminated | LAV Lavatory | LBL Label | LF Lower Foot / Lower Feet | LP Low Point | LR Living Room | LS Limestone | LT Light | LVL Lintel | MKS Masonry | MACH Machine | MATL Material | MAX Maximum | MEF Mezzanine Demolition Floorboard | MECH Mechanical | MD Mezzanine | MEP Mech, Elec. & Pkg | MFR Manufacturer | MH Method | MM Millium | MBC Miscellaneous | MO Masonry Opening | MR Moisture Resistant | MTD Mounted | MTL Metal | MUL Mulch | MV Water Meter Vault | NC Noise Criteria | NFPA Non-Freeze Wall Penetration | NC Not in Contract | NO Number | NOM Normal | NRC Noise Reduction Coefficient | NTS Not To Scale | CA Ceiling | OC On Center | OD Outside Diameter | OH Overhead | OPENG Opening | OPP Opposite | G.S.C.I. Owner Supplied Contractor Installed | PART Partition | PBRM Pre-Assembled Bay/Mezz | PERP Perpendicular | PL Plank | PL LAM Plastic Laminates | PLBG Plumbing | PLWD Plywood | PRL Panel | PR Ply | PRFB Prefabricated | PREIN Prefinished | PREP Prepare / Preparation | PSF Pounds per Square Foot | PSI Pounds per Square Inch | PI Panel | PTD Painted Finish | R Riser | RAO Radius | RAD COVER Fan-Tab Radial Cover | RB Rebar | RD Roof Drain | REC Recessed | REF Reference | REFRIG Refrigerator / Freezer | REIN Reinforced | REQ Required | RET Return(s) | REV Reverse | RM Room | RO Rough Opening | R Riser | RAD Radius | RAD COVER Fan-Tab Radial Cover | RB Rebar | RD Roof Drain | REC Recessed | REF Reference | REFRIG Refrigerator / Freezer | REIN Reinforced | REQ Required | RET Return(s) | REV Reverse | RM Room | RO Rough Opening | SAFB Sound Attenuation Fire Barrier | SC Solid Core | SECT Section | SET Structural Glass Tile | SHLV Shelving | SHT Sheet | SHW Sheeting | SM Similar | SPC Specification | SPRINK Sprinkler | SQ Square | SF Square Feet | SQ IN Square Inches | SS Stainless Steel | ST Slat | STC Sound Transmission Coefficient | STD Standard | STL Steel | STN Stained Finish | STOR Storage | STL Steel | STOR Storage | STRUCT Structural | SURF Surface | SUSP Suspended | SV Sheet Vinyl | T Tread | T Top of | T-G Tongue and Groove | TB Towel Bar | TEL Telephone | TK Threshold | TT Traffic Topping | TYP Typical | UL Underwriters Laboratory | UND Unfinished Otherwall | UR Urinal | UTL Utility(s) | V Vinyl | V Vinyl Wall Base | VCT Vinyl Composition Tile | VERT Vertical | VEST Water Meter Vault | VEST Vestibule | VF Vary in Field | VF Vapor Retarder | VWB Vinyl Wall Base | VWC Vinyl Wall Covering | W With | WO Without | WC Water Closet | WD Wood | WH Window | WP Work Point | WPR Waterproofing | WR Water Resistant | WT Weight |
|----------------|--------------------|------------------------------|--------------|------------------------------------|---------------------|-----------------------------------|----------------------------|------------------------|---------------------------|--------------|---------------|---------------|-----------------|----------------------|---------------|-------------------|--------------------|-----------------------|------------------|------------------|-----------------|--------------|------------------|----------|------------------------------|-----------|---------------------------|---------------|-----------|---------------|---------|---------|---------|--------------------------|----------------|---------------------|-------------|--------------------------------|----------------|----------------------|---|---------------------------------|-----------------------|----------------|-------------|------------|-------------------|----------------|------------|---------------|------------------------|----------------|--------------------|------------------|---------------|---------------|---------------------------|---------------------------|------------------|--------------|------------------|-----------------|----------------------------|------------|-------------------|----------------|--------------|--------------|---------|---------------|------------|-------------|------------------------------------|---------|--|--------------------------------|---------------------------|--------------------------------------|------------------------------------|--------------|-----------------|-----------------------------|--------------|----------------|--------------|---------|-------------|-------------|---------------|--------------|-------------------------------|----------------|-------------------------------|--------------|--|---|-----------------------|-----------|------------|-----------|----------------|-------------------|--|-------------------------------|---------|-----------------|-------------|----------|-----------------|-------------|-----------------------|--|----------|-------------|------------------------------|------------|-----------------------|----------|---------------|----------------|----------------------------|--------------|---|---------------|-----------------|---------------|---------|-----------|-------------|--------------------------------|------------|--------------------|---------|----------------|------------------|-----------------------|-----------------------|-----------------|----------|----------------|------------|----------------|---------------|--------------|-----------|----------------------------|--------------|----------------|--------------|----------|------------|-------------|--------------|---------------|-------------|-------------------------------------|-----------------|--------------|-----------------------|------------------|-----------|------------|-------------------|--------------------|-----------------------|-------------|-----------|-----------|----------------------|-------------------|----------------------------------|--------------------|-----------|------------|---------------------------------|------------------|------------|--------------|---------------------|-------------|---------------|--------------|--|----------------|-----------------------------|--------------------|----------|--------------------------|---------------|--------------|-----------|--------|--------------------|-------------------|----------------------------|----------------------------|----------------------------|----------|--------------------|---------|------------|--------------------------------|----------|---------------|--------------|---------------|-------------------------------|-----------------|--------------|---------------|-------------|---------|------------------|---------|------------|--------------------------------|----------|---------------|--------------|---------------|-------------------------------|-----------------|--------------|---------------|-------------|---------|------------------|-------------------------------------|---------------|--------------|---------------------------|---------------|-----------|--------------|------------|-------------------|------------------|-----------|----------------|---------------------|--------------------|---------|------------------------------------|--------------|-----------|--------------------|--------------|-----------|--------------|-------------------|--------------|----------------|----------------|---------|----------|-----------------------|--------------|---------------|--------------|--------------------|-------------|----------------------------|--------------------------|-----------|----------------|---------|-------------------|----------------------------|---------------|------------------------|----------------|------------------|-------------------|---------------------|-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VIVIAN GORDON HARSH APARTMENTS RENOVATION

Application #: 100902815

ARCHITECT/ENGINEER OF RECORD:
URBANWORKS
 ARCHITECT - BUILDING ENVELOPE:
BAUER LATAOZA STUDIO
 CIVIL ENGINEER:
D'ESCOTO
 LANDSCAPE ARCHITECT:
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 ENGINEERS, INC
 MEP ENGINEER:
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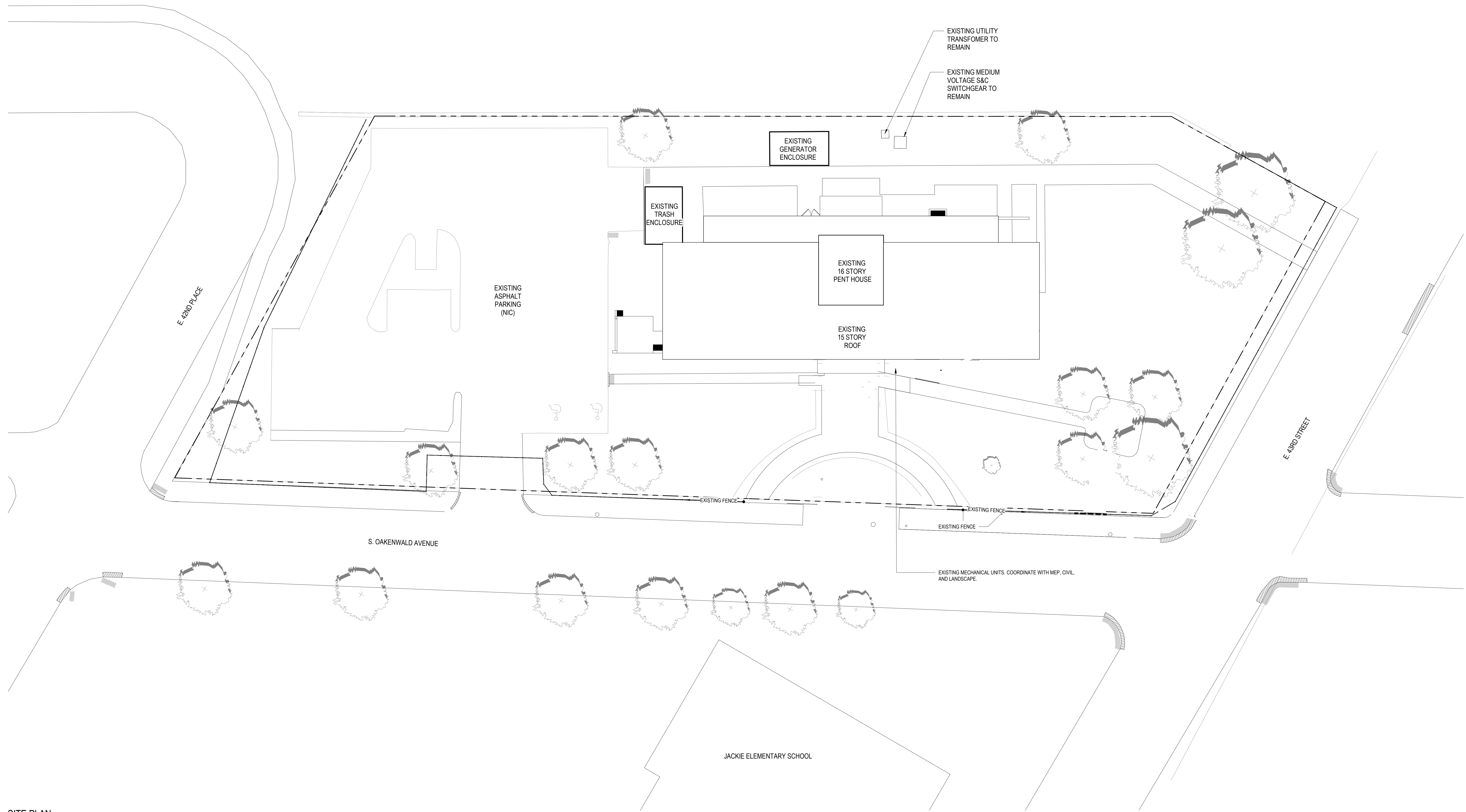
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| | ISSUED FOR SCHEMATIC DESIGN | 2020.03.06 |
| | ISSUED FOR DESIGN DEVELOPMENT | 2020.04.01 |
| | ISSUED FOR 50% CD | 2020.09.21 |
| | ISSUED FOR 90% CD | 2020.09.11 |
| | ISSUED FOR 100% CD (ISSUED FOR PERMIT) | 2020.12.18 |
| | ISSUED FOR PROCUREMENT | 2021.01.22 |
| | ISSUED FOR BID AND PERMIT PHASE 'A' | 2021.02.24 |

CHA CONTRACT NO. 12015-0564D
 TITLE
SYMBOLS, NOTES AND ABBREVIATIONS

SHEET

G0.02

4227 S OAKENWALD AVENUE, CHICAGO, IL 60653



1 SITE PLAN
SCALE: 1/16" = 1'-0"



VIVIAN GORDON HARSH APARTMENTS RENOVATION

4227 S OAKENWALD AVENUE, CHICAGO, IL 60653

Application #: 100902815

ARCHITECT/ENGINEER OF RECORD:
URBANWORKS
ARCHITECT - BUILDING ENVELOPE:
BAUER LATOZA STUDIO
CIVIL ENGINEER:
D'ESCOTO
LANDSCAPE ARCHITECT:
ACCENT URBAN DESIGN
STRUCTURAL ENGINEER:
RUBINOS & MESIA
ENGINEERS, INC
M/E/P ENGINEER:
PRIMERA ENGINEERING

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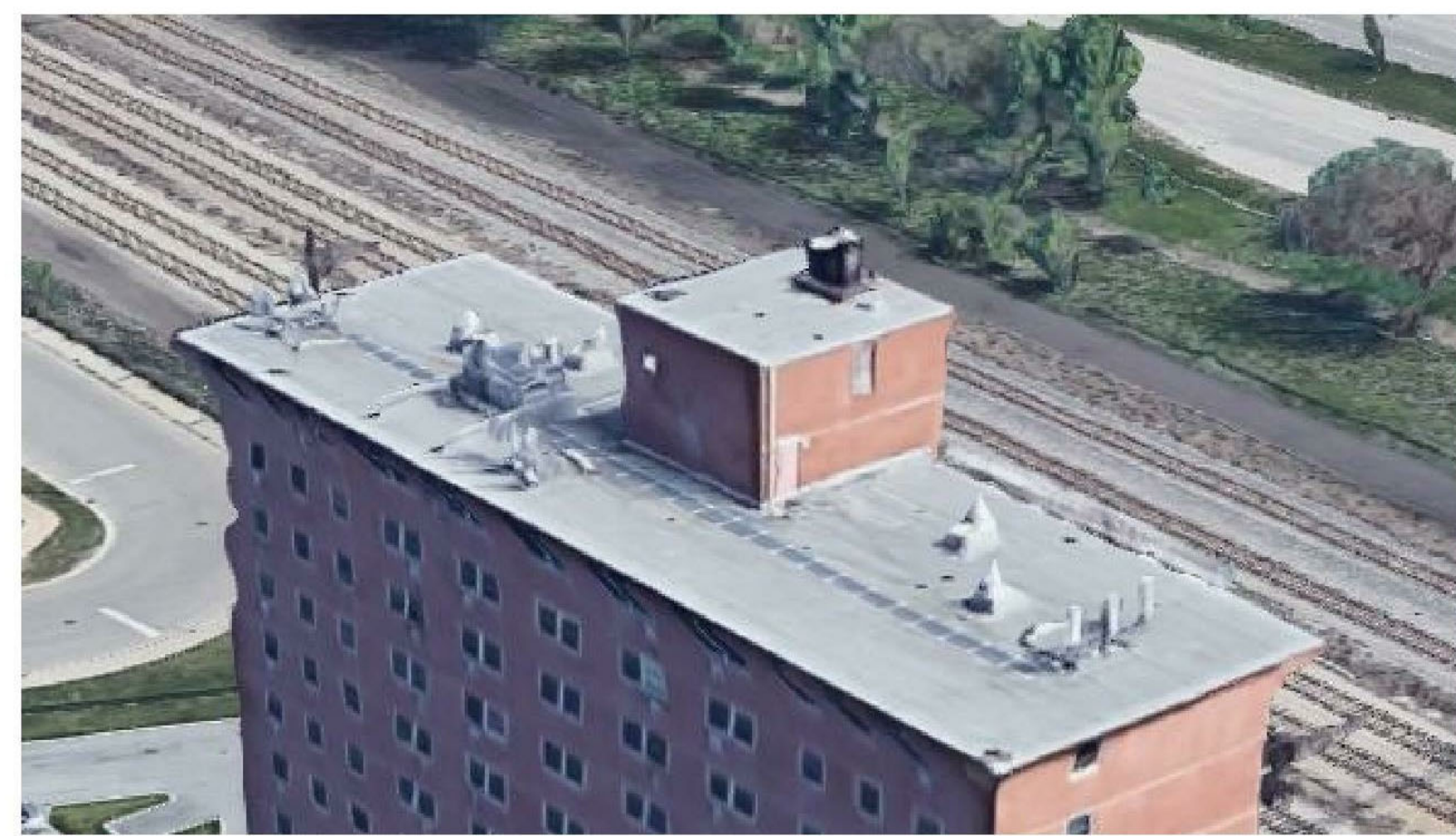
CHA CONTRACT NO. 12015-054AD

TITLE

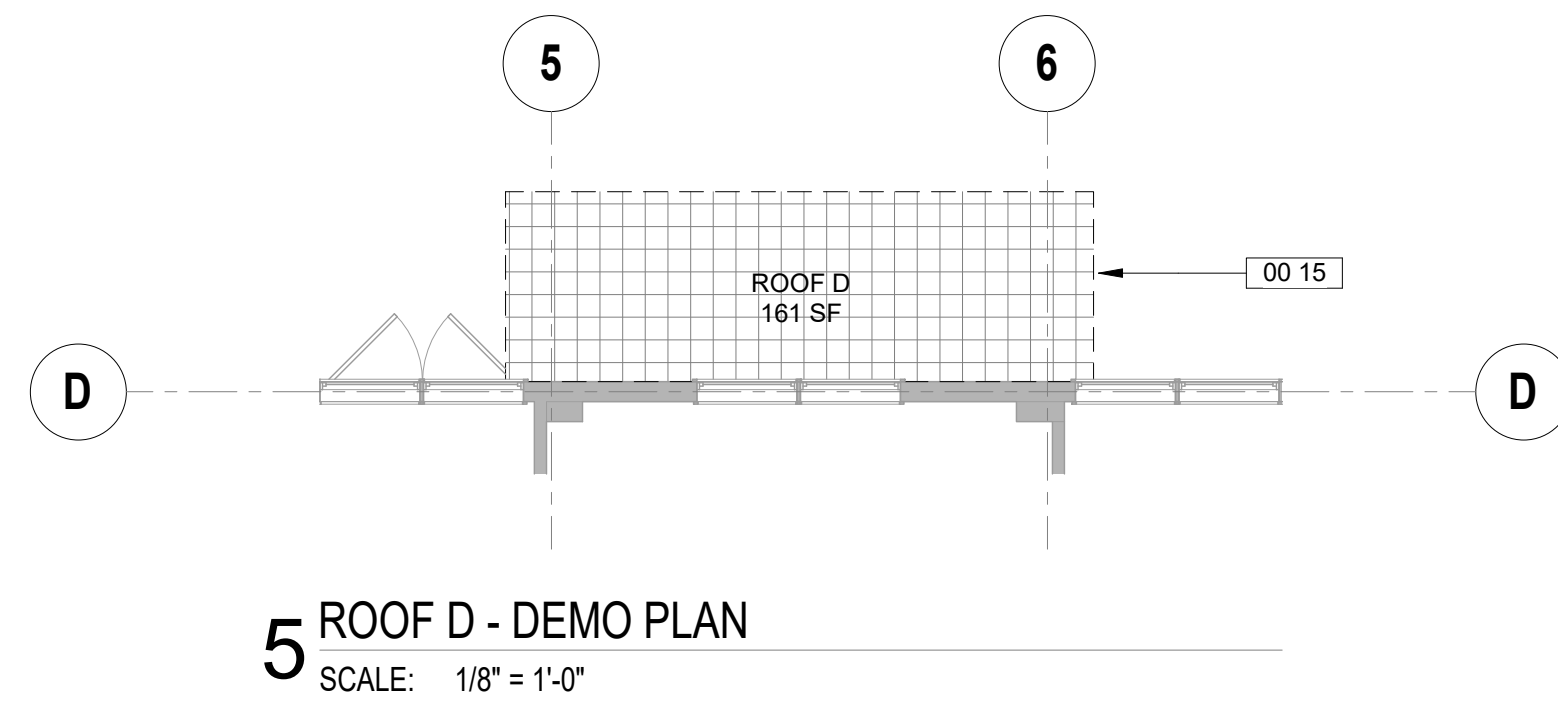
SITE PLAN

SHEET

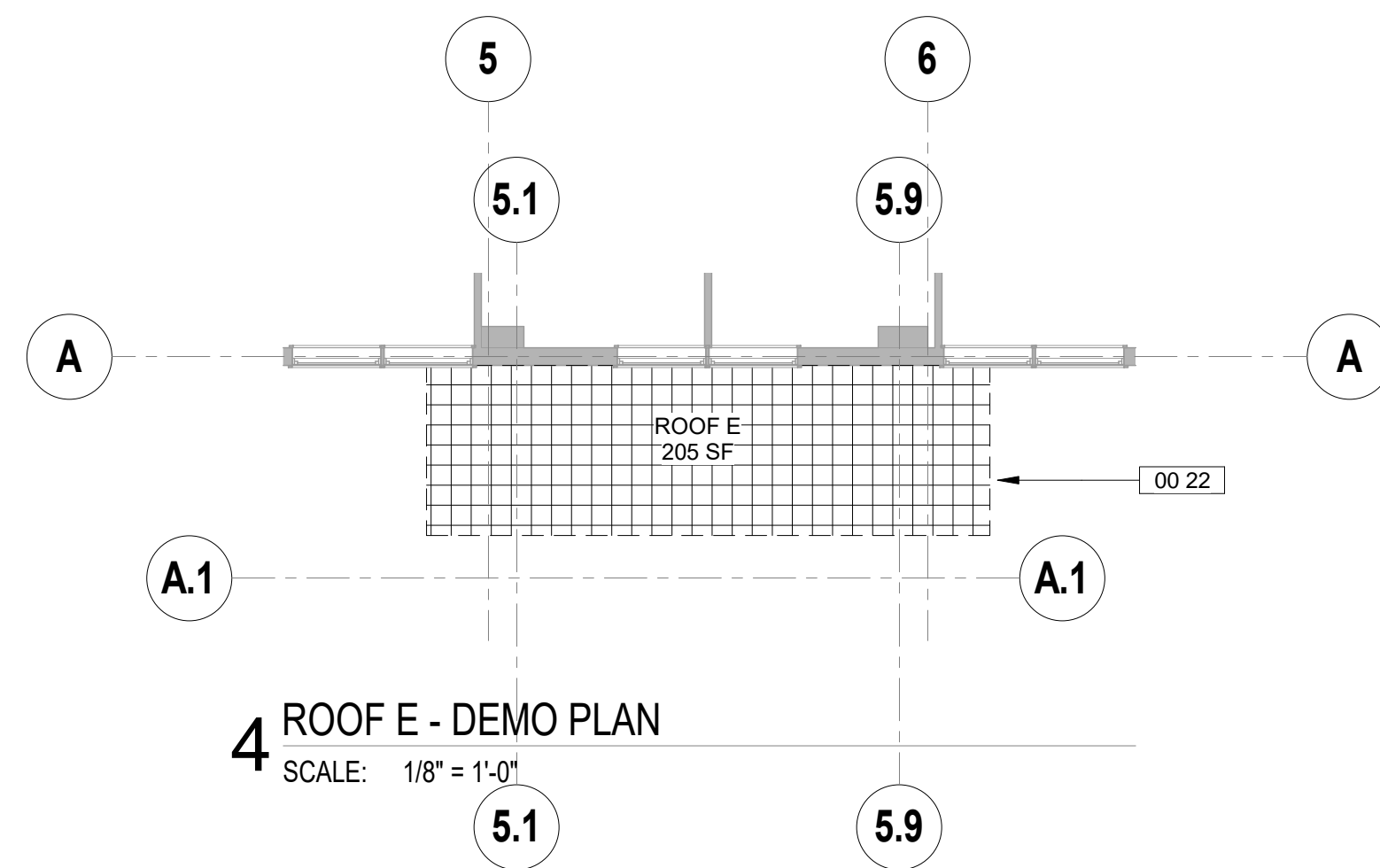
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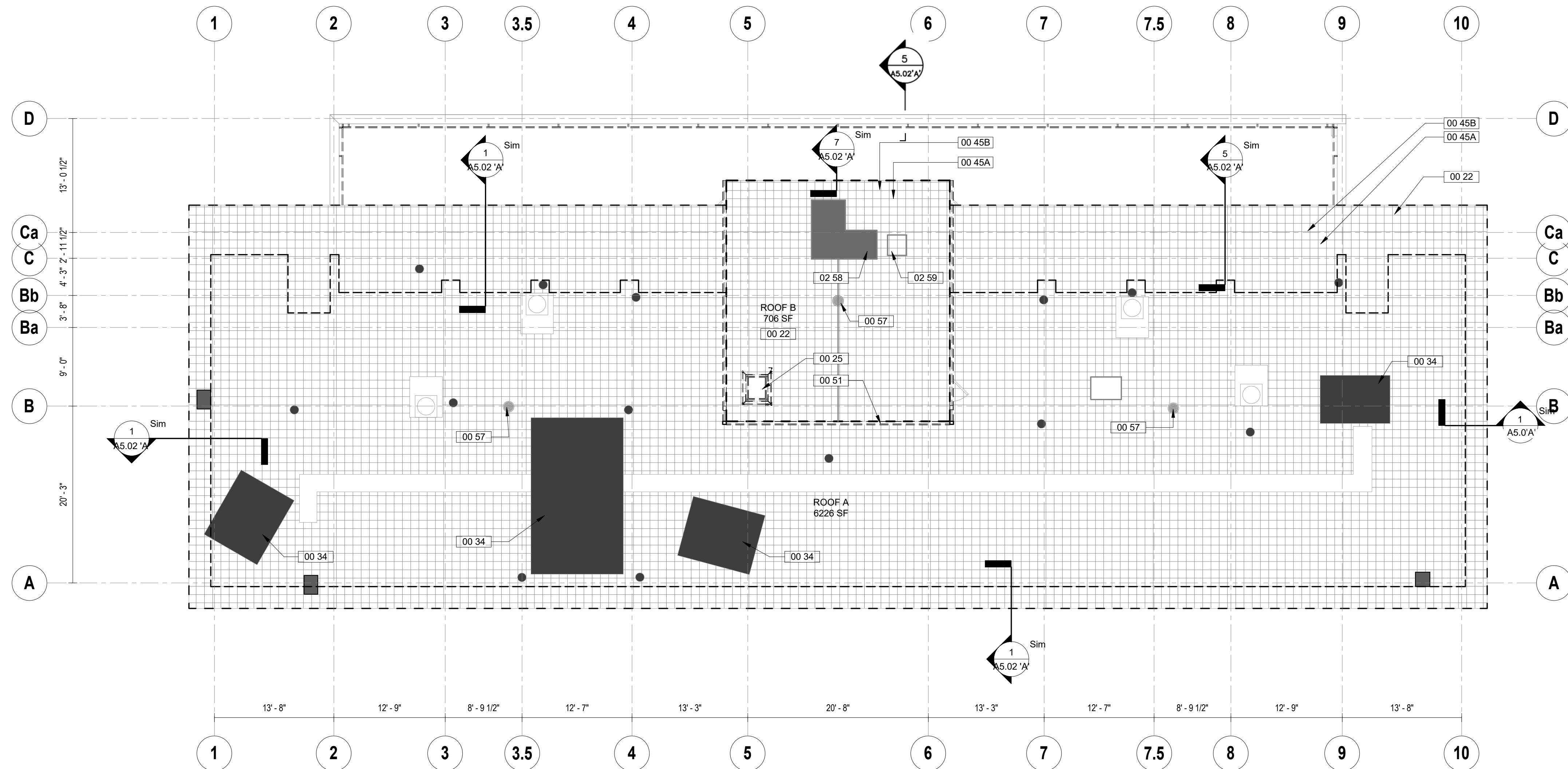
3 ISO - ROOF EXISTING CONDITIONS
SCALE: 1 1/2" = 1'-0"



5 ROOF D - DEMO PLAN
SCALE: 1/8" = 1'-0"



4 ROOF E - DEMO PLAN
SCALE: 1/8" = 1'-0"



1 ROOF PLAN - DEMOLITION
SCALE: 1/8" = 1'-0"

N.I.C. AREA TO BE FOUND UNDER A SEPARATE CONTRACT

- GENERAL NOTES**
1. REFERENCED DEMOLITION NOTES REFER TO THE MINIMUM AMOUNT OF DEMOLITION REQUIRED TO ACCOMMODATE THE NEW CONSTRUCTION. TRADE CONTRACTORS SHALL VISIT PROJECT SITE TO BECOME FAMILIAR WITH COMPLETE SCOPE OF REMOVALS/DEMOLITIONS AND FIELD VERIFY THE EXTENT OF DEMOLITION.
 2. EXISTING DIMENSIONS AND HATCHED AREAS ARE FOR GENERAL REFERENCE AND BIDDING PURPOSES ONLY. CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN FIELD. THE ACTUAL AREA OF DEMOLITION SHOULD BE KEPT TO THE MINIMUM REQUIRED TO PROPERLY EXECUTE THE CONTRACT REQUIREMENTS.
 3. IN THE EVENT THAT AN EXISTING ITEM NOT SHOWN ON THE DRAWINGS CONFLICTS WITH WORK UNDER THIS CONTRACT, CONTACT AOR PRIOR TO REMOVAL OF THAT ITEM.
 4. ALL UTILITIES SHALL REMAIN IN SERVICE FOR OTHER OCCUPANCIES. ANY SHUTDOWNS OF BUILDING MUST BE APPROVED BY OWNER AND OCCUR AT OFF HOURS AS DEFINED BY OWNER.
 5. THE OWNER HAS FIRST RIGHT OF REFUSAL FOR ALL MATERIAL OR EQUIPMENT IDENTIFIED TO BE REMOVED. ALL ITEMS NOT TURNED OVER TO THE OWNER SHALL BE DISPOSED OF PROPERLY AND LAWFULLY.
 6. REFER TO DRAWINGS FOR LOCATIONS OF ALL ITEMS TO BE REINSTALLED. ALL ITEMS NOT SPECIFICALLY INDICATED FOR REINSTALLATION ON DRAWINGS ARE TO BE TURNED OVER TO THE OWNER. ALL ITEMS NOT TURNED OVER TO THE OWNER SHALL BE DISPOSED OF PROPERLY AND LAWFULLY.
 7. ALL REMOVED ITEMS IDENTIFIED FOR REINSTALLATION OR TO BE TURNED OVER TO THE OWNER SHALL BE PROTECTED UNTIL TIME OF REINSTALLATION OR OWNER POSSESSION. DAMAGED ITEMS SHALL BE REPAIRED OR REPLACED BY THE RESPONSIBLE TRADE CONTRACTOR.
 8. THROUGHOUT DEMOLITION AND CONSTRUCTION, PROTECT ITEMS SCHEDULED TO REMAIN AND/OR ALL ADJACENT MATERIALS AND EQUIPMENT, ETC. INDICATED TO REMAIN. COORDINATE REMOVAL AND PROTECTIONS WITH OWNER.
 9. COORDINATE WITH OWNER ACCESS AND LOCATIONS OF TEMPORARY PARTITION. TEMPORARY PARTITION MUST BE DUSTPROOF, AND ACT AS SMOKE AND FIRE BARRIER.
 10. AT REMOVAL OF SELECTED DEMOLITION ITEMS WHERE NO NEW CONSTRUCTION IS IDENTIFIED, PATCH, CLEAN, PREPARE, AND PAINT SURFACES TO MATCH FINISH COLOR, TEXTURE AND SHEEN OF ADJACENT SURFACES.
 11. AT ITEMS TO BE REMOVED, ALSO REMOVE ALL ASSOCIATED BRACKETS, SUPPORTS, FASTENERS, ANCHORS, ETC. PATCH, CLEAN, PREPARE, AND PAINT SURFACES TO MATCH FINISH COLOR, TEXTURE AND SHEEN OF ADJACENT SURFACES.
 12. PATCH ALL CEILINGS, WALLS AND FLOORS WHERE MECHANICAL, ELECTRICAL, TECHNOLOGY, PLUMBING AND FIRE PROTECTION COMPONENTS ARE TO BE REMOVED IN AN EXISTING CEILINGS, WALLS OR FLOORS TO REMAIN.
 13. ALL WALL DEMOLITION SHALL HAVE CLEAN, VERTICAL, SMOOTH CUTS. PATCH, REPLACE AND/OR FILL VOIDS IN WALLS TO REMAIN TO PROVIDE A SMOOTH SURFACE/EDGE FOR THE APPLICATION OF NEW FINISH MATERIAL.
 14. WHEN REMOVING EXISTING WALL TILE, FLOOR TILE, RUBBER BASE OR CEILING TILE, REMOVE FINISHES TO THE NEAREST JOINT WHICH ABUTS TILE NOT AFFECTED BY THE CONSTRUCTION. PROTECT THE SURFACES AND EDGES OF EXISTING FINISHES TO REMAIN.
 15. AT AREAS WHERE DEMOLITION OF THE FLOORING EXPOSES THE CONCRETE SUBSTRATE, COMPLETELY REMOVE THE MASTIC, SHOT BLAST THE EXISTING CONCRETE TO REMAIN, AND FILL ALL CRACKS AND SPALLED AREAS IN PREPARATION FOR NEW FLOORING MATERIAL. REMOVAL OF FLOORING MATERIAL INCLUDES REMOVAL OF ADJACENT WALL BASE MATERIAL.
 16. AT IDENTIFIED AREAS OF SPALLED, UNEVEN AND/OR SEPARATED CONCRETE SLABS, REMOVE ALL LOOSE MATERIAL, GRIND CONCRETE TO ACHIEVE A LEVEL SURFACE AND FILL CRACKS AND SPALLED AREAS IN PREPARATION FOR INSTALLATION OF FINISHED FLOORING.
 17. CONTRACTOR SHALL REMOVE EXISTING PLUMBING, MECHANICAL, ELECTRICAL OR OTHER MISCELLANEOUS ITEMS REQUIRED TO COMPLETE NEW WORK BUT NOT REQUIRED TO REMAIN.
 18. WHEN REMOVING INTERIOR OR EXTERIOR WALL ASSEMBLIES, CONTRACTOR SHALL ALSO REMOVE ALL ASSOCIATED POWER AND DATA RECEPTACLES, SWITCHES, ETC. REROUTE CONCEALED MEPP WHERE REQUIRED TO MAINTAIN FUNCTIONING SYSTEMS; REMOVE ABANDONED MEPP SYSTEMS TO SOURCE AND CAP APPROPRIATELY. REFER TO MECHANICAL, ELECTRICAL, TECHNOLOGY, LOW VOLTAGE, PLUMBING AND FIRE PROTECTION DRAWINGS FOR ADDITIONAL INFORMATION.
 19. CONTRACTOR SHALL PROVIDE A CLEAN WORK SITE BY REMOVING ALL DEBRIS AND TRASH RESULTING FROM CONSTRUCTION ON A DAILY BASIS MAINTAIN (CLEAN, WASH DOWN WHEN NECESSARY) JARVIS AVE.
 20. GENERAL CONTRACTOR SHALL RECYCLE DEMOLITION CONSTRUCTION DEBRIS IN ACCORDANCE WITH AUTHORITIES HAVING JURISDICTION AND SUSTAINABLE BEST PRACTICES.
 21. REFER TO THE CIVIL, LANDSCAPE, STRUCTURAL, MECHANICAL, PLUMBING, FIRE PROTECTION, ELECTRICAL, AND TECHNOLOGY DRAWINGS FOR THE DEMOLITION WORK SPECIFIC TO THOSE DISCIPLINES.
 22. GC TO MINIMIZE ALL RESIDENT DISRUPTION AND EXPOSURE TO CONSTRUCTION WORK, GC TO COORDINATE WITH PROPERTY MANAGEMENT TO DEVELOP STRATEGIC IMPLEMENTATION PLAN FOR OWNERS APPROVAL.

- KEYNOTES**
- 00 15 DEMOLISH EXISTING CANOPY AND ASSOCIATED STRUCTURE
 - 00 22 COMPLETELY REMOVE EXISTING ROOF BUILD-UP, MEMBRANE, INSULATION AND ASSOCIATED BLOCKING AND FASCIA. PREPARE ROOF STRUCTURAL CONCRETE SLAB FOR INSTALLATION OF NEW ROOF BUILD-UP, BLOCKING, INSULATION, MEMBRANE AND FASCIA.
 - 00 25 DEMOLISH ROOF HATCH
 - 00 34 EXISTING CELLULAR EQUIPMENT. GC TO COORDINATE WITH CHA PM, BUILDING MANAGEMENT AND CELLULAR PROVIDOR TO SCHEDULE THE REMOVAL AND REINSTALLATION OF EQUIPMENT.
 - 00 45A GC TO REVIEW EXISTING CONCRETE STRUCTURAL SLAB AT ROOF AND AT DECK FOR SPALLING, WATER DAMAGE, AND DETERIORATION. GC TO ALLOW FOR 15% OF AREA. REPORT FINDINGS TO OWNER FOR FURTHER COORDINATION.
 - 00 45B GC TO REVIEW EXISTING CONCRETE STRUCTURAL SLAB AT ROOF AND AT DECK FOR CRACKING, WATER DAMAGE, AND DETERIORATION. GC TO ALLOW FOR 15% OF AREA. REPORT FINDINGS TO OWNER FOR FURTHER COORDINATION.
 - 00 51 DEMOLISH EXISTING FASCIA, GUTTERS AND DOWNSPOUTS. PREPARE AREAS FOR NEW PREFINISHED FASCIA, GUTTER, AND DOWNSPOUT.
 - 00 57 PREPARE EXISTING ROOF DRAIN TO BE MODIFIED. THE ROOF DRAIN IS TO RECEIVE ADJUSTMENT TO ALLOW THE DRAIN TO MEET NEW HEIGHT OF ROOF INSTALLATION (SLOPED INSULATION, COVER BOARD, AND MEMBRANE. PREPARE AREA AROUND DRAIN FOR NEW ROOF INSTALLATION.
 - 02 58 EXISTING EQUIPMENT TO REMAIN. INSTALL NEW CURB STRIPS AS REQUIRED AND EXTEND NEW ROOF MEMBRANE UP UNDER CURB CAP.
 - 02 59 CAP EXISTING CURB. INSTALL NEW CURB STRIPS AS REQUIRED AND EXTEND NEW ROOF MEMBRANE UP UNDER CURB CAP.

- LEGEND**
- xx xx KEYNOTE
 - ROOM xx SF ROOM TAG
 - xx xx CEILING TAG
 - X' X' AFF DEMOLISHED WALL PARTITION
 - DEMOLISHED CEILING
 - DEMOLISHED FLOOR
 - DEMOLISHED ROOF
 - DEMOLISHED OBJECT OUTLINE
 - EXISTING DOOR
 - DEMOLISHED DOOR
 - DEMOLISHED SPRINKLER
 - DEMOLISHED SPRINKLER
 - DEMOLISHED WALL MOUNTED SPRINKLER
 - DEMOLISHED WALL MOUNTED SPRINKLER
 - EXISTING SURFACE MOUNTED LIGHT FIXTURE
 - DEMOLISHED SURFACE MOUNTED LIGHT FIXTURE
 - EXISTING RECESSED LIGHT FIXTURE
 - DEMOLISHED RECESSED LIGHT FIXTURE
 - EXISTING RECESSED LIGHT FIXTURE
 - DEMOLISHED RECESSED LIGHT FIXTURE
 - EXISTING EXIT SIGN
 - DEMOLISHED EXIT SIGN



VIVIAN GORDON HARSH APARTMENTS RENOVATION

ARCHITECT/ENGINEER OF RECORD:
URBANWORKS
ARCHITECT - BUILDING ENVELOPE:
BAUER LATOZA STUDIO CIVIL ENGINEER:
D'ESCOTO
LANDSCAPE ARCHITECT:
ACCENT URBAN DESIGN
STRUCTURAL ENGINEER:
RUBINOS & MESIA ENGINEERS, INC
M/E/P ENGINEER:
PRIMERA ENGINEERING

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ISSUANCE

| # | DESCRIPTION | DATE |
|---|--------------------------------------|------------|
| 1 | ISSUED FOR SCHEMATIC DESIGN | 2020.03.06 |
| 2 | ISSUED FOR DESIGN DEVELOPMENT | 2020.04.01 |
| 3 | ISSUED FOR 90% CD | 2020.07.21 |
| 4 | ISSUED FOR 90% CD | 2020.08.11 |
| 5 | ISSUED FOR 100% CD/ISSUED FOR PERMIT | 2020.12.18 |
| 6 | ISSUED FOR PROCUREMENT | 2021.01.22 |
| 7 | ISSUED FOR BID AND PERMIT PHASE 'A' | 2021.02.24 |

CHA CONTRACT NO: 12015-056AD
TITLE
ROOF DEMOLITION FLOOR PLANS (PHASE A)

SHEET
AD1.4 'A'

4227 S OAKENWALD AVENUE, CHICAGO, IL 60653

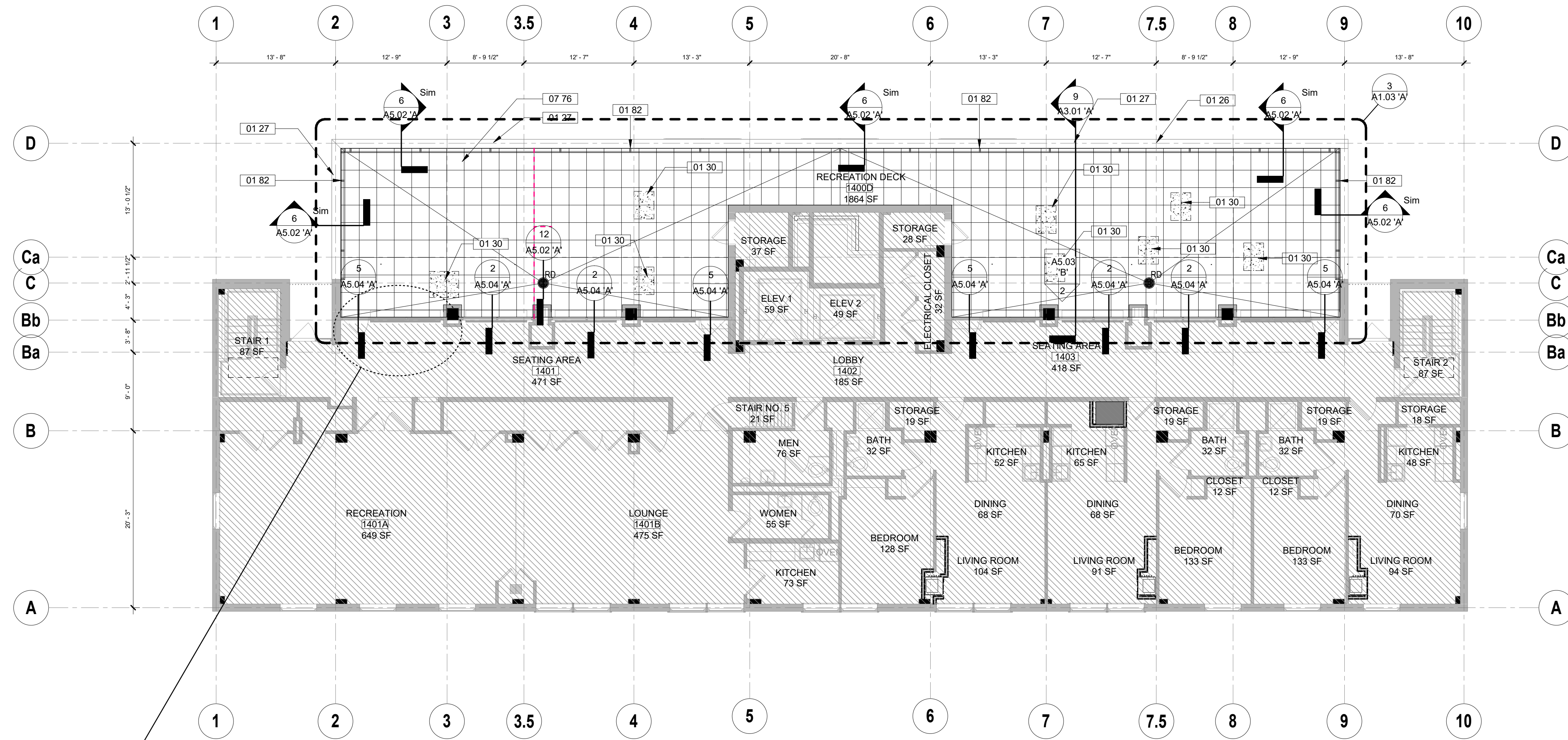


NOTES

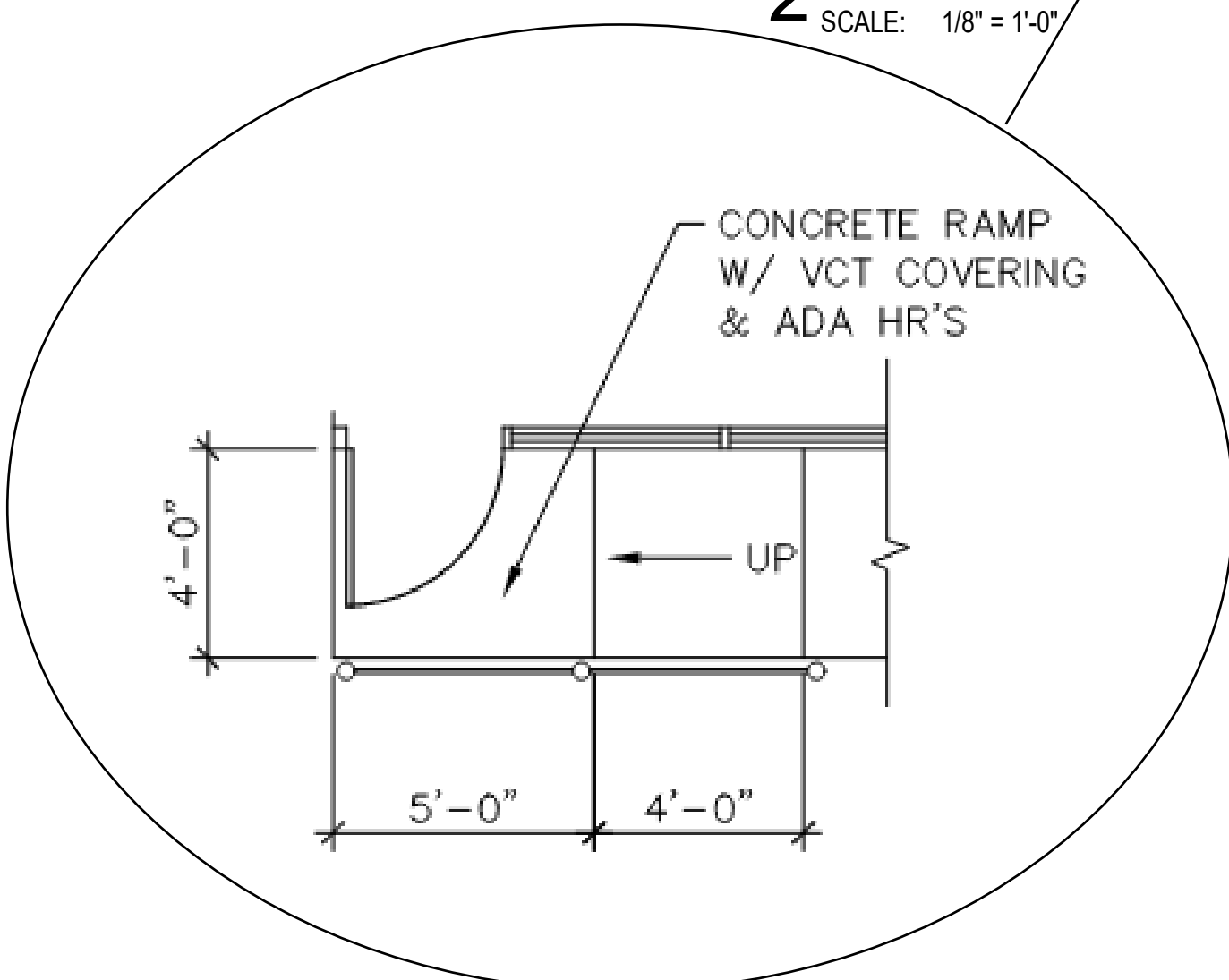
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- ALL UTILITIES THAT OCCUR OR PASS THROUGH AREAS OF WORK FLOOR OR SUPPORT OTHER AREAS OF THE BUILDING ARE TO BE REROUTED AS NECESSARY TO MAINTAIN CONTINUOUS SERVICE.
- CLEAN, PATCH AND PAINT ALL WALLS.
- PREPARE FOR REPAINTING AND REPAIR ALL EXISTING DOORS AND / OR FRAMES TO REMAIN.
- PREPARE FLOOR AS NECESSARY TO RECEIVE NEW FINISH FLOORING, SKIMCOAT AS REQUIRED FOLLOWING ANY CONCRETE SCARIFICATION RESULTING FROM ASBESTOS ABATEMENT.
- PATCH AND REPAIR WALLS WHERE EXISTING EQUIPMENT OR INTERSECTING WALLS ARE REMOVED DURING DEMOLITION.
- PATCH MASONRY WALLS WITH SAME SIZE BRICK AND / OR CMU AS EXISTING. TOOTH IN NEW MASONRY AT EXISTING RUNNING BOND WALLS.
- WHERE CUTTING INTO EXISTING MASONRY WALLS PATCH MASONRY JAMBS. REMOVE BLOCKS WITH CORES EXPOSED, TOOTH-IN NEW BLOCK TO PROVIDE FINISH JAMB CONDITIONS.
- INFILL FLOOR SLAB AT LOCATION OF FLOOR SLAB TRENCHING/ PATCHING. PREPARE SURFACE FOR NEW FLOOR FINISH. MATCH ADJACENT FINISH AT ALL LOCATIONS.
- CONTRACTOR TO SAW CUT AND TRENCH FLOOR SLAB AS NECESSARY FOR NEW MECHANICAL, PLUMBING, ELECTRICAL ROUGH IN. REFER TO MECHANICAL, PLUMBING, ELECTRICAL AND FIRE PROTECTION PLANS FOR LOCATIONS OF NEW PIPE, DUCT, CONDUIT, ETC. PENETRATIONS & CONSTRUCTION NOT INDICATED ON ARCHITECTURAL PLANS. PATCH AND REPAIR SURFACE AS NEEDED. FLASH, PATCH EXISTING CONCRETE SLAB AS REQUIRED TO ACHIEVE CONSISTENT LEVEL SURFACES AT NEW SCHEDULED FLOOR FINISHES. FEATHER UNDERLAYMENT AT SLOPE NOT TO EXCEED 1/8" PER 1'-0". REFER TO SPECIFICATION SECTION 05.41.16 FOR ADDITIONAL INFORMATION.
- PROVIDE BLOCKING IN ALL PARTITIONS TO ACCOMMODATE MILLWORK INSTALLATIONS & OTHER WALL & CEILING HANG ELEMENTS AS REQUIRED.
- PATCH AND REPAIR UNEVEN DAMAGED SURFACES TO RECEIVE SCHEDULED FINISHES. REFER TO FINISH PLAN & PROJECT MANUAL FOR ADDITIONAL INFORMATION.
- REFER TO INTERIOR FINISH PLANS & SCHEDULE.
- GO TO CONFORM STRUCTURAL WALL AND COLUMN LOCATIONS HEIGHTS OF FINISHED CEILINGS ARE FOR REFERENCE. GO TO VERIFY HEIGHTS AND WHERE BLENDING EXISTING AND NEW CEILINGS SHALL MATCH EXISTING HEIGHTS.
- G.C. TO COORDINATE WORK THAT WILL OVERLAP WITH SEPARATE CONTRACT. COORDINATE WITH OWNER, ARCHITECT, AND CHICAGO HOUSING AUTHORITY.

NOTES

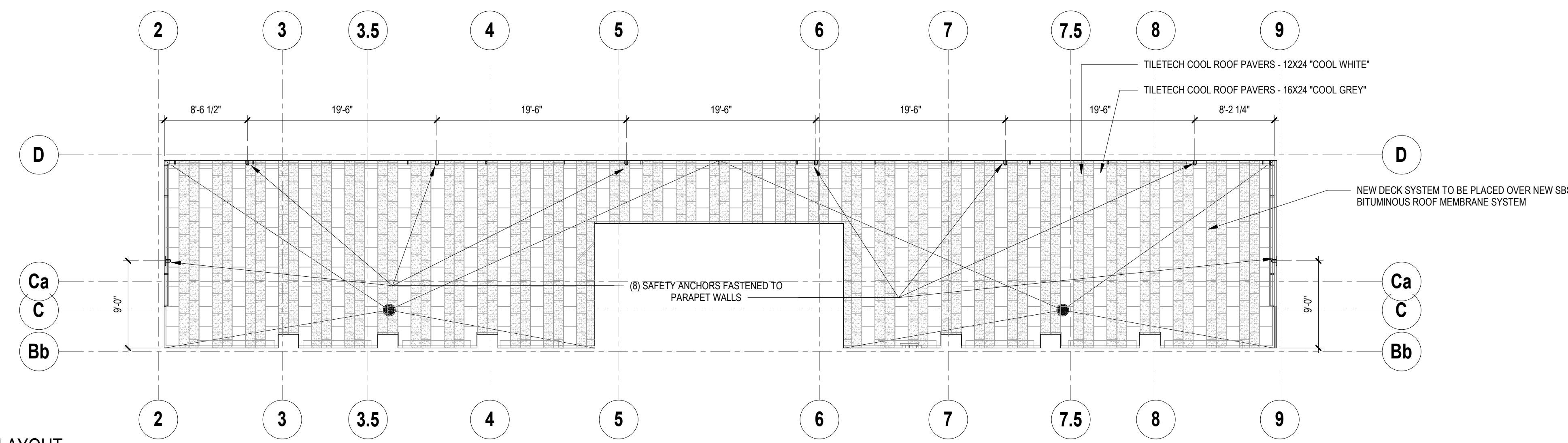
- GO TO REPAIR CRACKS LOCATED AT UNDERSIDE OF CONCRETE OVERHANG. GO TO ALLOW FOR 15% OF AREA. REFER TO DETAILS LOCATED ON SHEET A5.0 FOR PATCHING AND REPAIR.
- REPAIR DETERIORATED SEALANT AT METAL COPING (-19 JOINTS).
- REPAIR CRACKING AT CONCRETE PARAPET WALL.
- INSPECT AND REPAIR DETERIORATED CONCRETE AT UNDERSIDE OF CANOPY. SEE DETAILS ON A5.0 FOR PATCHING AND REPAIR.
- REPAIR CRACKING AND CHIPPING AT CONCRETE SURFACE PRIOR TO INSTALLATION OF NEW ROOF DECK. SEE DETAILS ON A5.0.
- EXPOSED STEEL REPAIR UNDERSIDE OF CONCRETE SURFACE. SEE DETAILS ON A5.0.
- REFER TO STRUCTURAL DRAWINGS FOR ANCHOR HEIGHTS. SEE DETAIL 6 AND T ON SHEET S3.0.
- ROOF DECK PEDASTAL PAVER SYSTEM AND TILES. COORDINATE INSTALLATION WITH DESIGNER AND ARCHITECT.



2 LEVEL 14 - NEW CONSTRUCTION
SCALE: 1/8" = 1'-0"



3 LEVEL 14 - DECK PAVER LAYOUT
SCALE: 1/8" = 1'-0"



- N.I.C. AREA TO BE FOUND UNDER A SEPARATE CONTRACT
- KEYNOTE
- NEW WALL PARTITION
- NEW CMU WALL PARTITION
- EXISTING WALL PARTITION
- NEW FLOORING
- GYPSUM BOARD CEILING
- NEW DOOR
- EXISTING DOOR
- PLUMBING VENT
- ROOF DRAIN
- EXHAUST FAN
- ROOF ANCHOR
- DOWNSPOUT



VIVIAN GORDON HARSH APARTMENTS RENOVATION

4227 S OAKENWALD AVENUE, CHICAGO, IL 60653

Application #: 100902815
 ARCHITECT/ENGINEER OF RECORD:
URBANWORKS
 ARCHITECT - BUILDING ENVELOPE:
BAUER LATOZA STUDIO
 CIVIL ENGINEER:
D'ESCOTO
 LANDSCAPE ARCHITECT:
ACCENT URBAN DESIGN
 STRUCTURAL ENGINEER:
RUBINOS & MESIA
 ENGINEERS, INC
 M/E/P ENGINEER:
PRIMERA ENGINEERING

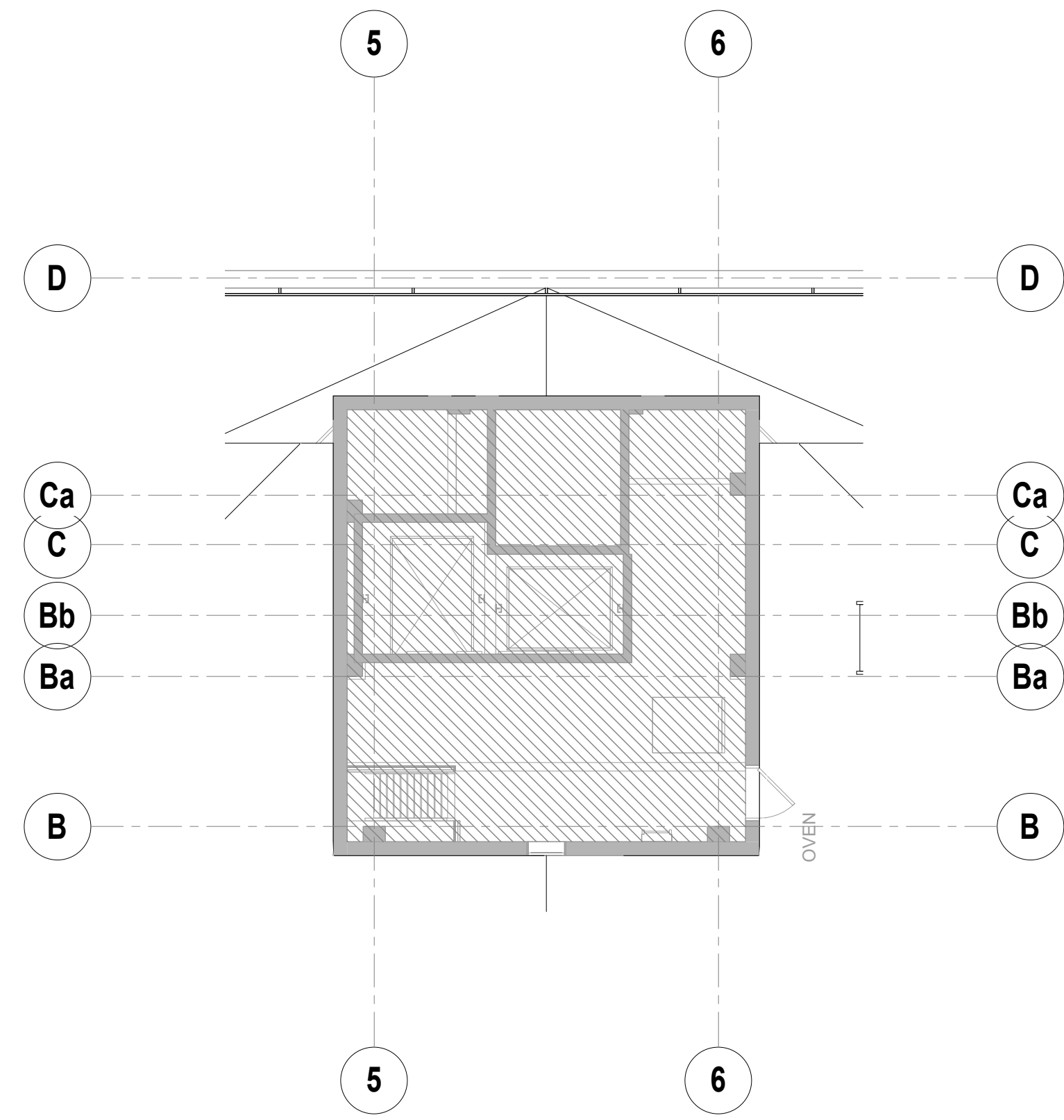
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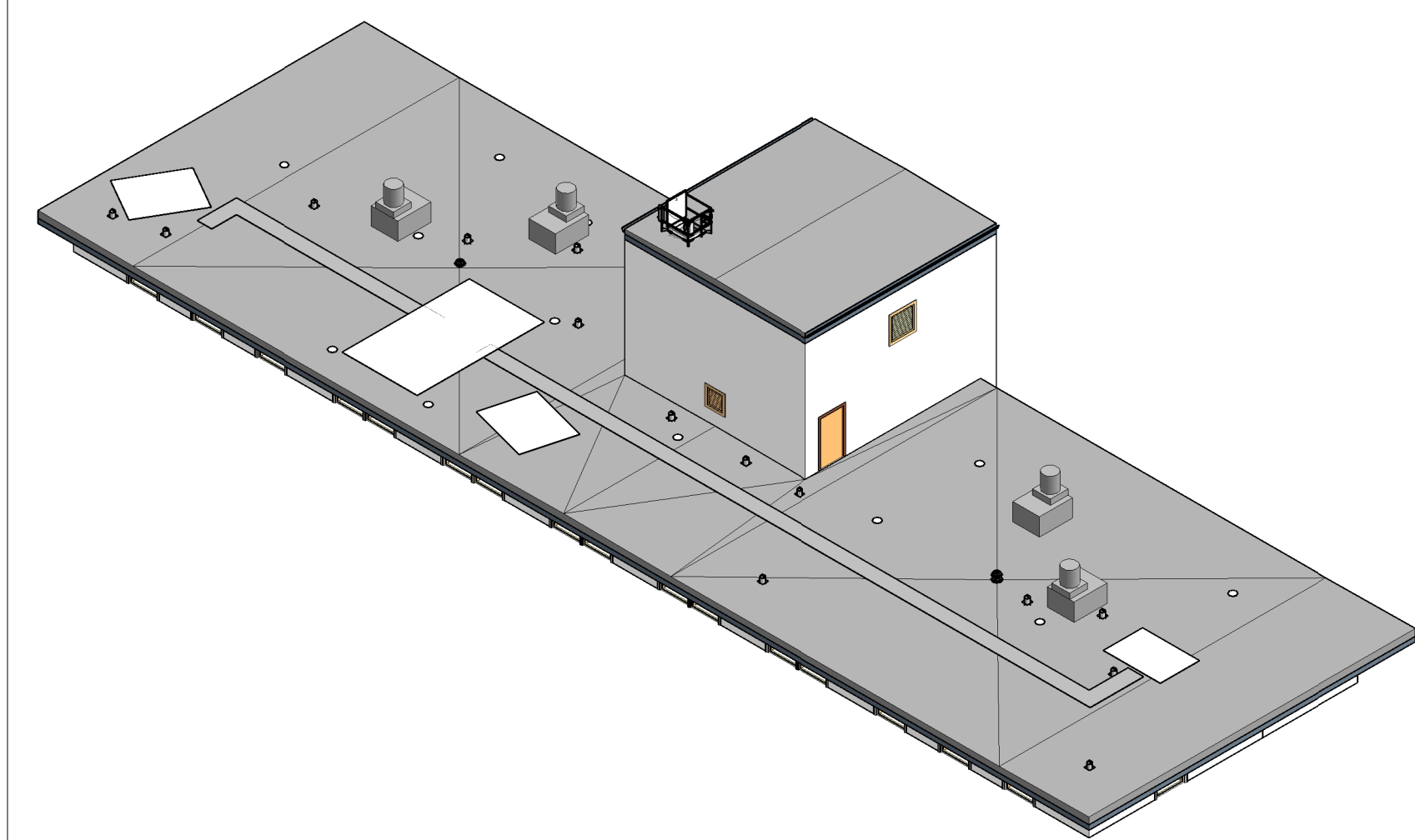
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| 5 | ISSUED FOR 100% CD | 2020.12.18 |
| 6 | ISSUED FOR PROCUREMENT | 2021.01.22 |
| 7 | ISSUED FOR BID AND PERMIT PHASE 'A' | 2021.02.24 |

CHA CONTRACT NO: 12015-054AD
 TITLE
LEVEL 14 RCP + FLOOR PLAN (PHASE A)

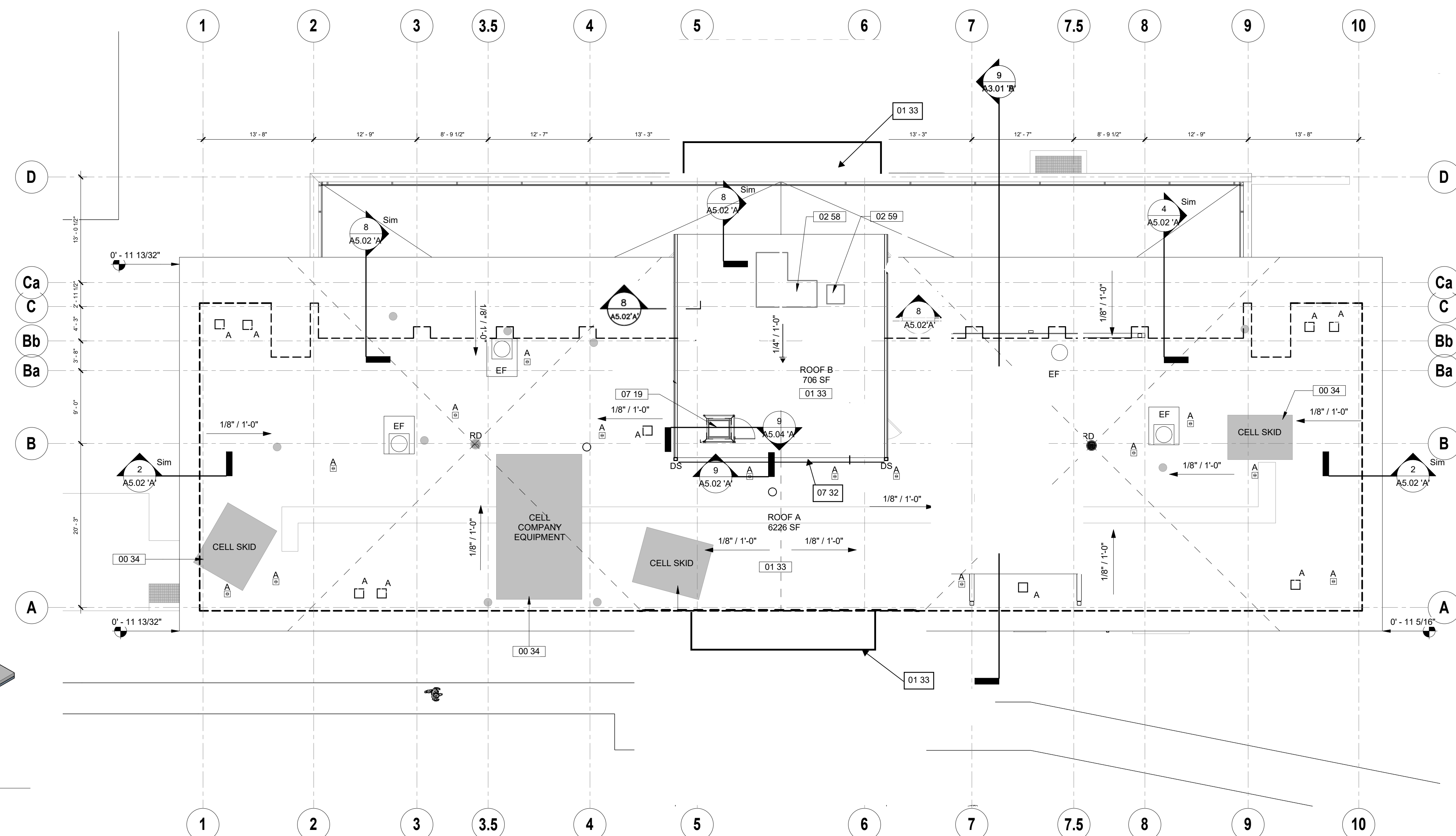
SHEET
A1.03 'A'



3 LOWER MACHINE ROOM FLOOR PLAN - NEW CONSTRUCTION
SCALE: 1/8" = 1'-0"



6 ISO - ROOF
SCALE:



1 ROOF PLAN - NEW CONSTRUCTION
SCALE: 1/8" = 1'-0"

- NOTES**
1. VERIFY IN FIELD ALL DIMENSIONS AND QUANTITIES
 2. ALL UTILITIES THAT OCCUR OR PASS THROUGH AREAS OF WORK FEED OR SUPPORT OTHER AREAS OF THE BUILDING ARE TO BE REROUTED AS NECESSARY TO MAINTAIN CONTINUOUS SERVICE.
 3. CLEAN, PATCH AND PAINT ALL WALLS.
 4. PREPARE FOR REPAINTING AND REPAINT ALL EXISTING DOORS AND / OR FRAMES TO REMAIN.
 5. PREPARE FLOOR AS NECESSARY TO RECEIVE NEW FINISH FLOORING. SKIMCOAT AS REQUIRED FOLLOWING ANY CONCRETE SCARIFICATION RESULTING FROM ASBESTOS ABATEMENT.
 6. PATCH AND REPAIR WALLS WHERE EXISTING EQUIPMENT OR INTERSECTING WALLS ARE REMOVED DURING DEMOLITION.
 7. PATCH MASONRY WALLS WITH SAME SIZE BRICK AND / OR CMU AS EXISTING. TOOTH IN NEW MASONRY AT EXISTING RUNNING BOND WALLS.
 8. WHERE CUTTING INTO EXISTING MASONRY WALLS PATCH MASONRY JAMBS. REMOVE BLOCKS WITH CORES EXPOSED. TOOTH-IN NEW BLOCK TO PROVIDE FINISH JAMB CONDITIONS.
 9. INFILL FLOOR SLAB AT LOCATION OF FLOOR SLAB TRENCHING/ PATCHING. PREPARE SURFACE FOR NEW FLOOR FINISH. MATCH ADJACENT FINISH AT ALL LOCATIONS.
 10. CONTRACTOR TO SAW CUT AND TRENCH FLOOR SLAB AS NECESSARY FOR NEW MECHANICAL, PLUMBING, ELECTRICAL, ROUGH IN. REFERENCE MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS. REFER TO MECHANICAL, PLUMBING, ELECTRICAL AND FIRE PROTECTION PLANS FOR LOCATIONS OF NEW PIPE, DUCT, CONDUIT, ETC. PENETRATIONS & CONSTRUCTION NOT INDICATED ON ARCHITECTURAL PLANS. PATCH AND REPAIR SURFACE AS NEEDED. FLASH. PATCH EXISTING CONCRETE SLAB AS REQUIRED TO ACHIEVE CONSISTENT LEVEL SURFACES AT NEW SCHEDULED FLOOR FINISHES. FEATHER UNDERLAYMENT AT SLOPE NOT TO EXCEED 1/8" PER 1'-0". REFER TO SPECIFICATION SECTION 03 54 16 FOR ADDITIONAL INFORMATION.
 13. PROVIDE BLOCKING IN ALL PARTITIONS TO ACCOMMODATE MILLWORK INSTALLATIONS & OTHER WALL & CEILING HUNG ELEMENTS AS REQUIRED.
 14. PATCH AND REPAIR UNEVEN DAMAGED SURFACES TO RECEIVE SCHEDULED FINISHES. REFER TO FINISH PLAN & PROJECT MANUAL FOR ADDITIONAL INFORMATION.
 15. REFER TO INTERIOR FINISH PLANS & SCHEDULE.
 16. GC TO CONFIRM STRUCTURAL WALL AND COLUMN LOCATIONS.
 17. HEIGHTS OF FINISHED CEILINGS ARE FOR REFERENCE. GC TO VERIFY HEIGHTS AND WHERE BLENDING EXISTING AND NEW CEILINGS SHALL MATCH EXISTING HEIGHTS.
 18. G.C. TO COORDINATE WORK THAT WILL OVERLAP WITH SEPARATE CONTRACT. COORDINATE WITH OWNER, ARCHITECT, AND CHICAGO HOUSING AUTHORITY.

- NOTES**
- 00 34. EXISTING CELLULAR EQUIPMENT. GC TO COORDINATE WITH CHA PM, BUILDING MANAGEMENT AND CELLULAR PROVIDOR TO SCHEDULE THE REMOVAL AND REINSTALLATION OF EQUIPMENT.
 - 01 33. INSTALL NEW ROOF SYSTEM COMPRISING OF 3-PLY GRANULAR SURFACED MODIFIED BITUMEN ROOF SYSTEM, MODIFIED BITUMEN VAPOR BARRIER, 5" OF INSULATION (INCLUDING TAPERED INSULATION) AND ALL ASSOCIATED MEMBRANE AND METAL FLASHINGS.
 - 02 58. EXISTING EQUIPMENT TO REMAIN. INSTALL NEW CANT STRIPS AS REQUIRED AND EXTEND NEW ROOF MEMBRANE UP UNDER CURB CAP.
 - 02 59. CAP EXISTING CURB. INSTALL NEW CANT STRIPS AS REQUIRED AND EXTEND NEW ROOF MEMBRANE UP UNDER CURB CAP.
 - 07 19. GC TO PROVIDE NEW ROOFTOP ACCESS HATCH WITH SAFETY RAILING AND LADDER. INSTALLATION TO FOLLOW MANUFACTURER'S RECOMMENDATIONS AND GUIDELINES.
 - 07 32. NEW GUTTER AND DOWNSPOUTS.

- N.I.C. AREA TO BE FOUND UNDER A SEPARATE CONTRACT
- KEYNOTE
- NEW WALL PARTITION
- NEW CMU WALL PARTITION
- EXISTING WALL PARTITION
- NEW FLOORING
- GYPSUM BOARD CEILING
- NEW DOOR
- EXISTING DOOR
- PLUMBING VENT
- ROOF DRAIN
- EXHAUST FAN
- ROOF ANCHOR
- DOWNSPOUT

VIVIAN GORDON HARSH
APARTMENTS RENOVATION

4227 S OAKENWALD AVENUE, CHICAGO, IL 60653

Application #: 100902815

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| | ISSUED FOR PROCUREMENT | 2021.01.22 |
| | ISSUED FOR BID AND PERMIT PHASE 'A' | 2021.02.24 |

CHA CONTRACT NO: 12015-054AD
TITLE
ROOF PLANS (PHASE A)
SHEET
A1.04 'A'



KEYNOTE LEGEND

- 04-MASONRY**
- 4.01 GRIND AND POINT EXISTING MORTAR JOINTS. MATCH EXISTING ADJACENT MORTAR COLOR AND JOINT. SEE DETAILS.
 - 4.02 REMOVE 1-WYTHE BRICK MASONRY. REBUILD WITH STAINLESS STEEL TIES. SEE DETAILS.
- 07-THERMAL AND MOISTURE PROTECTION**
- 7.03 REMOVE EXISTING SEALANT AT CONTROL JOINT. PROVIDE NEW BACKER ROD AND SEALANT. SEE DETAILS.

GENERAL EXTERIOR ELEVATION NOTES

1. REMOVE WALL AND PARAPET MOUNTED LIGHTS, SECURITY CAMERAS, CONDUIT AND ASSOCIATED BRACKETS/FASTENERS AT AREAS REQUIRING WORK. REPLACE BRICKS AT REMOVED LOCATIONS.
2. ALL NEW MASONRY UNITS (OF BRICK) TO MATCH ORIGINAL CLEANED UNITS IN SIZE, SHAPE, COLOR, TEXTURE AND FINISH.
3. REMOVE AND SALVAGE 100% OF SIGNS MOUNTED ON BUILDING ELEVATIONS. REINSTALL AFTER MASONRY WORK IS COMPLETE. (U.N.O.)
4. REMOVE 100% OF INSECT NESTS/HIVES AT ELEVATIONS.
5. REMOVE 100% OF BIOLOGICAL AND PLANT GROWTH FROM BUILDING ELEVATIONS.
6. REMOVE 100% OF ALL SEALANT, MASTIC, AND TAR FROM MASONRY.
7. REMOVE 100% OF ABANDONED FASTENERS, AND ABANDONED MECHANICAL, ELECTRICAL, AND PLUMBING ITEMS MOUNTED ON BUILDING ELEVATIONS. REPLACE BRICK.
8. REPLACE 100% OF CRACKED, BROKEN, SPALLED, AND PATCHED BRICK MASONRY UNITS. PROVIDE FOR REPLACEMENT, INCLUSIVE OF AREAS INDICATED BY MASONRY SYMBOLS.
9. REPAIR 100% OF CRACKED, SPALLED AND PATCHED CONCRETE. PROVIDE FOR REPAIR, INCLUSIVE OF AREAS INDICATED.
10. SANDBLAST, PREP, PRIME, AND PAINT 100% OF EXPOSED STEEL ELEMENTS TO REMAIN AT BUILDING.
11. REMOVE SEALANT AT 100% OF THE PERIMETER OF MASONRY OPENINGS (WINDOWS, DOORS, VENTS, ETC.) PROVIDE NEW BACKER ROD, SEALANT, & SEALANT PRIMER.
12. REMOVE 100% OF SEALANT AT MISCELLANEOUS CONDUIT, VENT, AND OTHER PENETRATIONS.
13. SCRAPE, PRIME, AND PAINT EXPOSED PORTIONS OF STEEL UNITS AT WINDOW OPENINGS.
14. LOCATE, DOCUMENT, AND PROTECT ALL CELLULAR LEASED AND OTHER EQUIPMENT ON ROOF AND PENTHOUSE WALLS.
15. GRIND AND REPOINT 100% OF JOINTS AT WINDOW SILLS. REPOINT. PROVIDE BACKER ROD AND SEALANT AT SKYFACING JOINTS. TYPICAL AT ALL LOCATIONS.
16. REMOVE AND REINSTALL EXISTING WINDOW GUARDS AT 1ST/2ND FLOOR LEVELS TO ALLOW SCOPE OF WORK TO BE COMPLETED. REINSTALL WITH STAINLESS STEEL FASTENERS.

EXTERIOR LEGEND

- SP SPALL (SP) AT BRICK/MASONRY. REBUILD BRICK.
 - CR CRACK AT EXISTING MASONRY. REBUILD BRICK.
 - X EXISTING METAL ANCHOR(S). REMOVE PATCH.
 - HOLE EXISTING HOLE AT MASONRY. REPLACE BRICK.
 - O3 OPEN JOINT. REPOINT.
 - CJ/⊗ FAILED SEALANT. REPLACE.
 - AC UNIT TO REMAIN
- NOTE: EXTERIOR LEGEND TAGS REPRESENT LOCATION OF OCCURRENCE ONLY. THE SCALE OF TAGS ON THE ELEVATION DOES NOT REPRESENT ACTUAL SIZE OR SEVERITY.
- *REMOVE EXISTING SEALANT AT AC UNITS. PROVIDE NEW.
- N.I.C. AREA TO BE FOUND UNDER SEPARATE CONTRACT



1 EAST ELEVATION
SCALE: 1/8" = 1'-0"

**VIVIAN GORDON HARSH
APARTMENTS RENOVATION**

4227 S OAKENWALD AVENUE, CHICAGO, IL 60653



ARCHITECT/ENGINEER OF RECORD:
URBANWORKS
ARCHITECT - BUILDING ENVELOPE:
BAUER LATOZA STUDIO
CIVIL ENGINEER:
DESCOTO
LANDSCAPE ARCHITECT:
ACCENT URBAN DESIGN
STRUCTURAL ENGINEER:
RUBINOS & MESA
ENGINEERS, INC
M/E/P ENGINEER:
PRIMERA ENGINEERING

WARNING: ASBESTOS CONTAINING BUILDING MATERIALS ARE OR MAY BE PRESENT IN THIS BUILDING. AN ASBESTOS MANAGEMENT PLAN IS AVAILABLE IN THE BUILDING FOR REVIEW UPON REQUEST. NO PERSON MAY DISTURB ASBESTOS CONTAINING MATERIALS UNLESS THAT PERSON IS A LICENSED ASBESTOS WORKER OR CONDUCTS SUCH WORK IN ACCORDANCE WITH SPECIFICATION(S) CONTAINED IN THE PROJECT DOCUMENTS AND IN COMPLIANCE WITH ILLINOIS DEPARTMENT OF HEALTH RULES AND REGULATIONS.

| ISSUANCE | | |
|----------|----------------------------------|------------|
| # | DESCRIPTION | DATE |
| 1 | ISSUED FOR SCHEMATIC DESIGN | 2020.03.06 |
| 2 | ISSUED FOR DESIGN DEVELOPMENT | 2020.07.21 |
| 3 | ISSUED FOR RFI, CD | 2020.07.21 |
| 4 | ISSUED FOR RFI, CD | 2020.08.11 |
| 5 | ISSUED FOR RFI, CD | 2020.10.16 |
| 6 | ISSUED FOR RFI & PERMIT PHASE II | 2021.02.24 |

CHA CONTRACT NO: 12015-054AD

TITLE

**EAST ELEVATION
(PHASE A)**

SHEET

A2.0 'A'



KEYNOTE LEGEND

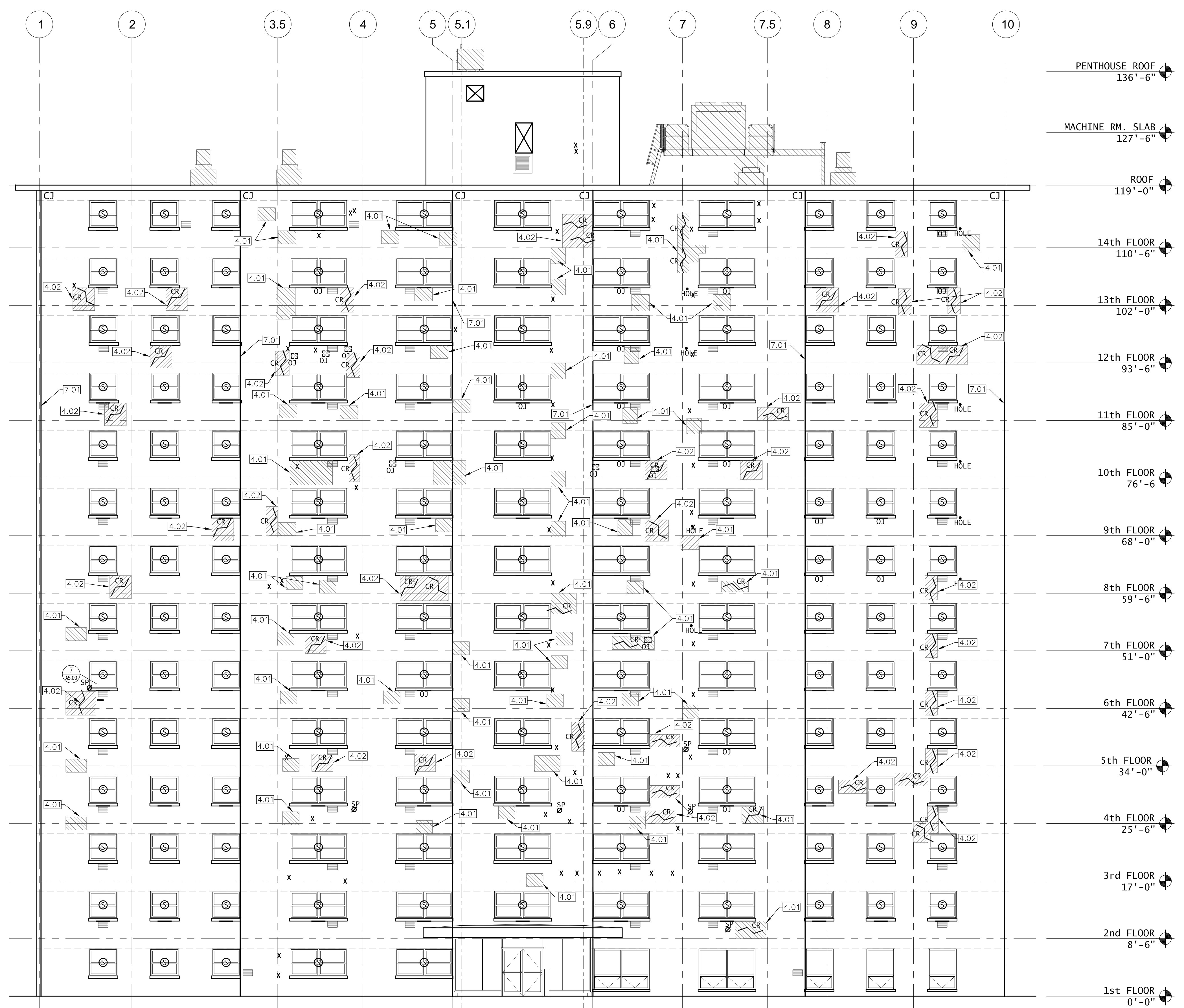
- 04-MASONRY**
- 4.01 GRIND AND POINT EXISTING MORTAR JOINTS. MATCH EXISTING ADJACENT MORTAR COLOR AND JOINT. SEE DETAILS.
- 4.02 REMOVE 1-WYTHE BRICK MASONRY. REBUILD WITH STAINLESS STEEL TIES. SEE DETAILS.
- 07-THERMAL AND MOISTURE PROTECTION**
- 7.03 REMOVE EXISTING SEALANT AT CONTROL JOINT. PROVIDE NEW BACKER ROD AND SEALANT. SEE DETAILS.

GENERAL EXTERIOR ELEVATION NOTES

1. REMOVE WALL AND PARAPET MOUNTED LIGHTS, SECURITY CAMERAS, CONDUIT AND ASSOCIATED BRACKETS/FASTENERS AT AREAS REQUIRING WORK. REPLACE BRICKS AT REMOVED LOCATIONS.
2. ALL NEW MASONRY UNITS (OF BRICK) TO MATCH ORIGINAL CLEANED UNITS IN SIZE, SHAPE, COLOR, TEXTURE AND FINISH.
3. REMOVE AND SALVAGE 100% OF SIGNS MOUNTED ON BUILDING ELEVATIONS. REINSTALL AFTER MASONRY WORK IS COMPLETE. (I.N.O.)
4. REMOVE 100% OF INSECT NESTS/HIVES AT ELEVATIONS.
5. REMOVE 100% OF BIOLOGICAL AND PLANT GROWTH FROM BUILDING ELEVATIONS.
6. REMOVE 100% OF ALL SEALANT, MASTIC, AND TAR FROM MASONRY.
7. REMOVE 100% OF ABANDONED FASTENERS, AND ABANDONED MECHANICAL, ELECTRICAL, AND PLUMBING ITEMS MOUNTED ON BUILDING ELEVATIONS. REPLACE BRICK.
8. REPLACE 100% OF CRACKED, BROKEN, SPALLED, AND PATCHED BRICK MASONRY UNITS. PROVIDE FOR REPLACEMENT, INCLUSIVE OF AREAS INDICATED BY MASONRY SYMBOLS.
9. REPAIR 100% OF CRACKED, SPALLED AND PATCHED CONCRETE. PROVIDE FOR REPAIR, INCLUSIVE OF AREAS INDICATED.
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EXTERIOR LEGEND

- SP SPALL (SP) AT BRICK/MASONRY. REBUILD BRICK.
 - CR CRACK AT EXISTING MASONRY. REBUILD BRICK.
 - X EXISTING METAL ANCHOR(S). REMOVE PATCH.
 - HOLE EXISTING HOLE AT MASONRY. REPLACE BRICK.
 - OJ OPEN JOINT. REPOINT.
 - CJ/⊗ FAILED SEALANT. REPLACE.
 - AC UNIT TO REMAIN
- NOTE: EXTERIOR LEGEND TAGS REPRESENT LOCATION OF OCCURRENCE ONLY. THE SCALE OF TAGS ON THE ELEVATION DOES NOT REPRESENT ACTUAL SIZE OR SEVERITY.
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- N.I.C. AREA TO BE FOUND UNDER SEPARATE CONTRACT



1 WEST ELEVATION
SCALE: 1/8" = 1'-0"

VIVIAN GORDON HARSH APARTMENTS RENOVATION

4227 S OAKENWALD AVENUE, CHICAGO, IL 60653



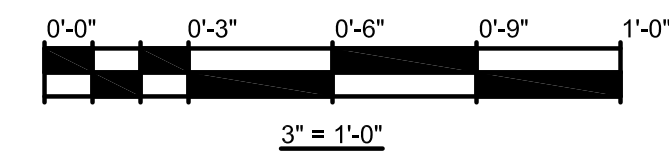
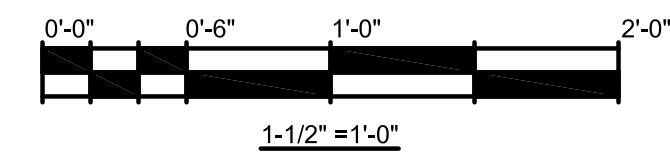
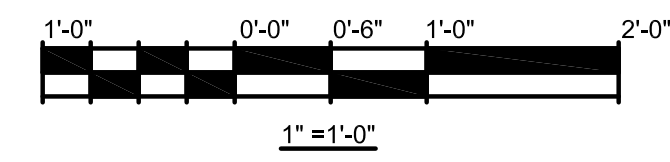
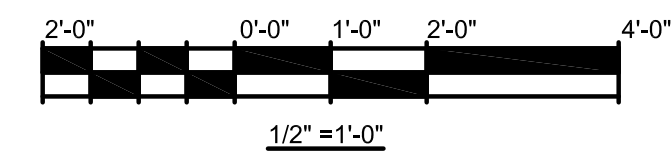
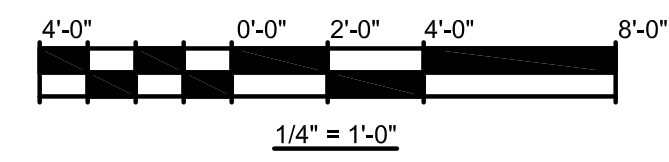
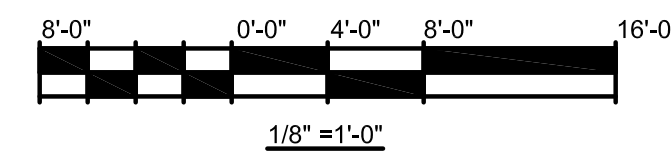
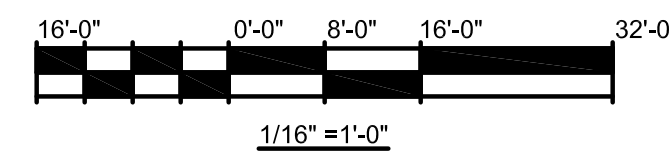
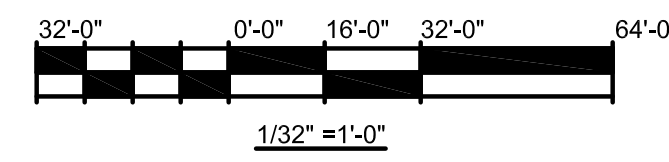
ARCHITECT/ENGINEER OF RECORD:
URBANWORKS
ARCHITECT - BUILDING ENVELOPE:
BAUER LATOZA STUDIO
CIVIL ENGINEER:
D'ESCOTO
LANDSCAPE ARCHITECT:
ACCENT URBAN DESIGN
STRUCTURAL ENGINEER:
RUBINOS & MESA ENGINEERS, INC
M/E/P ENGINEER:
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| ISSUANCE | | DATE |
|----------|--------------------------------------|------------|
| # | DESCRIPTION | |
| 1 | ISSUED FOR SCHEMATIC DESIGN | 2020.03.04 |
| 2 | ISSUED FOR DESIGN DEVELOPMENT | 2020.07.21 |
| 3 | ISSUED FOR RFI, CD | 2020.08.11 |
| 4 | ISSUED FOR RFI, CD | 2020.10.14 |
| 5 | ISSUED FOR PERMITS & PERMIT PHASE IV | 2021.02.18 |

CHA CONTRACT NO: 12015-054AD
TITLE
WEST ELEVATION (PHASE A)

A2.1 'A'



KEYNOTE LEGEND

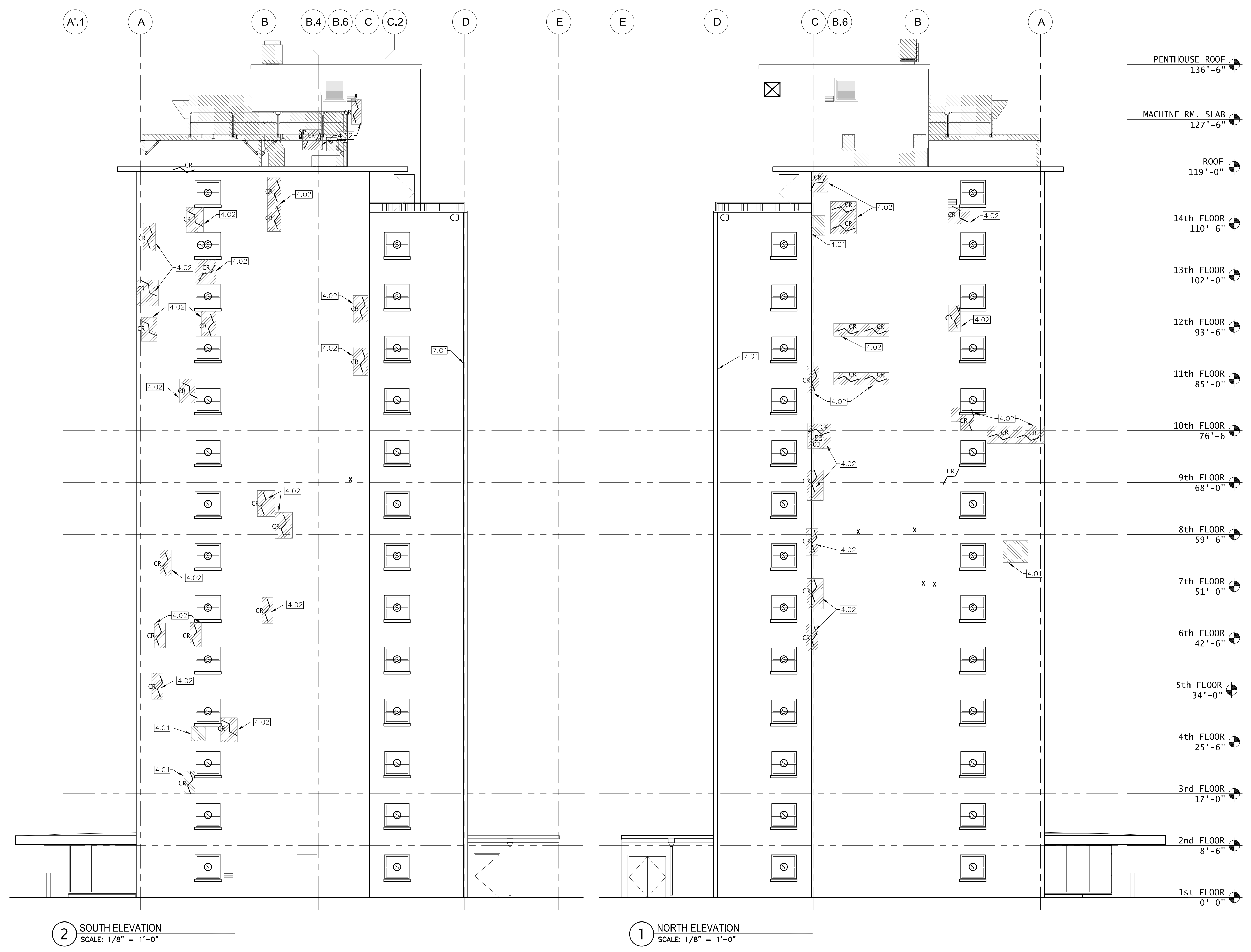
- 04-MASONRY**
- 4.01 GRIND AND POINT EXISTING MORTAR JOINTS. MATCH EXISTING ADJACENT MORTAR COLOR AND JOINT. SEE DETAILS.
 - 4.02 REMOVE 1-WYTHE BRICK MASONRY. REBUILD WITH STAINLESS STEEL TIES. SEE DETAILS.
- 07-THERMAL AND MOISTURE PROTECTION**
- 7.03 REMOVE EXISTING SEALANT AT CONTROL JOINT. PROVIDE NEW BACKER ROD AND SEALANT. SEE DETAILS.

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- N.I.C. AREA TO BE FOUND UNDER SEPARATE CONTRACT



VIVIAN GORDON HARSH APARTMENTS RENOVATION

4227 S OAKENWALD AVENUE, CHICAGO, IL 60653

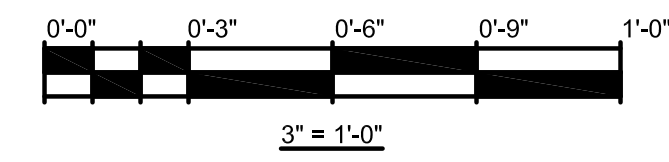
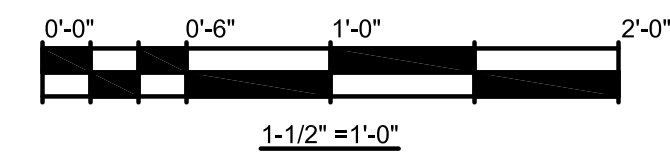
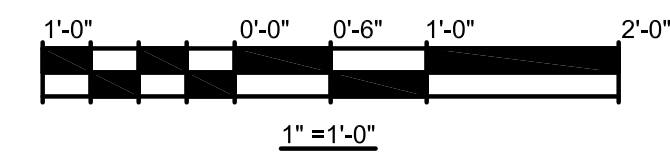
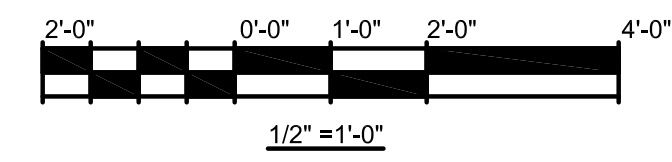
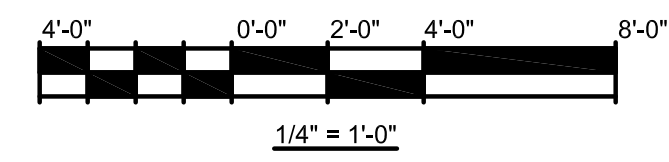
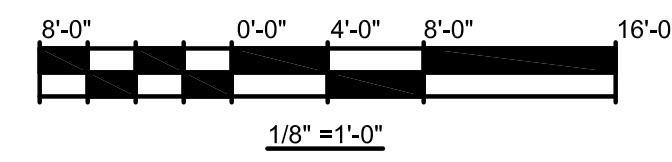
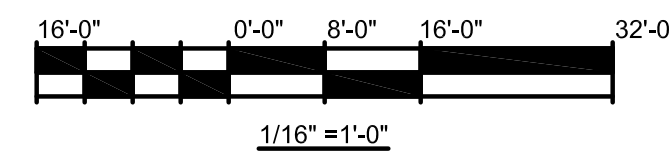
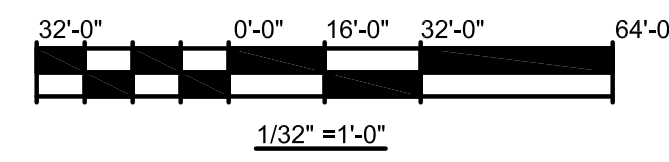
ARCHITECT/ENGINEER OF RECORD:
URBANWORKS
 ARCHITECT - BUILDING ENVELOPE:
BAUER LATOZA STUDIO
 CIVIL ENGINEER:
D'ESCOTO
 LANDSCAPE ARCHITECT:
ACCENT URBAN DESIGN
 STRUCTURAL ENGINEER:
RUBINOS & MESA ENGINEERS, INC
 M/E/P ENGINEER:
PRIMERA ENGINEERING

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| ISSUANCE | | DATE |
|----------|----------------------------------|------------|
| # | DESCRIPTION | |
| 1 | ISSUED FOR SCHEMATIC DESIGN | 2020.03.08 |
| 2 | ISSUED FOR DESIGN DEVELOPMENT | 2020.05.01 |
| 3 | ISSUED FOR RFI CD | 2020.07.21 |
| 4 | ISSUED FOR RFI CD | 2020.08.11 |
| 5 | ISSUED FOR RFI CD | 2020.10.18 |
| 6 | ISSUED FOR RFI & PERMIT PHASE II | 2021.02.24 |

CHA CONTRACT NO: 12015-054AD
 TITLE
NORTH AND SOUTH ELEVATION (PHASE A)

SHEET
A2.2 'A'



VIVIAN GORDON HARSH APARTMENTS RENOVATION

4227 S OAKENWALD AVENUE, CHICAGO, IL 60653

ARCHITECT/ENGINEER OF RECORD:
URBANWORKS
 ARCHITECT - BUILDING ENVELOPE:
BAUER LATOZA STUDIO
 CIVIL ENGINEER:
D'ESCOTO
 LANDSCAPE ARCHITECT:
ACCENT URBAN DESIGN
 STRUCTURAL ENGINEER:
RUBINOS & MESA ENGINEERS, INC
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| ISSUANCE | | |
|----------|----------------------------------|------------|
| # | DESCRIPTION | DATE |
| 1 | ISSUED FOR SCHEMATIC DESIGN | 2020.03.06 |
| 2 | ISSUED FOR DESIGN DEVELOPMENT | 2020.06.01 |
| 3 | ISSUED FOR RFP, CD | 2020.07.21 |
| 4 | ISSUED FOR RFP, CD | 2020.08.11 |
| 5 | ISSUED FOR RFP, CD | 2020.10.18 |
| 6 | ISSUED FOR RFP & PERMIT PHASE II | 2021.02.24 |

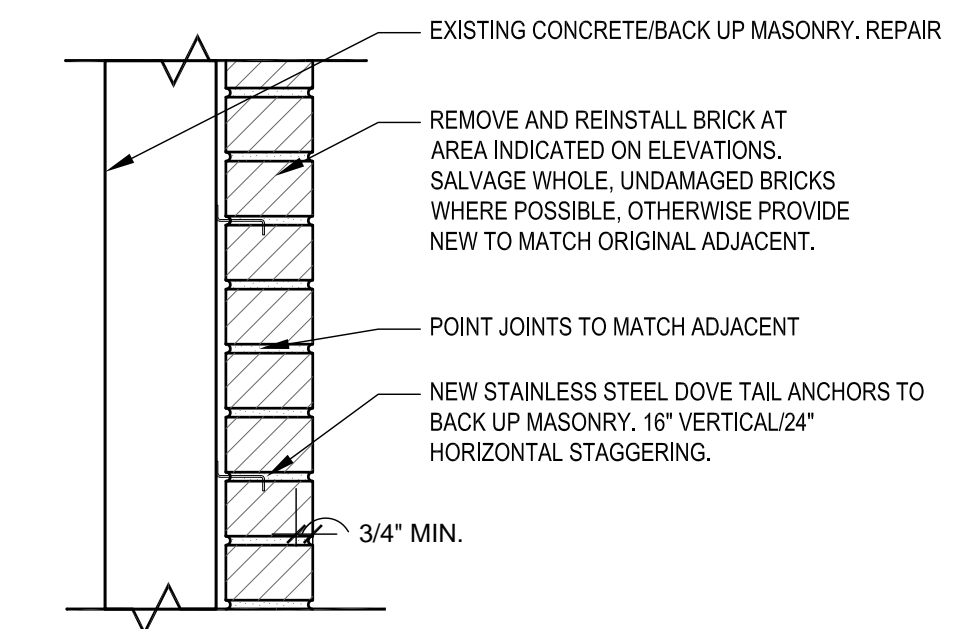
CHA CONTRACT NO: 12015-054AD

TITLE

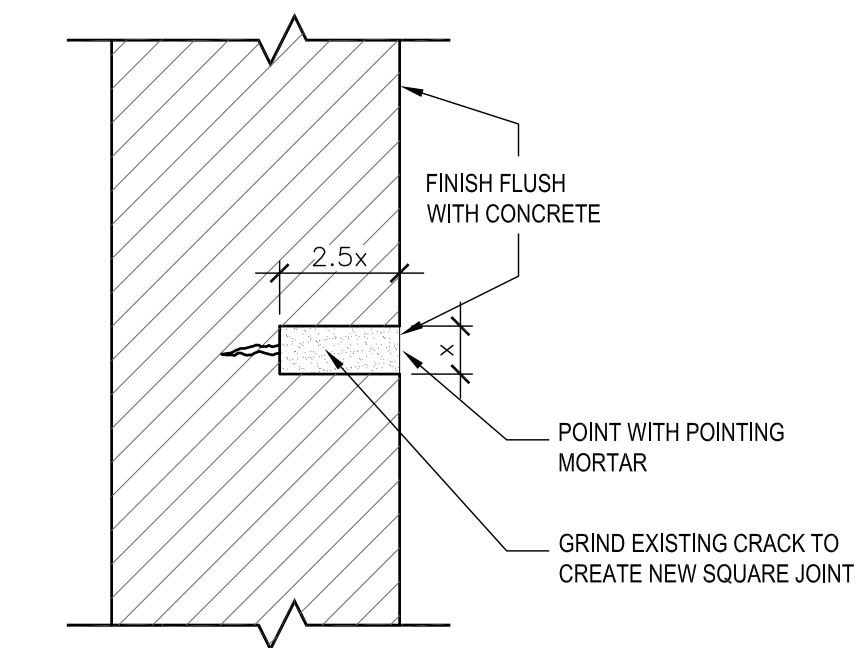
DETAILS (PHASE A)

SHEET

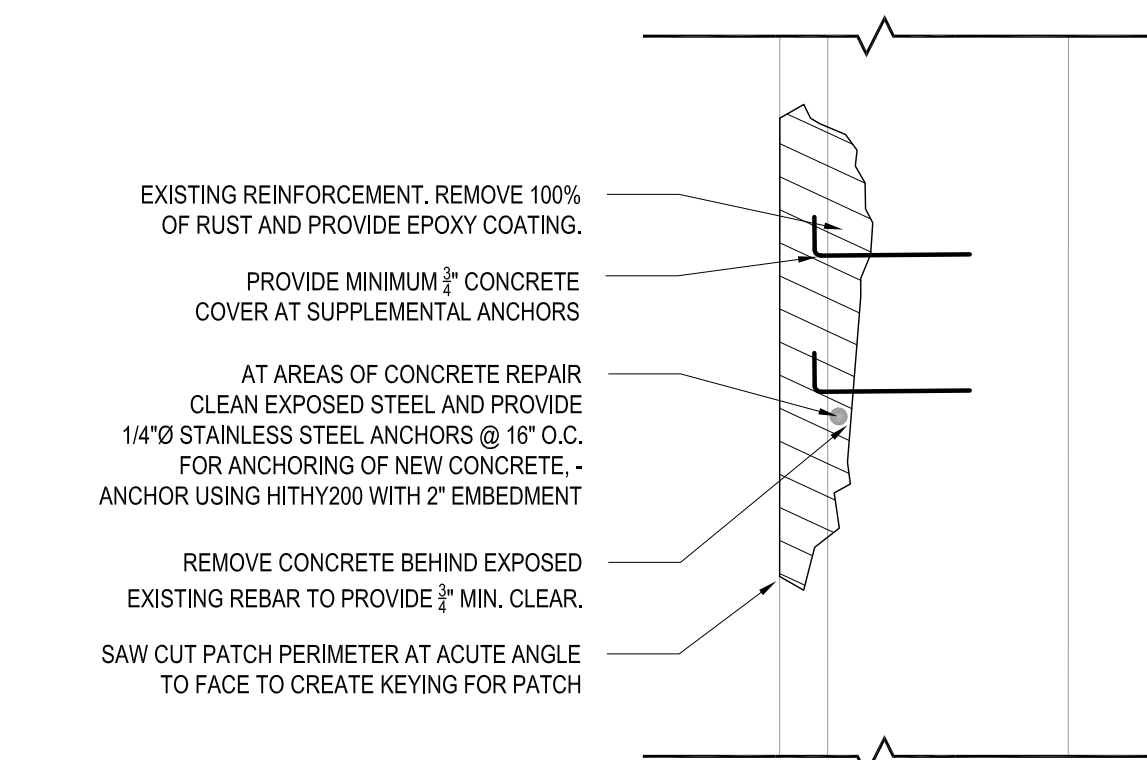
A5.0 'A'



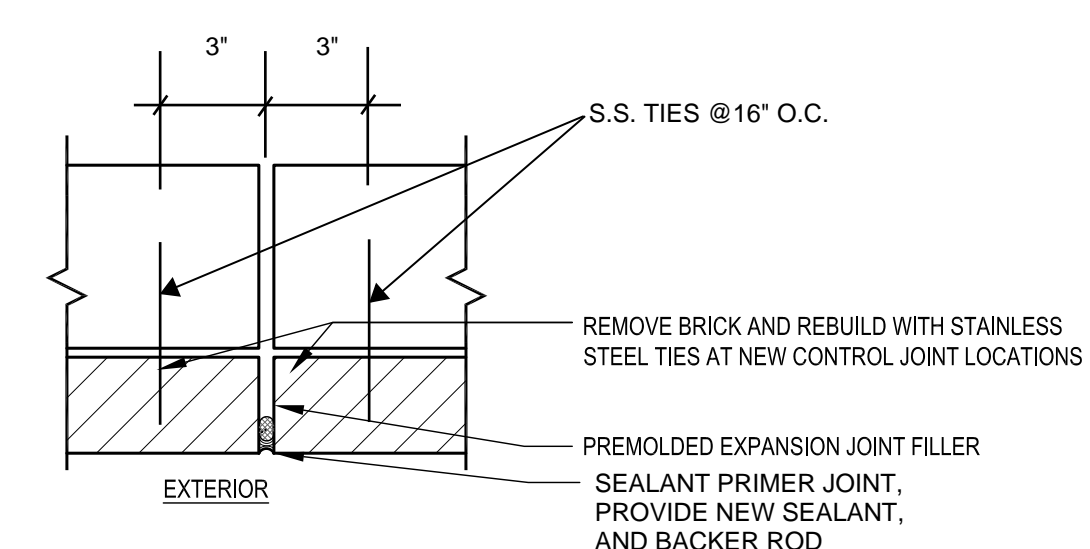
4 1-WYTHE MASONRY REBUILD DETAIL
 SCALE: 1 1/2" = 1'-0"



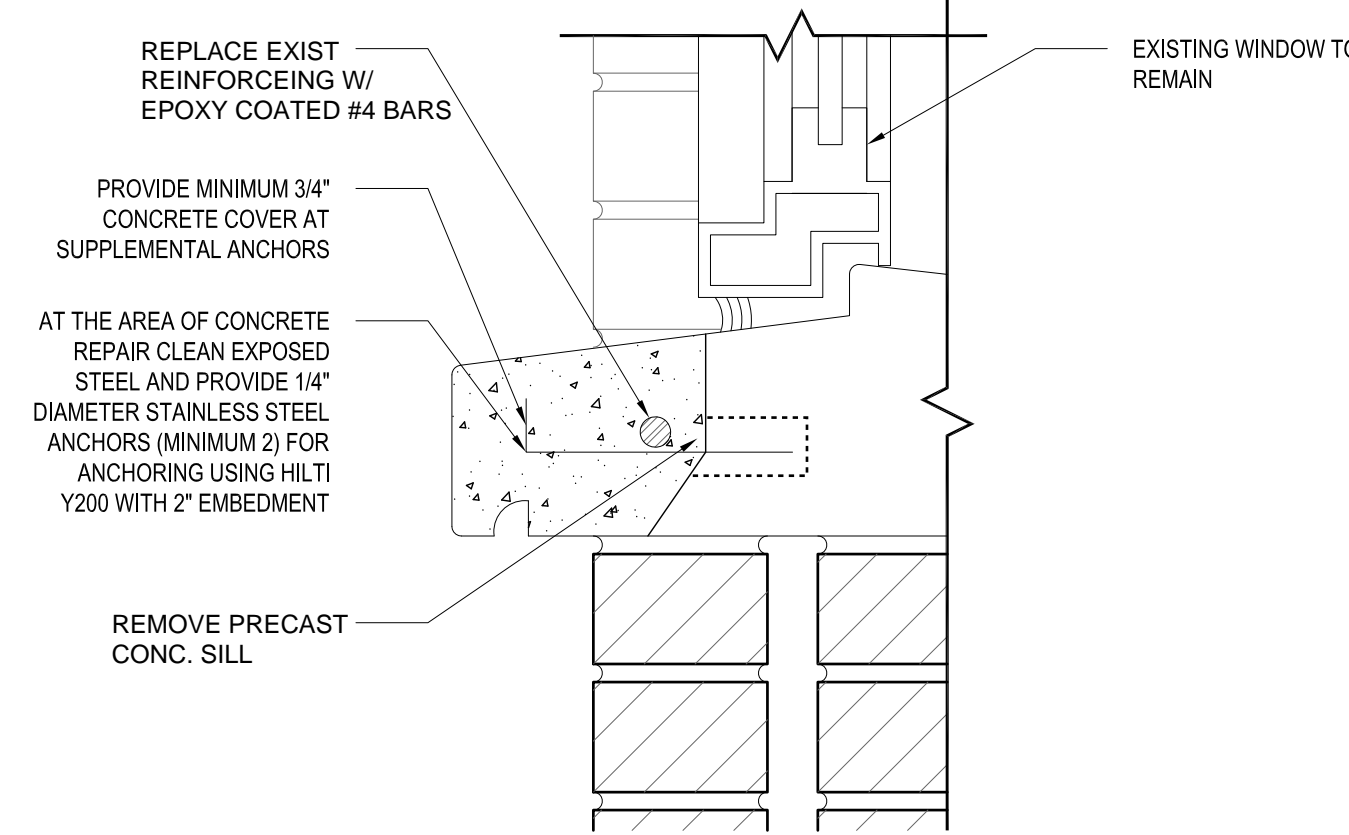
3 CRACK REPAIR - CONCRETE
 SCALE: 1 1/2" = 1'-0"



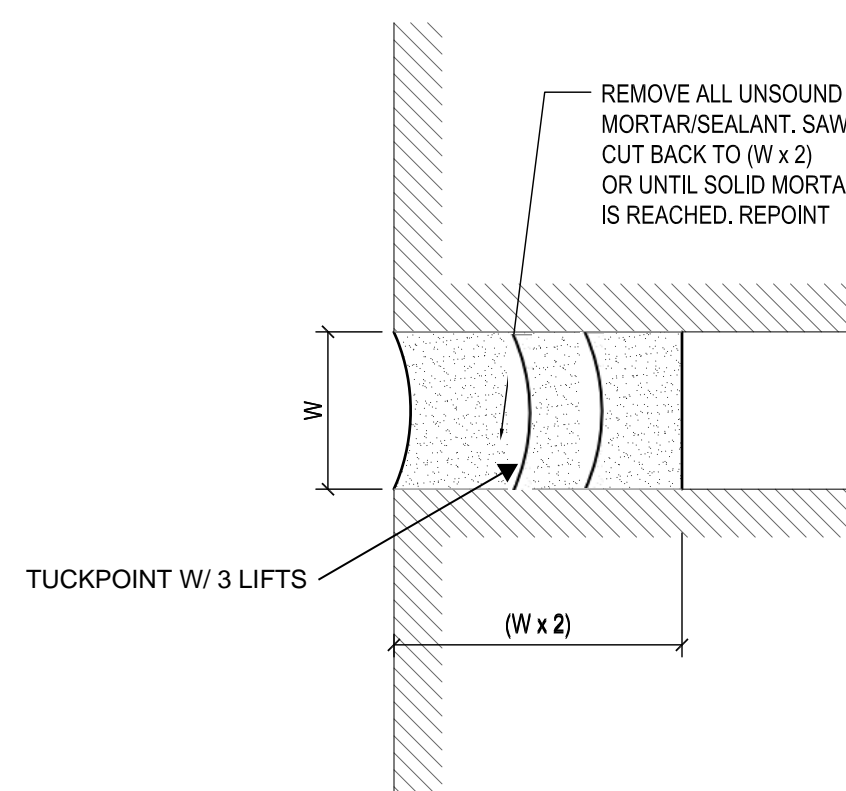
2 LARGE PATCH AT CONCRETE
 SCALE: 1 1/2" = 1'-0"



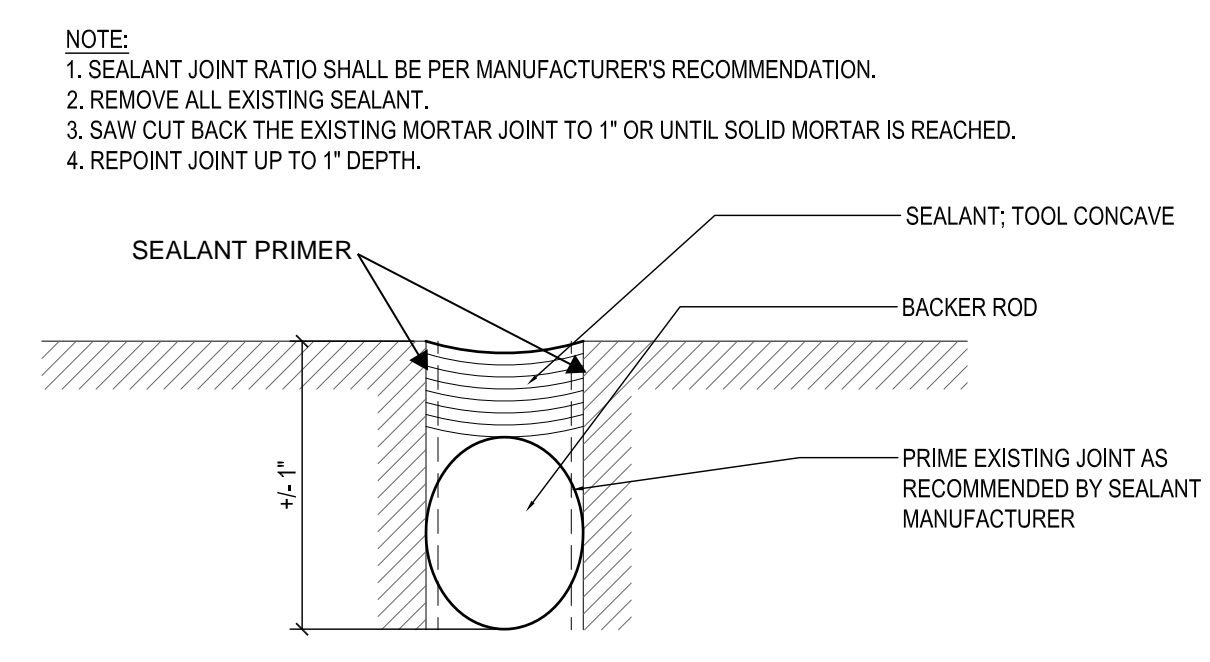
1 CONTROL JOINT DETAIL
 SCALE: 1 1/2" = 1'-0"



7 SILL REPAIR DETAIL
 SCALE: 3" = 1'-0"

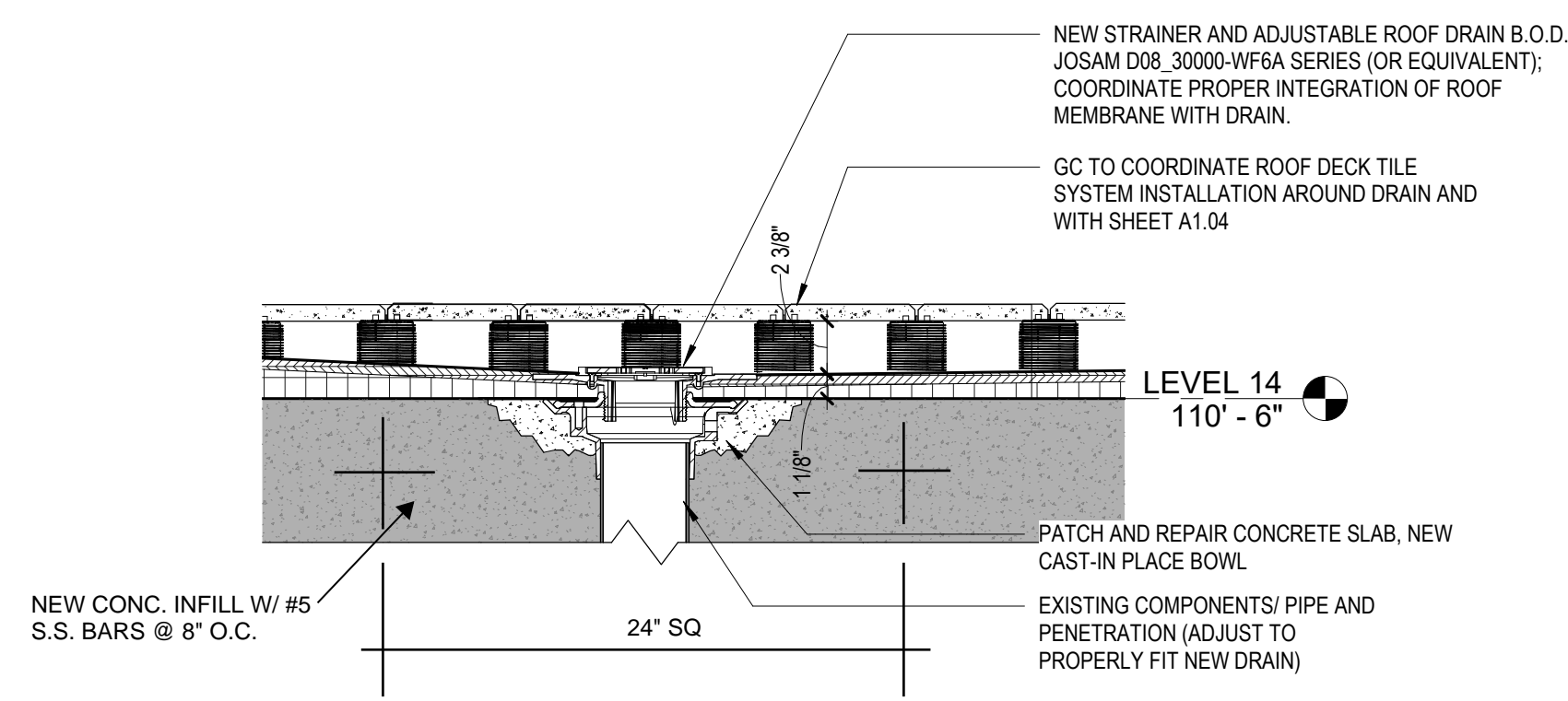


6 VERTICAL REPOINTING JOINT
 SCALE: 1'-0" = 1'-0"

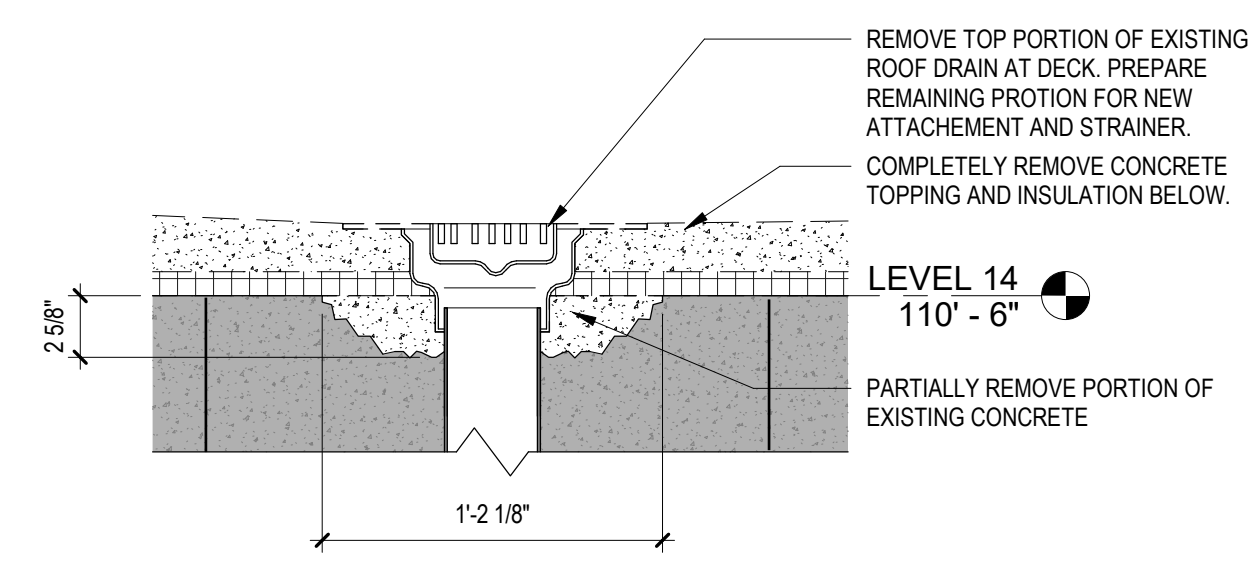


5 HORIZONTAL SEALANT JOINT
 SCALE: 1'-0" = 1'-0"

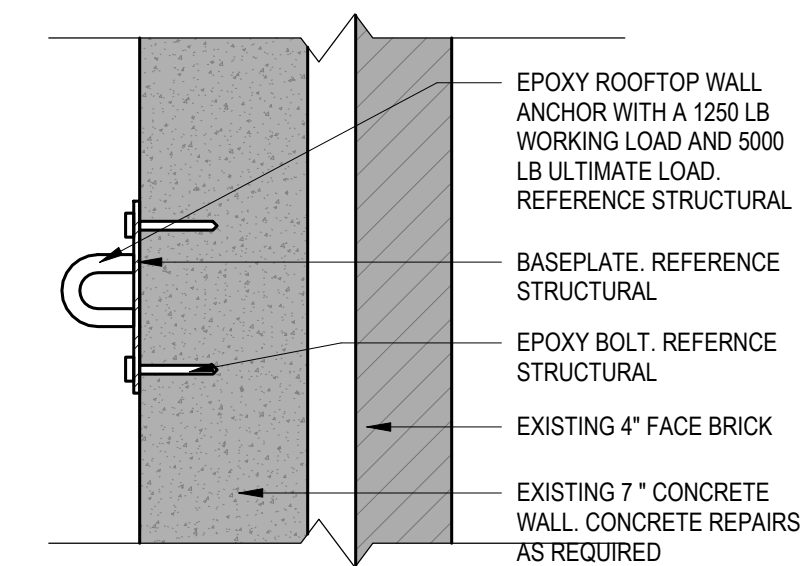
NOTE:
 1. SEALANT JOINT RATIO SHALL BE PER MANUFACTURER'S RECOMMENDATION.
 2. REMOVE ALL EXISTING SEALANT.
 3. SAW CUT BACK THE EXISTING MORTAR JOINT TO 1" OR UNTIL SOLID MORTAR IS REACHED.
 4. REPOINT JOINT UP TO 1" DEPTH.



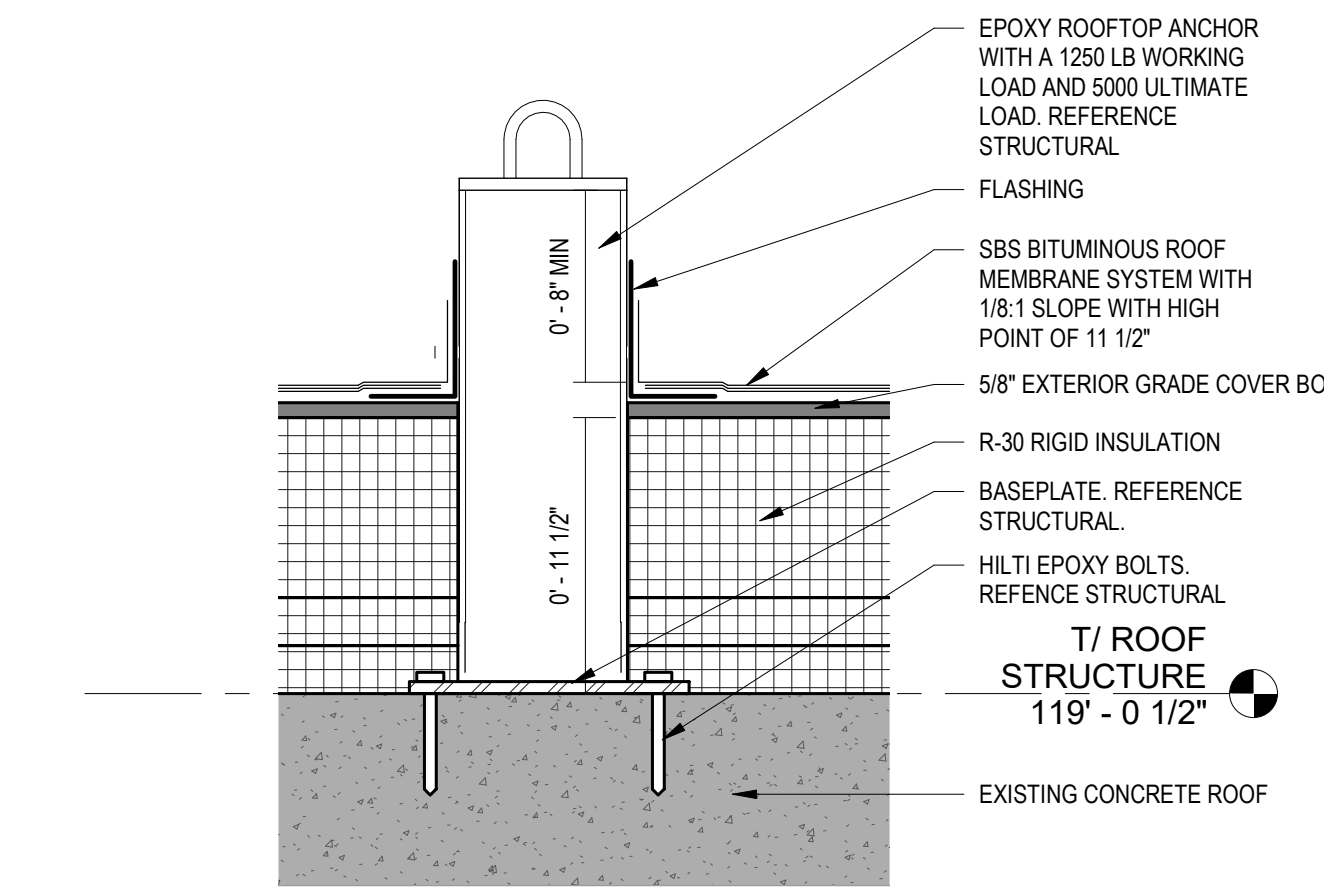
12 DETAIL AT EXISTING 14TH FL DECK DRAIN
SCALE: 1 1/2" = 1'-0"



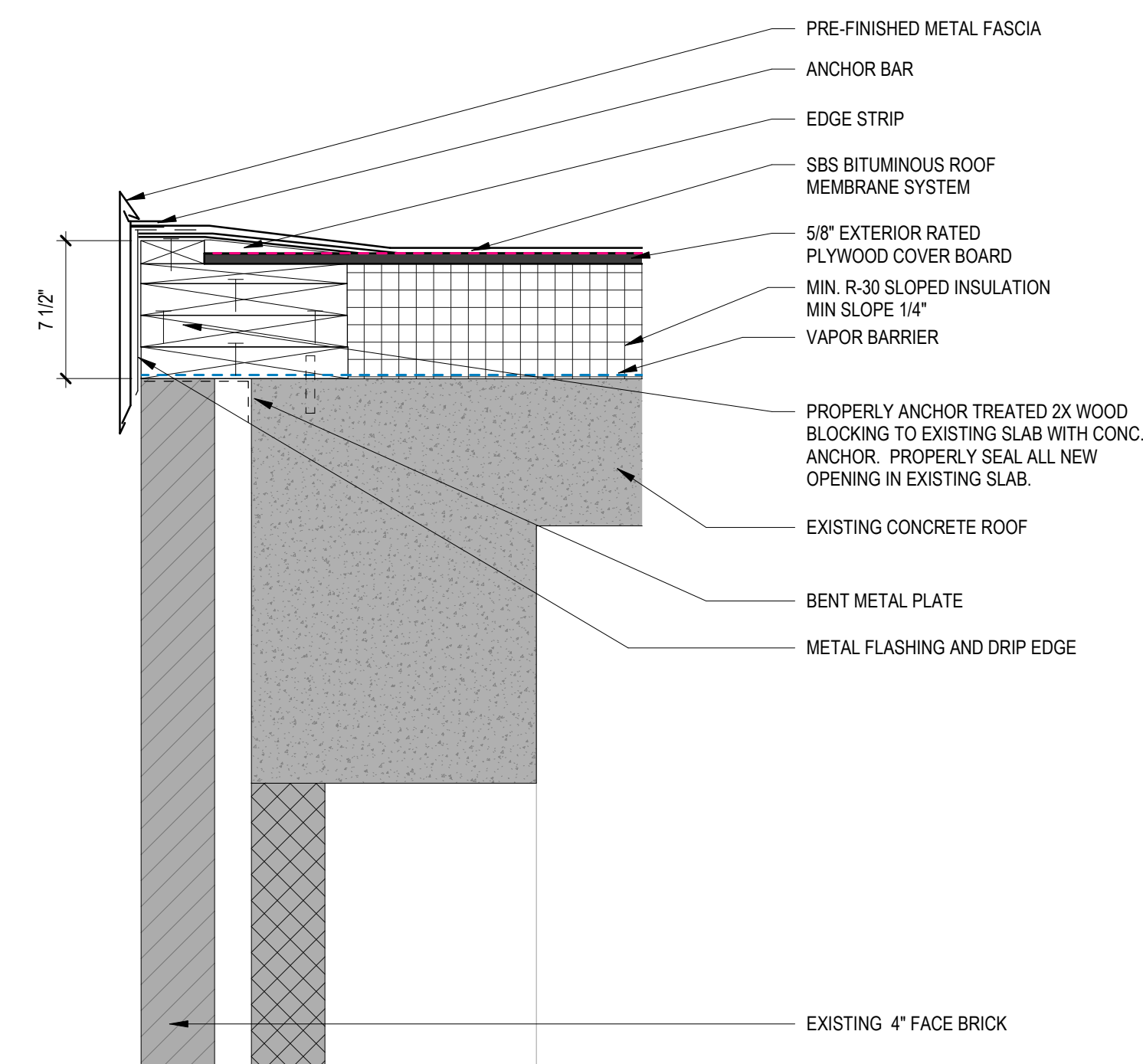
11 DETAIL AT EXISTING 14TH FL DECK DRAIN - DEMO
SCALE: 1 1/2" = 1'-0"



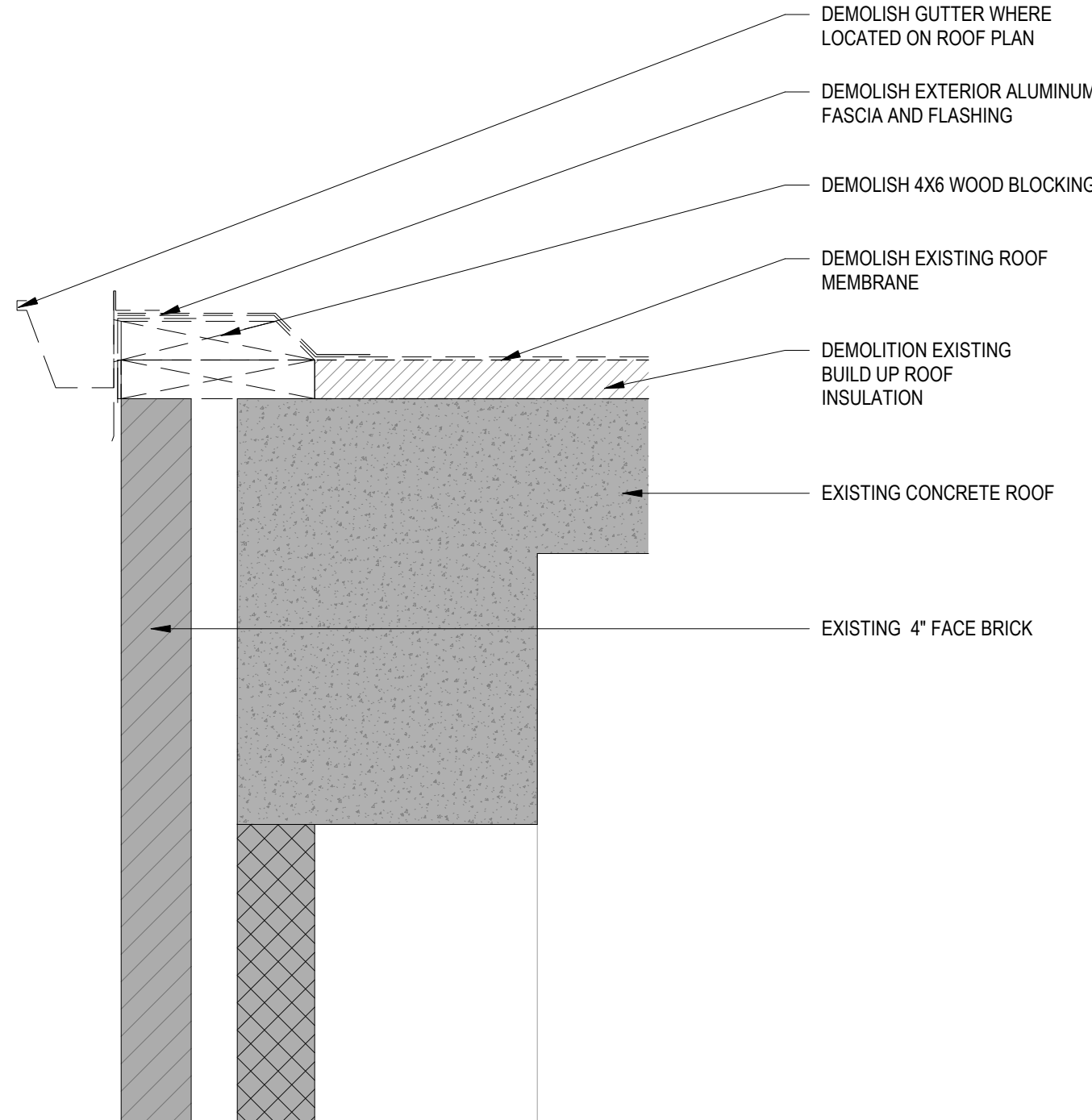
10 DETAIL - PARAPET ANCHOR (4 THUS)
SCALE: 1 1/2" = 1'-0"



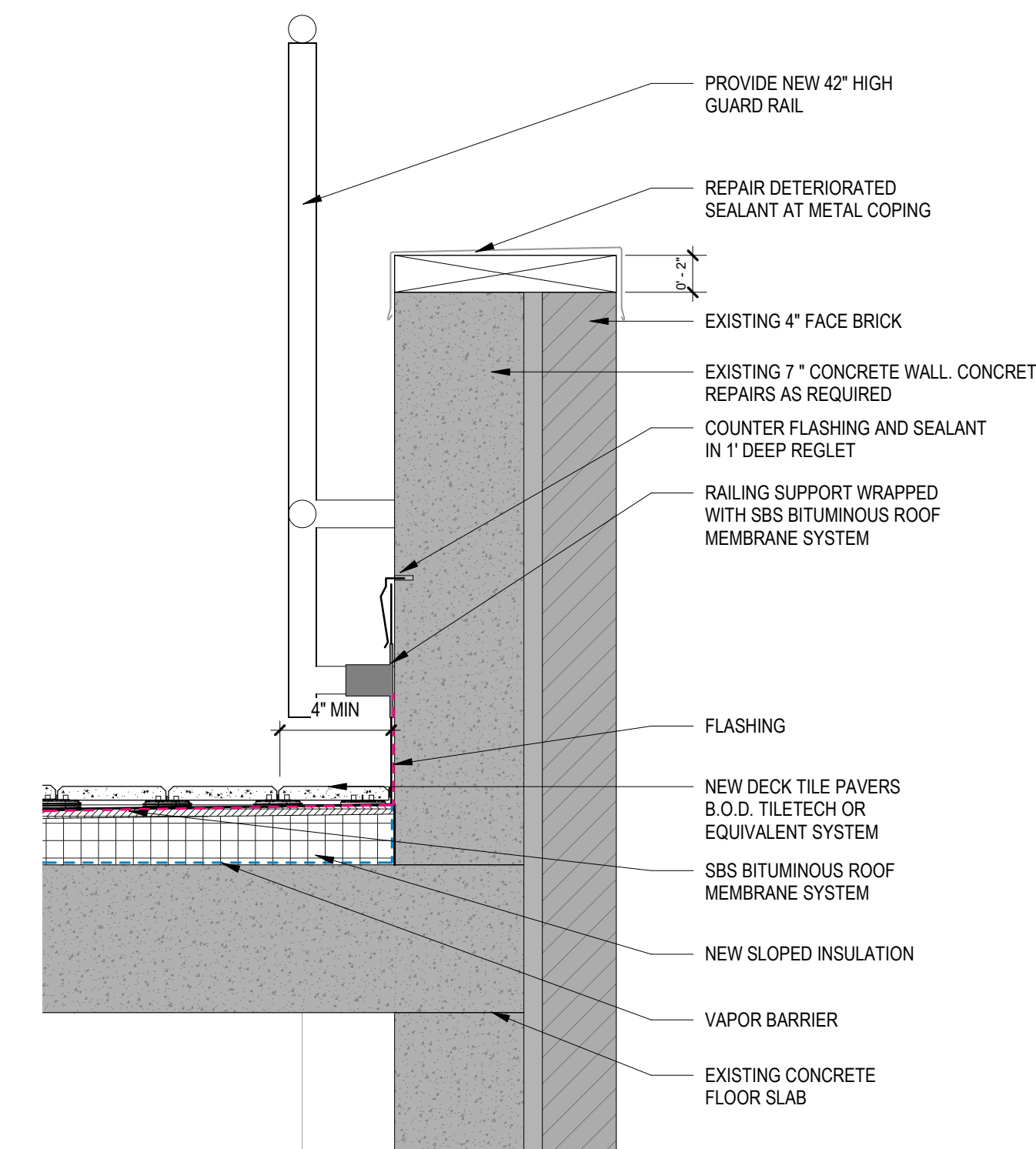
9 DETAIL - ROOFTOP ANCHOR
SCALE: 1 1/2" = 1'-0"



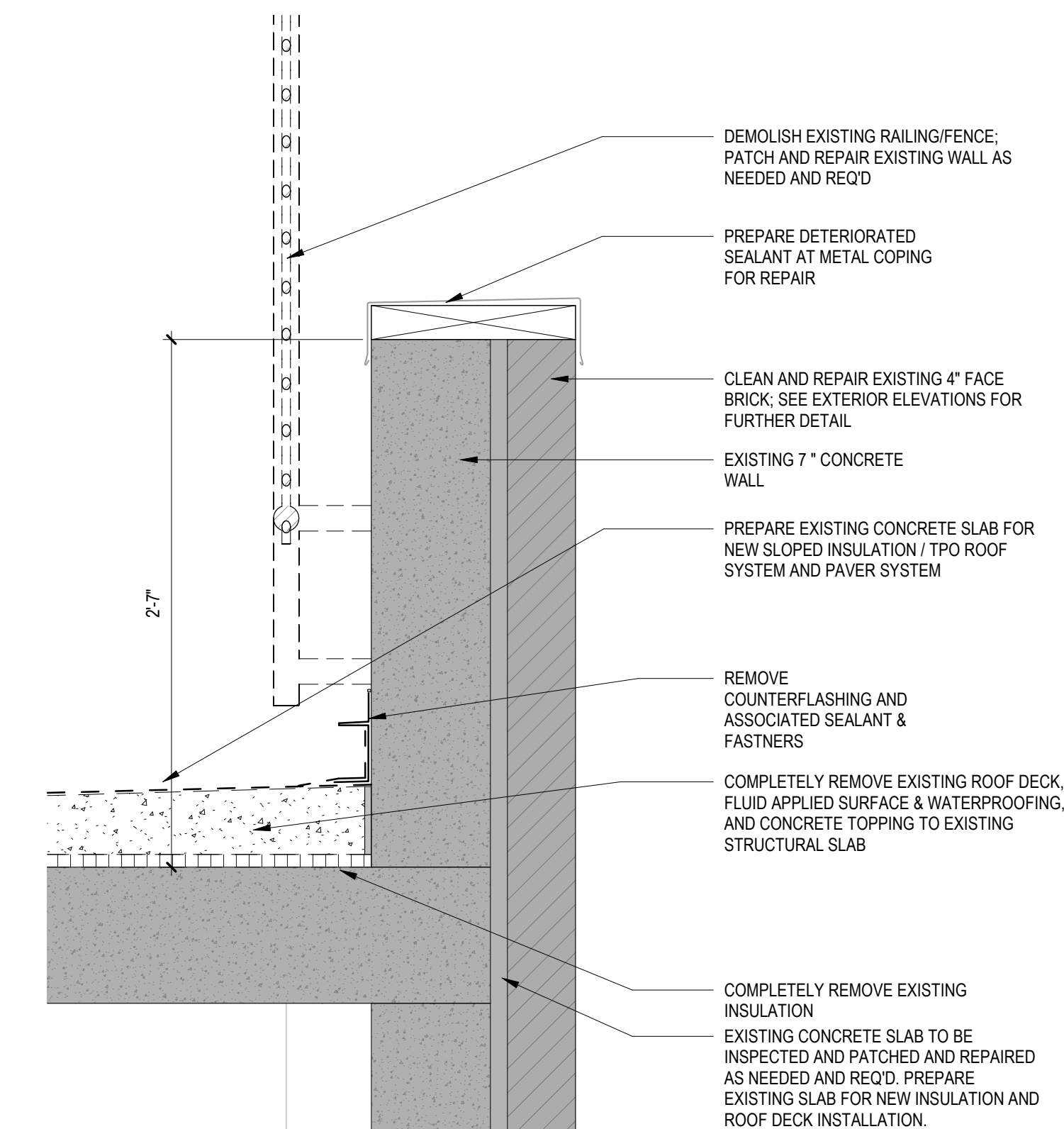
8 DETAIL - MECHANICAL PENTHOUSE ROOF EDGE
SCALE: 1 1/2" = 1'-0"



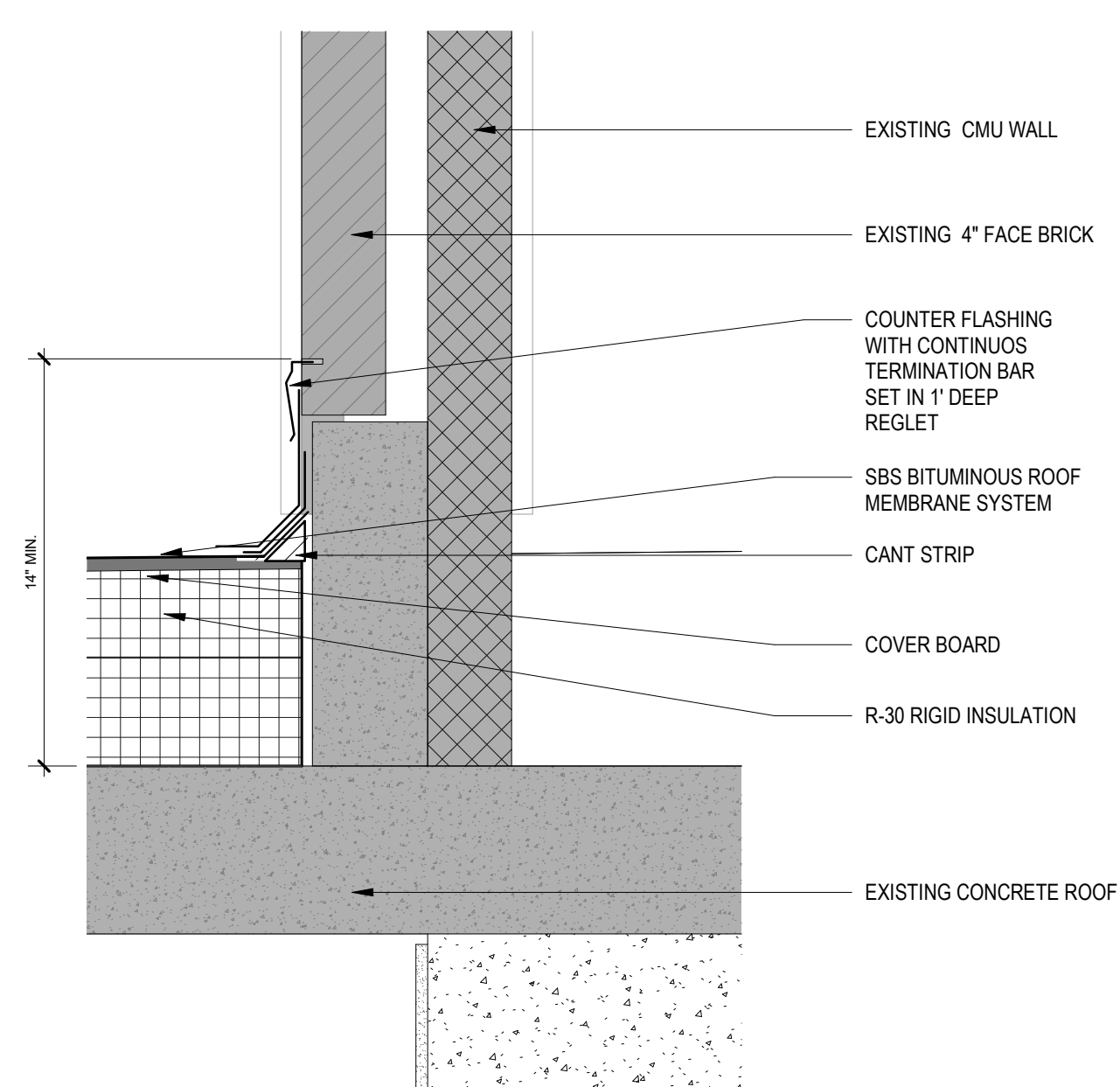
7 DETAIL - MECHANICAL PENTHOUSE ROOF EDGE DEMO
SCALE: 1 1/2" = 1'-0"



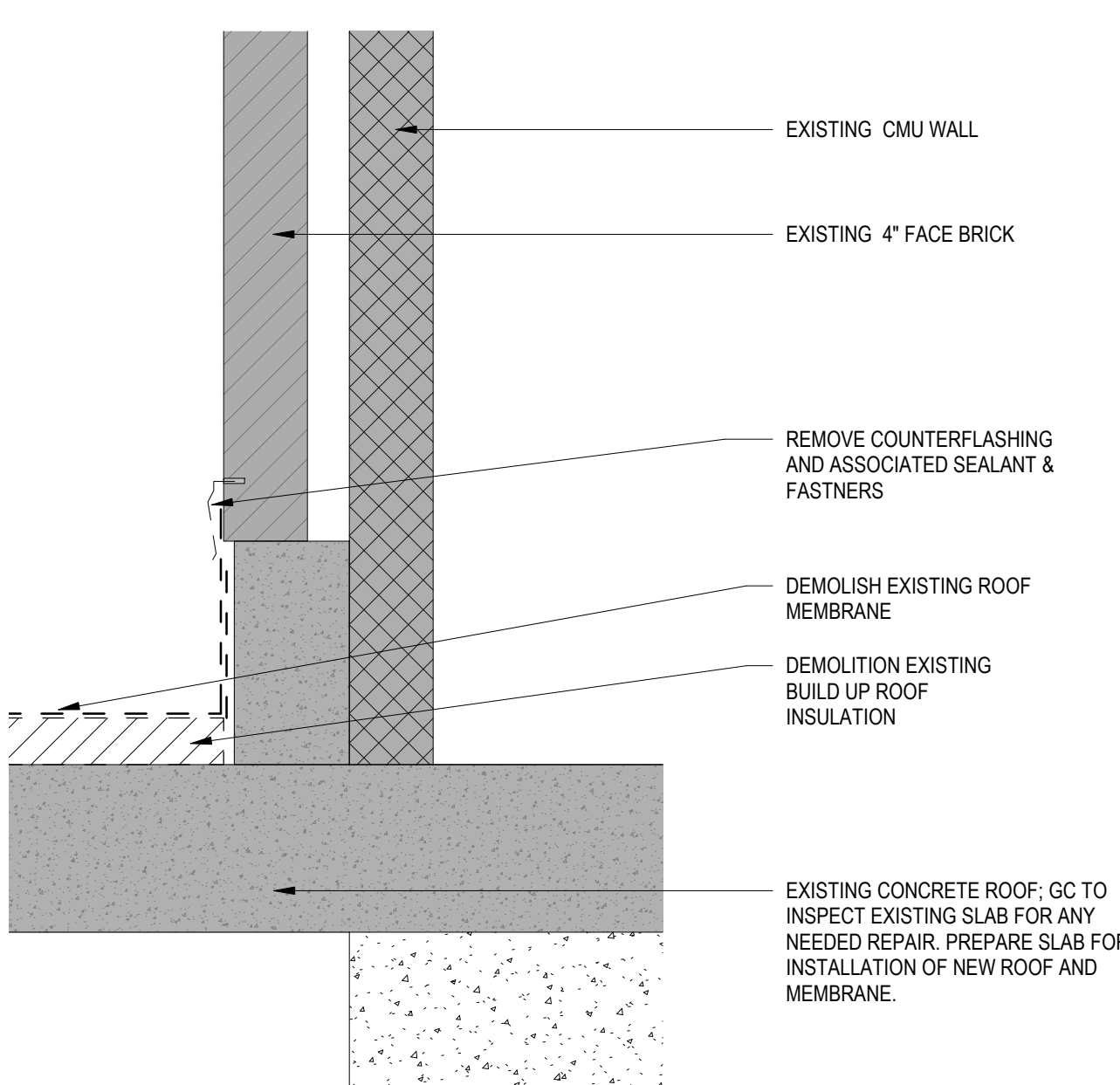
6 DETAIL - ROOF DECK PARAPET
SCALE: 1 1/2" = 1'-0"



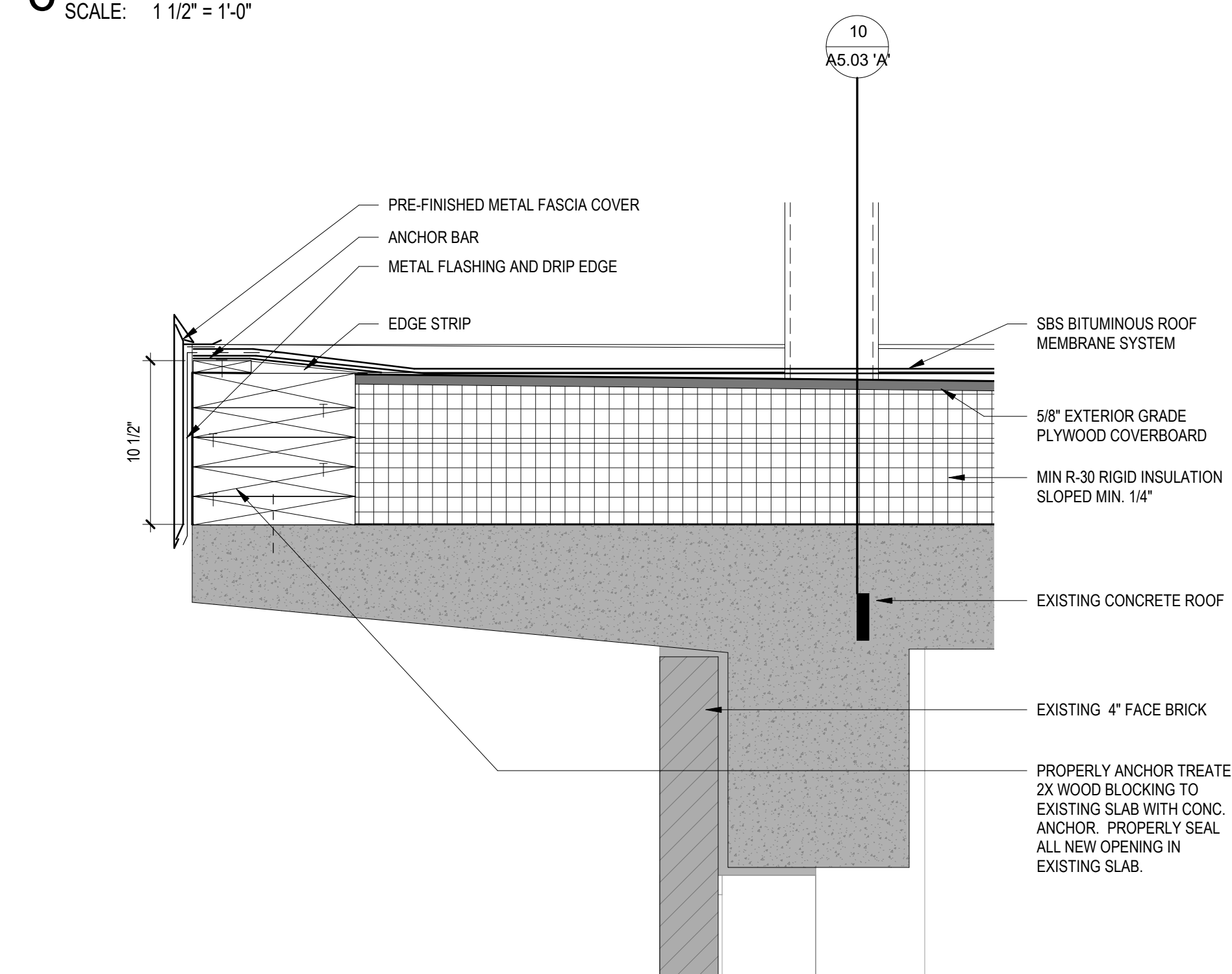
5 DETAIL - ROOF DECK PARAPET DEMOLITION
SCALE: 1 1/2" = 1'-0"



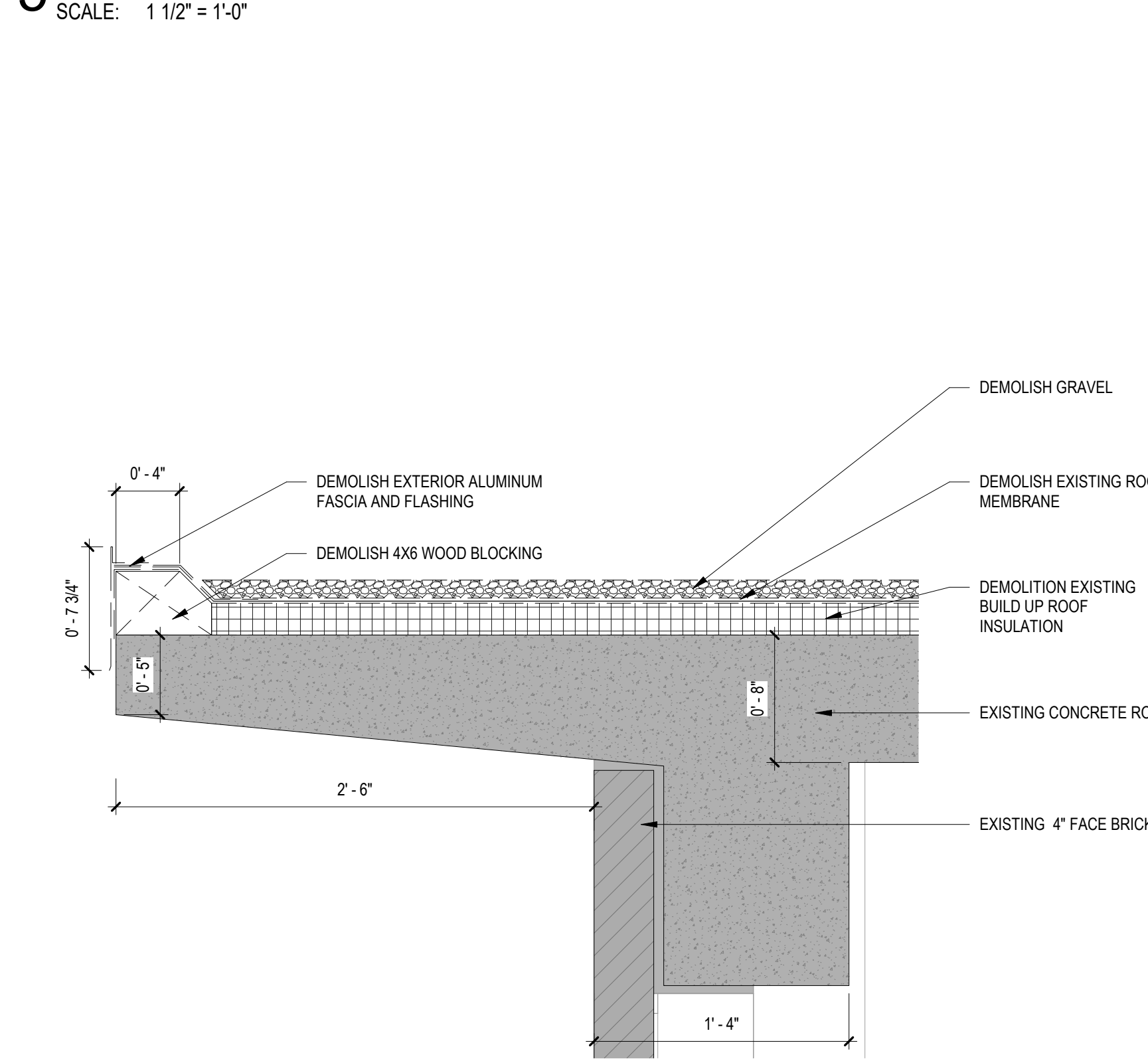
4 DETAIL - MAIN ROOF MECHANICAL PENTHOUSE BASE
SCALE: 1 1/2" = 1'-0"



3 DETAIL - MAIN ROOF MECHANICAL PENTHOUSE BASE DEMO
SCALE: 1 1/2" = 1'-0"



2 DETAIL - TYPICAL ROOF NEW CONSTRUCTION
SCALE: 1 1/2" = 1'-0"



1 DETAIL - TYPICAL ROOF DEMOLITION
SCALE: 1 1/2" = 1'-0"



VIVIAN GORDON HARSH APARTMENTS RENOVATION

4227 S OAKENWALD AVENUE, CHICAGO, IL 60653

Application #: 100902815

ARCHITECT/ENGINEER OF RECORD: **URBANWORKS**
 ARCHITECT - BUILDING ENVELOPE: **BAUER LATOZA STUDIO**
 CIVIL ENGINEER: **D'ESCOTO**
 LANDSCAPE ARCHITECT: **ACCENT URBAN DESIGN**
 STRUCTURAL ENGINEER: **RUBINOS & MESIA ENGINEERS, INC**
 MEP ENGINEER: **PRIMERA ENGINEERING**

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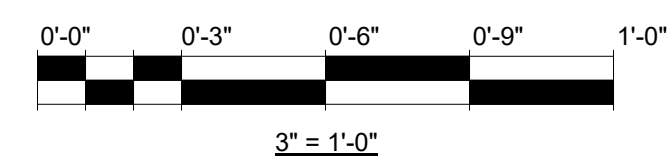
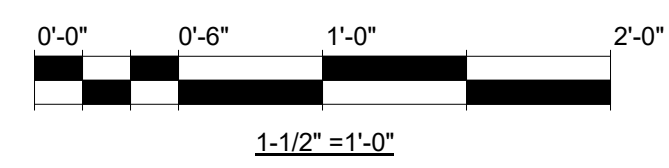
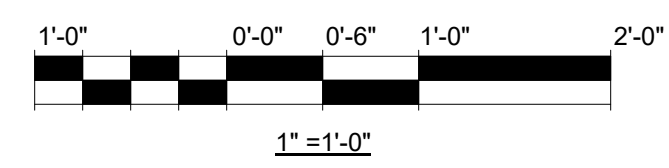
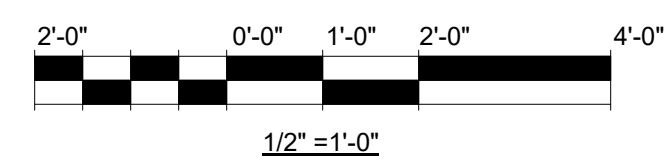
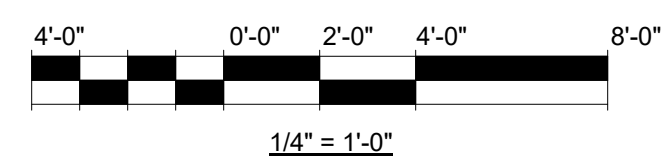
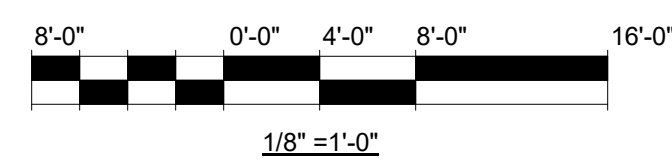
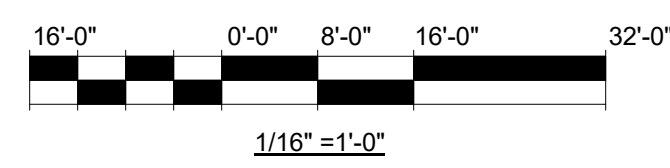
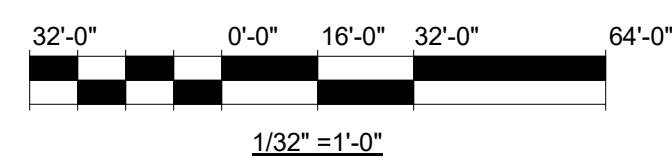
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| | ISSUED FOR SCHEMATIC DESIGN | 2020.03.06 |
| | ISSUED FOR DESIGN DEVELOPMENT | 2020.04.01 |
| | ISSUED FOR 60% CD | 2020.07.21 |
| | ISSUED FOR 90% CD | 2020.08.11 |
| | ISSUED FOR 100% CD (ISSUED FOR PERMIT) | 2020.12.18 |
| | ISSUED FOR PROCUREMENT | 2021.01.22 |
| | ISSUED FOR BID AND PERMIT PHASE 'A' | 2021.02.24 |

CHA CONTRACT NO. 12015-054AD
 TITLE

ROOF DETAILS (PHASE A)

SHEET

A5.02 'A'



**VIVIAN GORDON HARSH
APARTMENTS RENOVATION**

4227 S OAKENWALD AVENUE, CHICAGO, IL 60653

Application #: 100902815

ARCHITECT/ENGINEER OF RECORD:
URBANWORKS
ARCHITECT - BUILDING ENVELOPE:
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CIVIL ENGINEER:
D'ESCOTO
LANDSCAPE ARCHITECT:
ACCENT URBAN DESIGN
STRUCTURAL ENGINEER:
RUBINOS & MESIA
ENGINEERS, INC
M/E/P ENGINEER:
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| | ISSUED FOR PERMIT | 2021.01.22 |
| | ISSUED FOR BID AND PERMIT PHASE 'A' | 2021.02.24 |

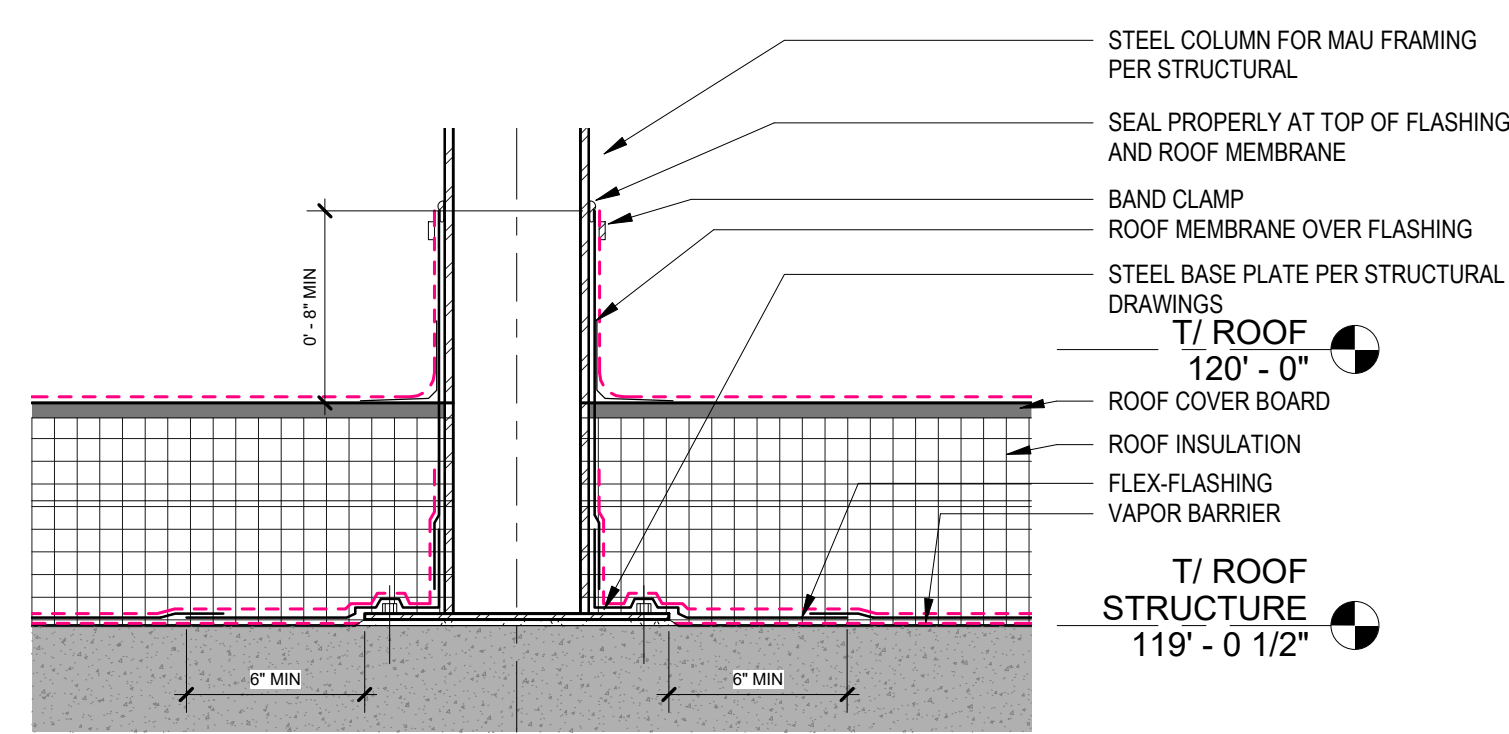
CHA CONTRACT NO. 12015-054AD

TITLE

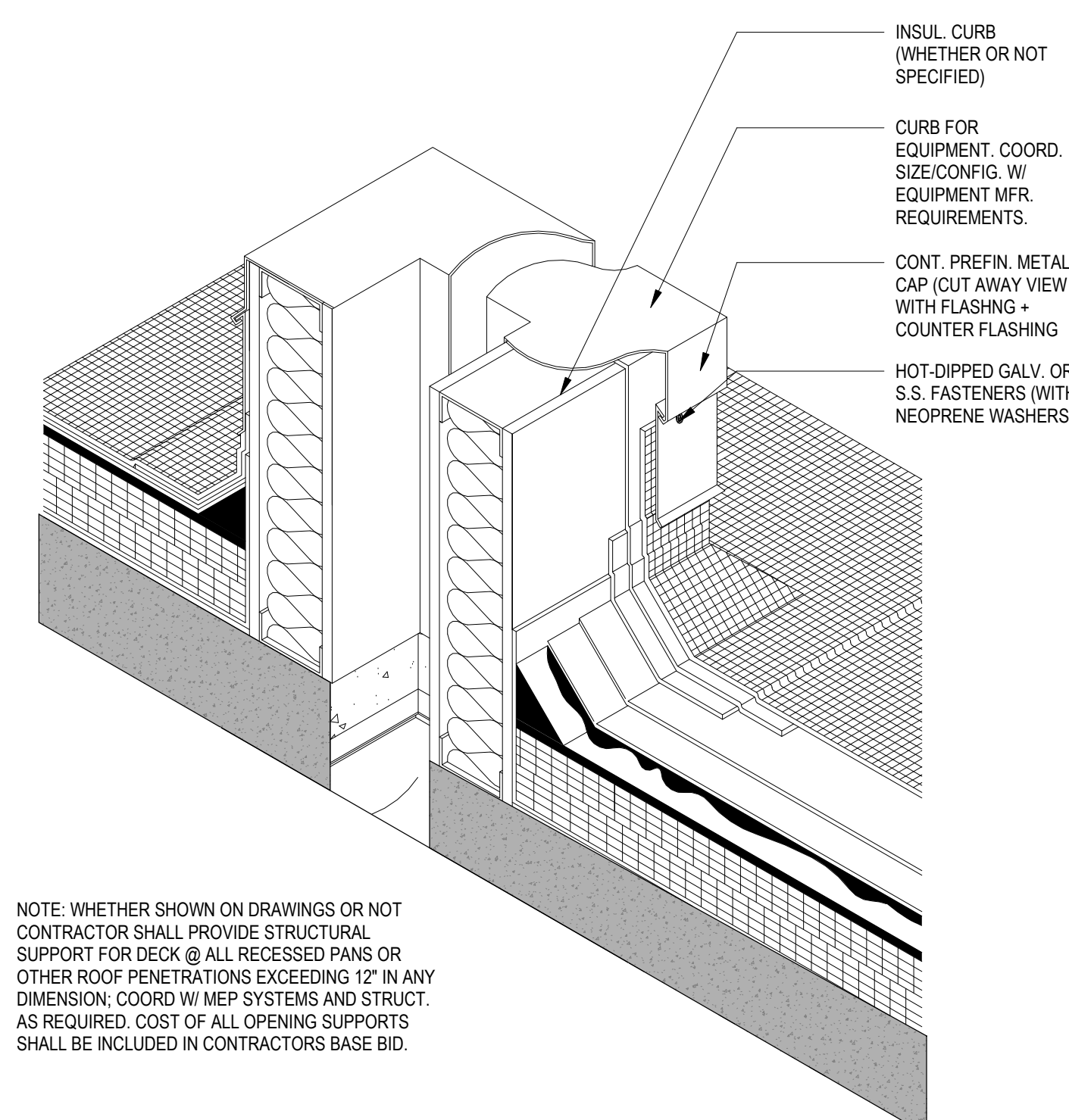
**ROOF DETAILS
(PHASE A)**

SHEET

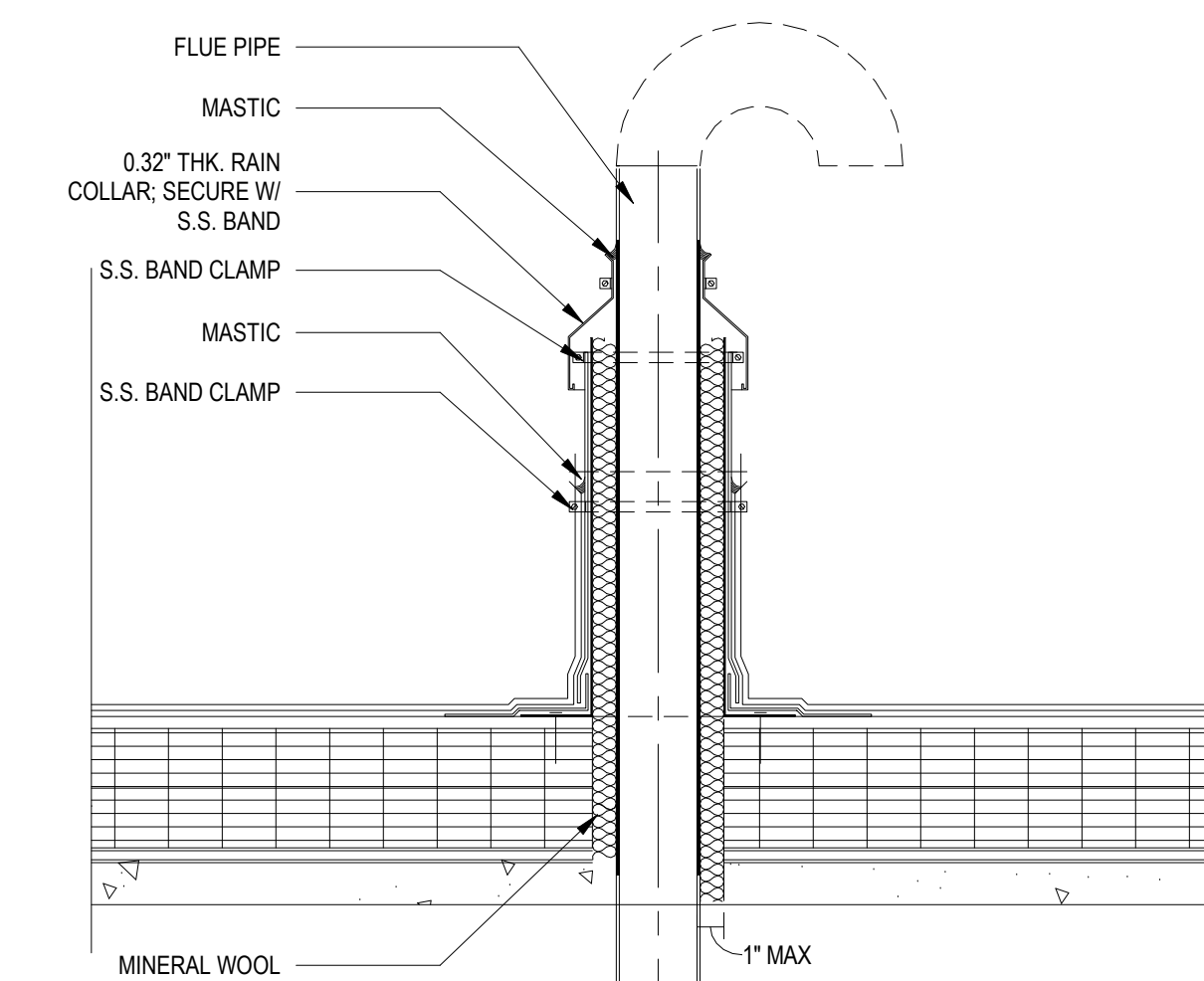
A5.03 'A'



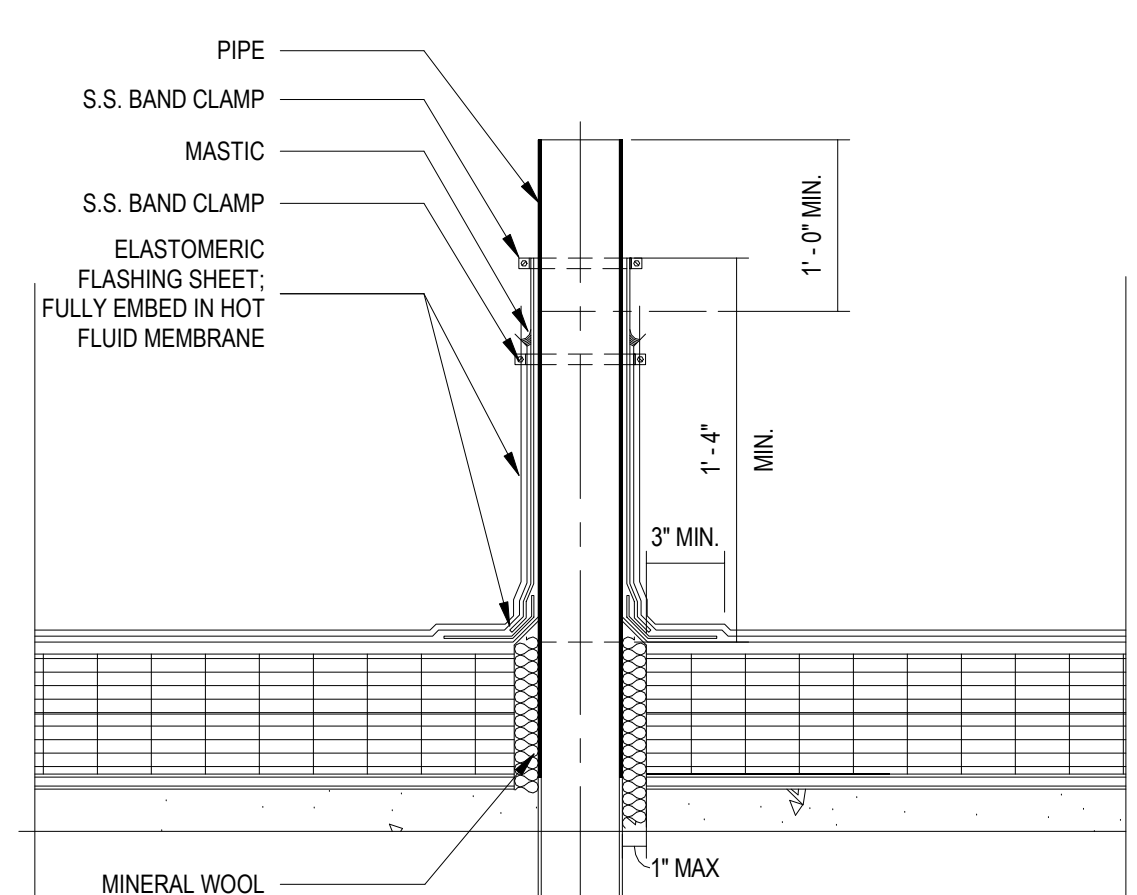
10 STEEL ROOF COLUMN DETAIL
SCALE: 1 1/2" = 1'-0"



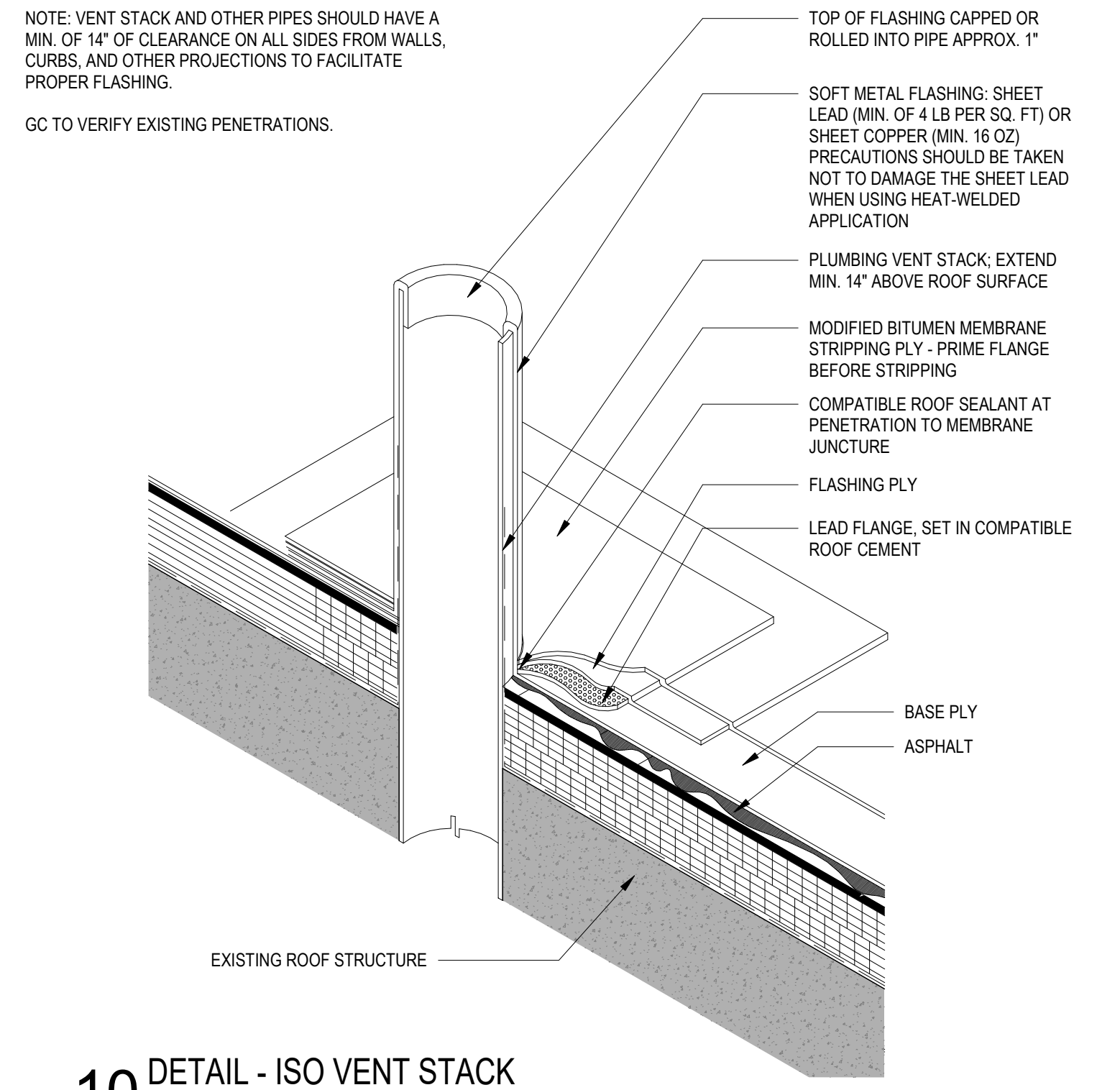
7 DETAIL - ROOF CURB
SCALE: 1 1/2" = 1'-0"



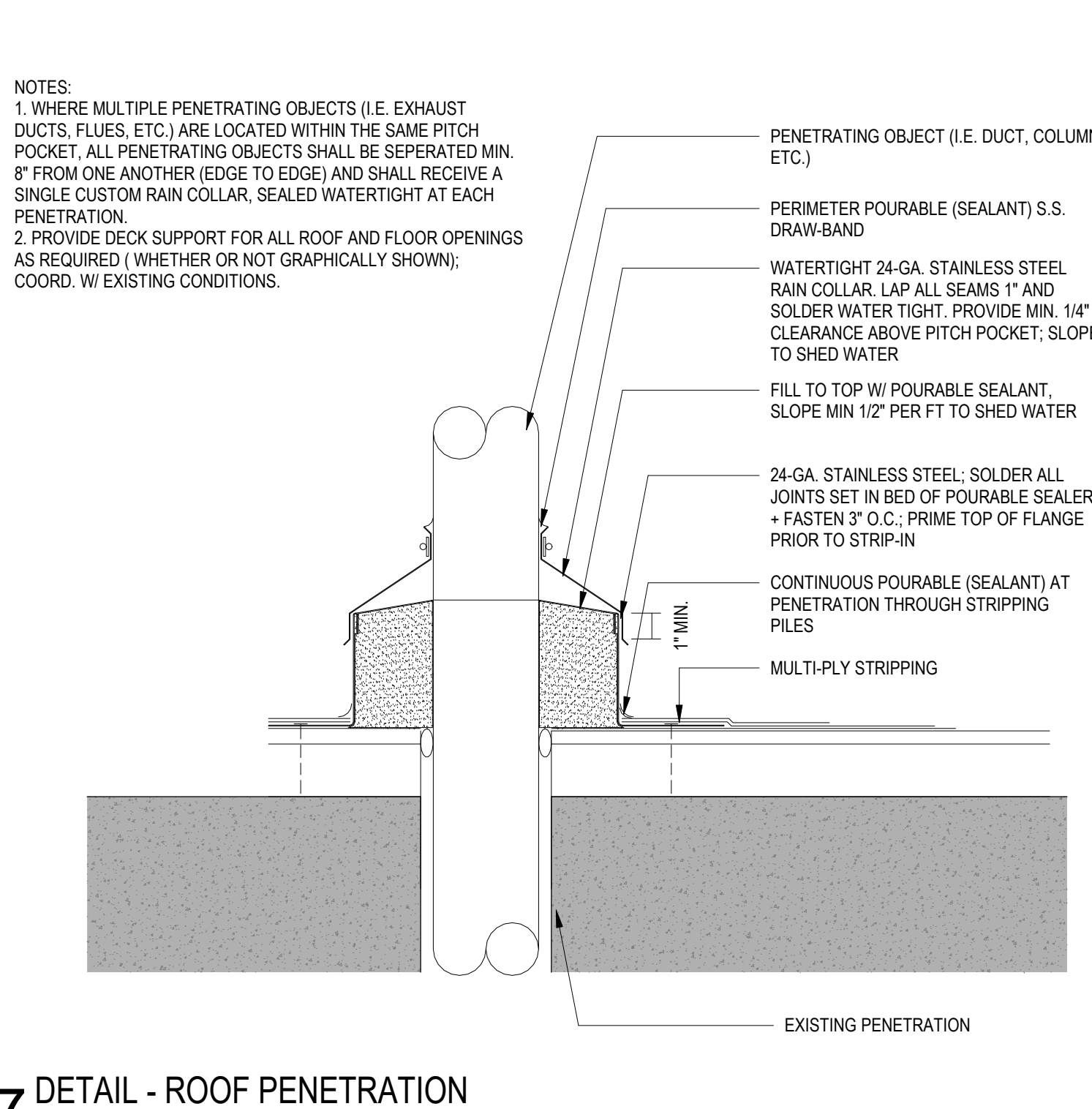
5 DETAIL - FLUE PIPE PENETRATION
SCALE: 1 1/2" = 1'-0"



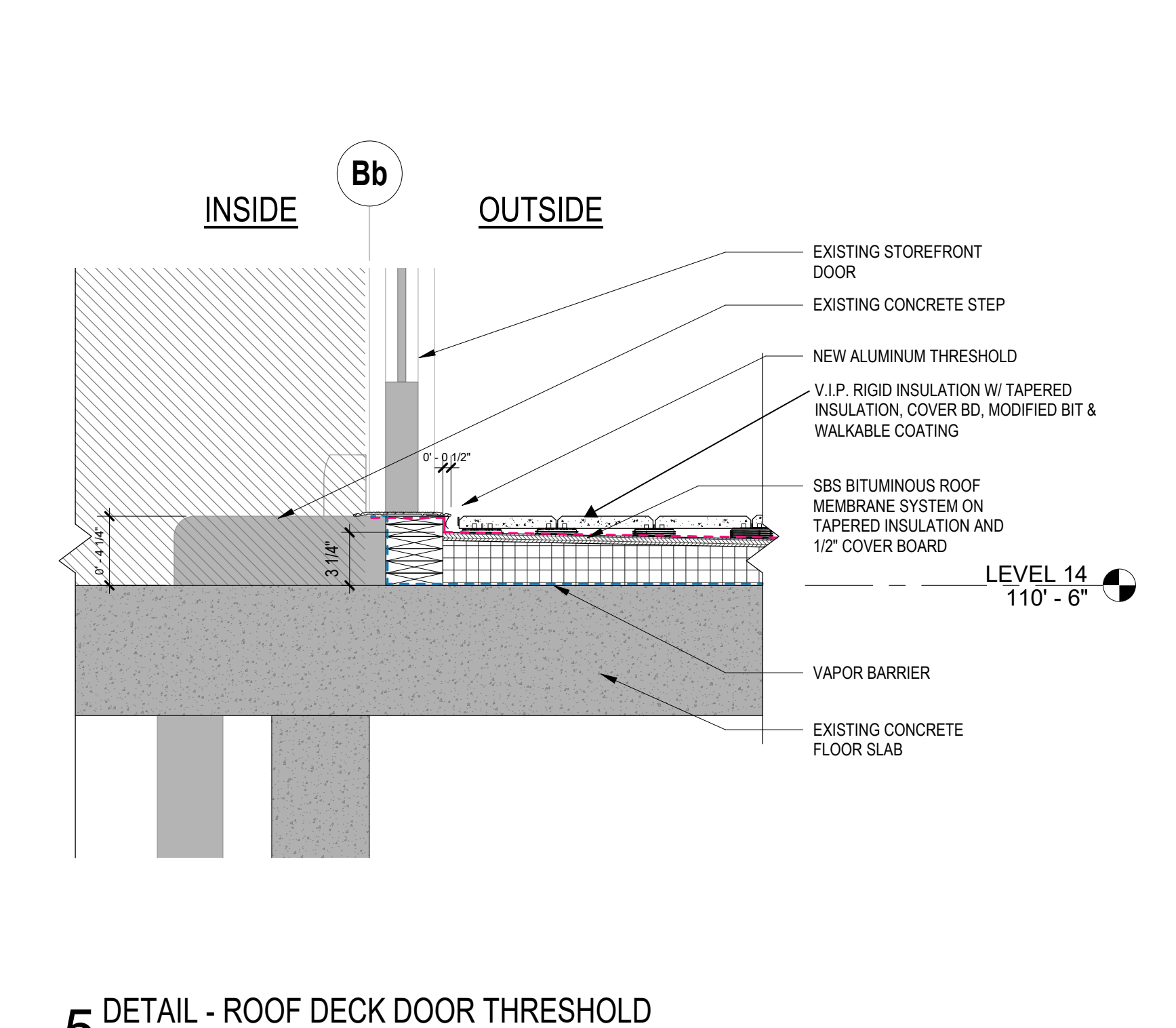
6 DETAIL - PIPE PENETRATION
SCALE: 1 1/2" = 1'-0"



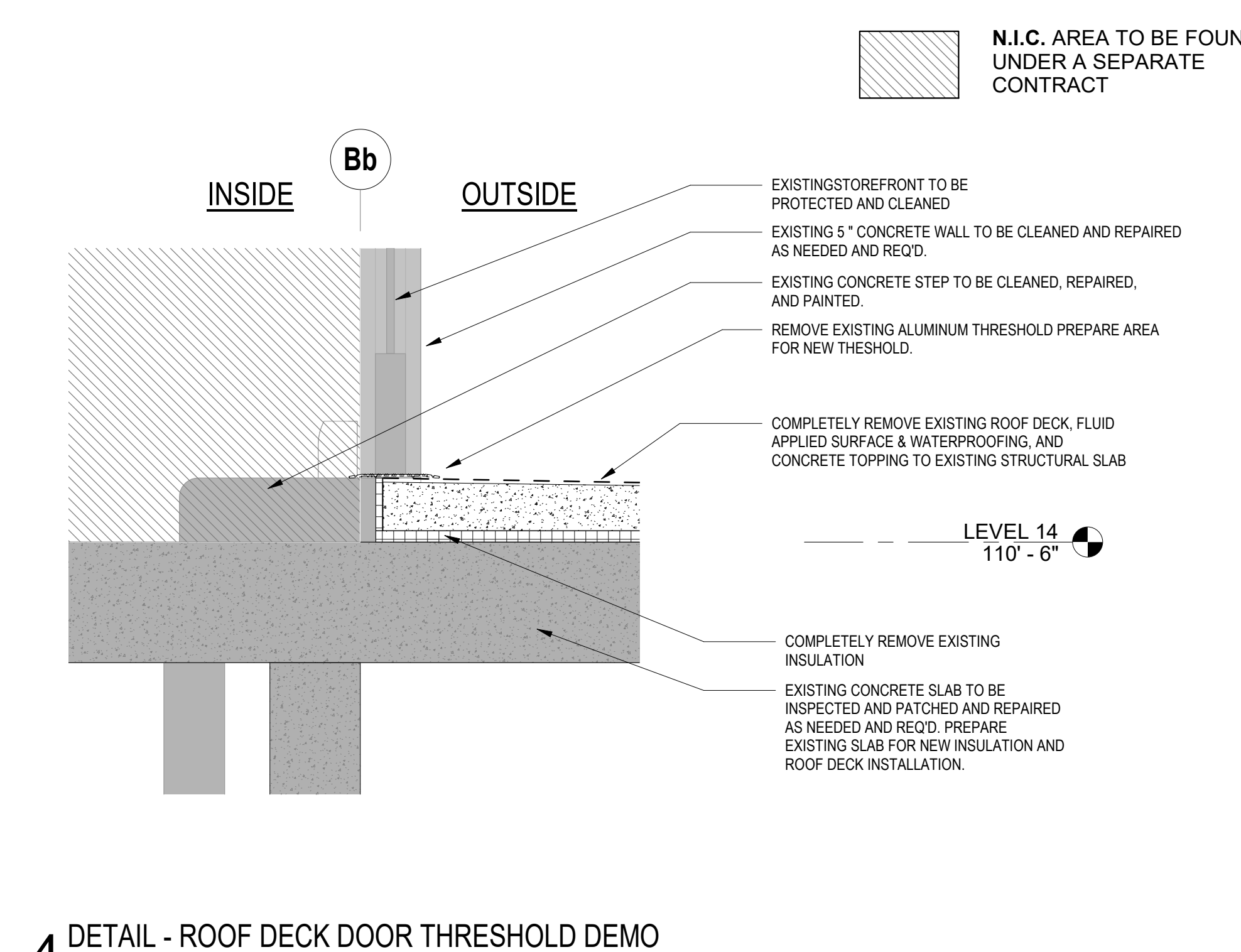
10 DETAIL - ISO VENT STACK
SCALE: 1 1/2" = 1'-0"



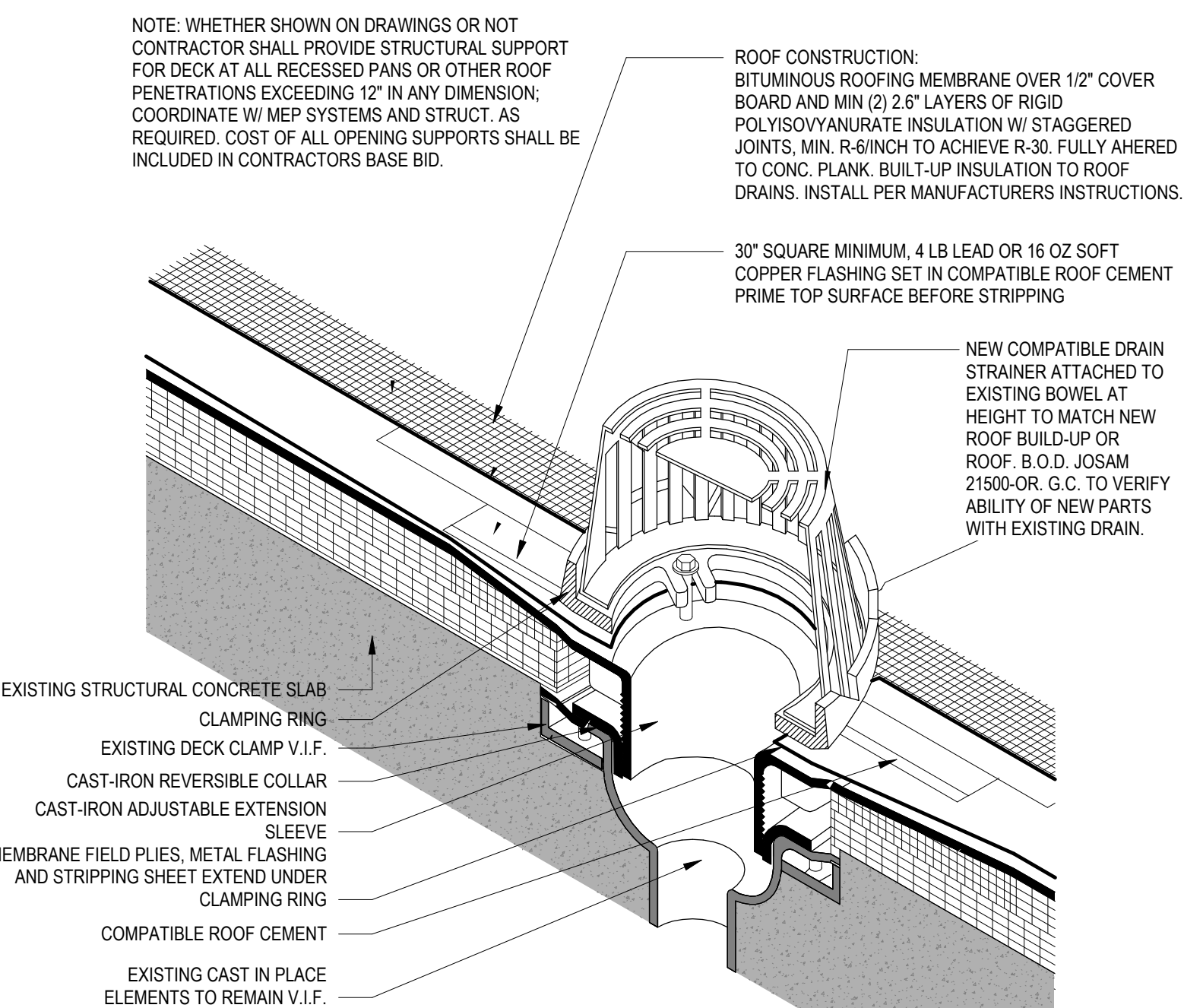
7 DETAIL - ROOF PENETRATION
SCALE: 1 1/2" = 1'-0"



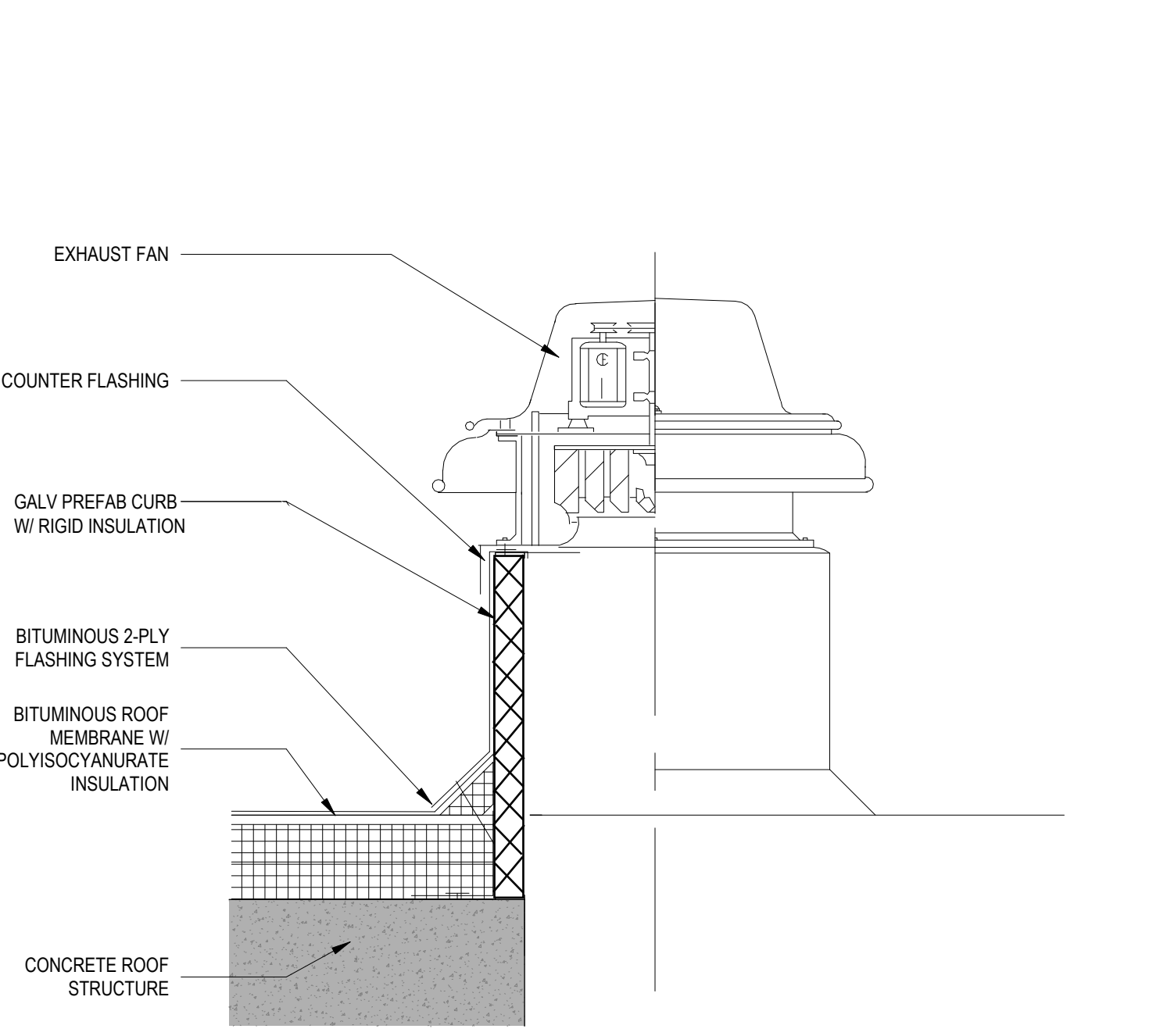
5 DETAIL - ROOF DECK DOOR THRESHOLD
SCALE: 1 1/2" = 1'-0"



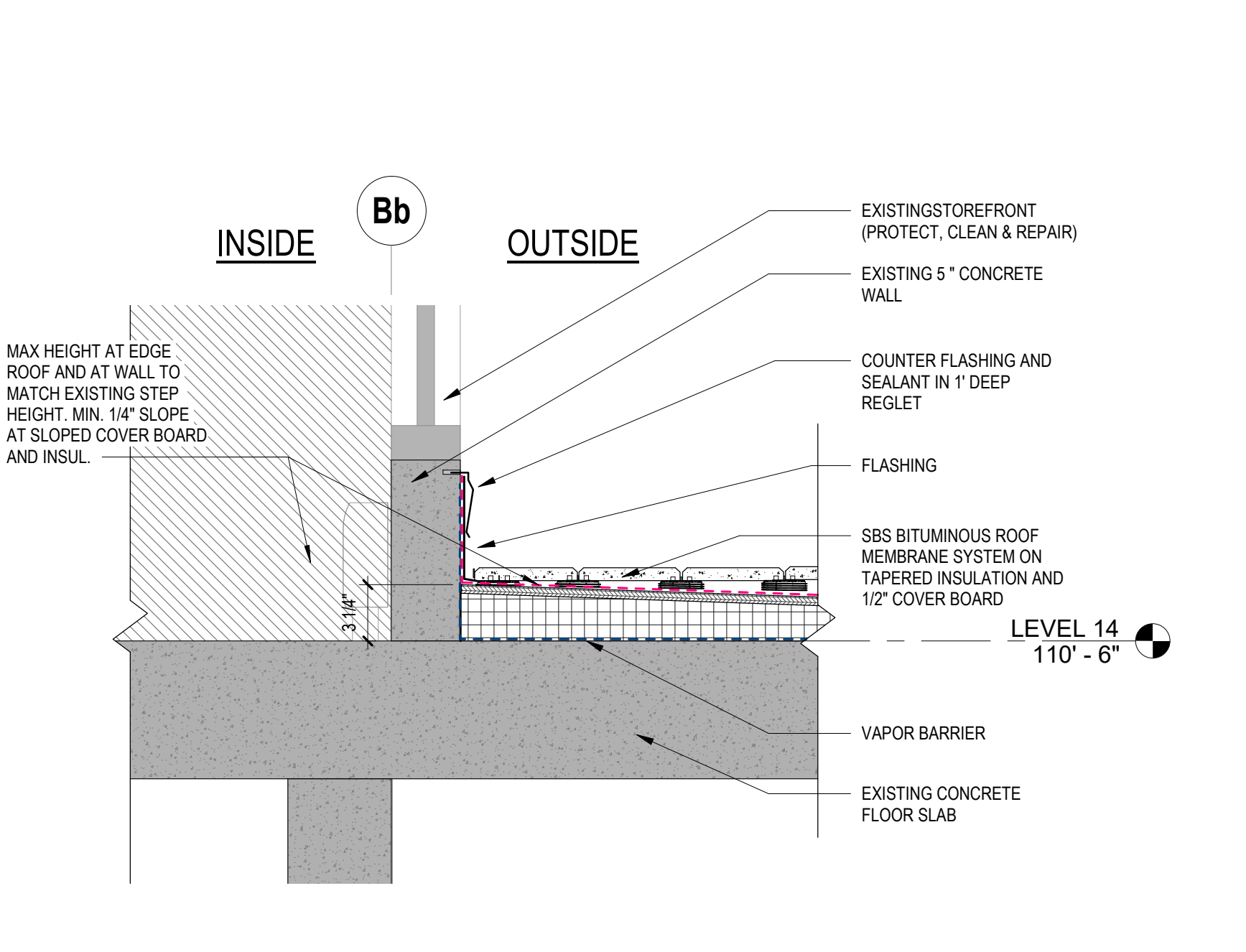
4 DETAIL - ROOF DECK DOOR THRESHOLD DEMO
SCALE: 1 1/2" = 1'-0"



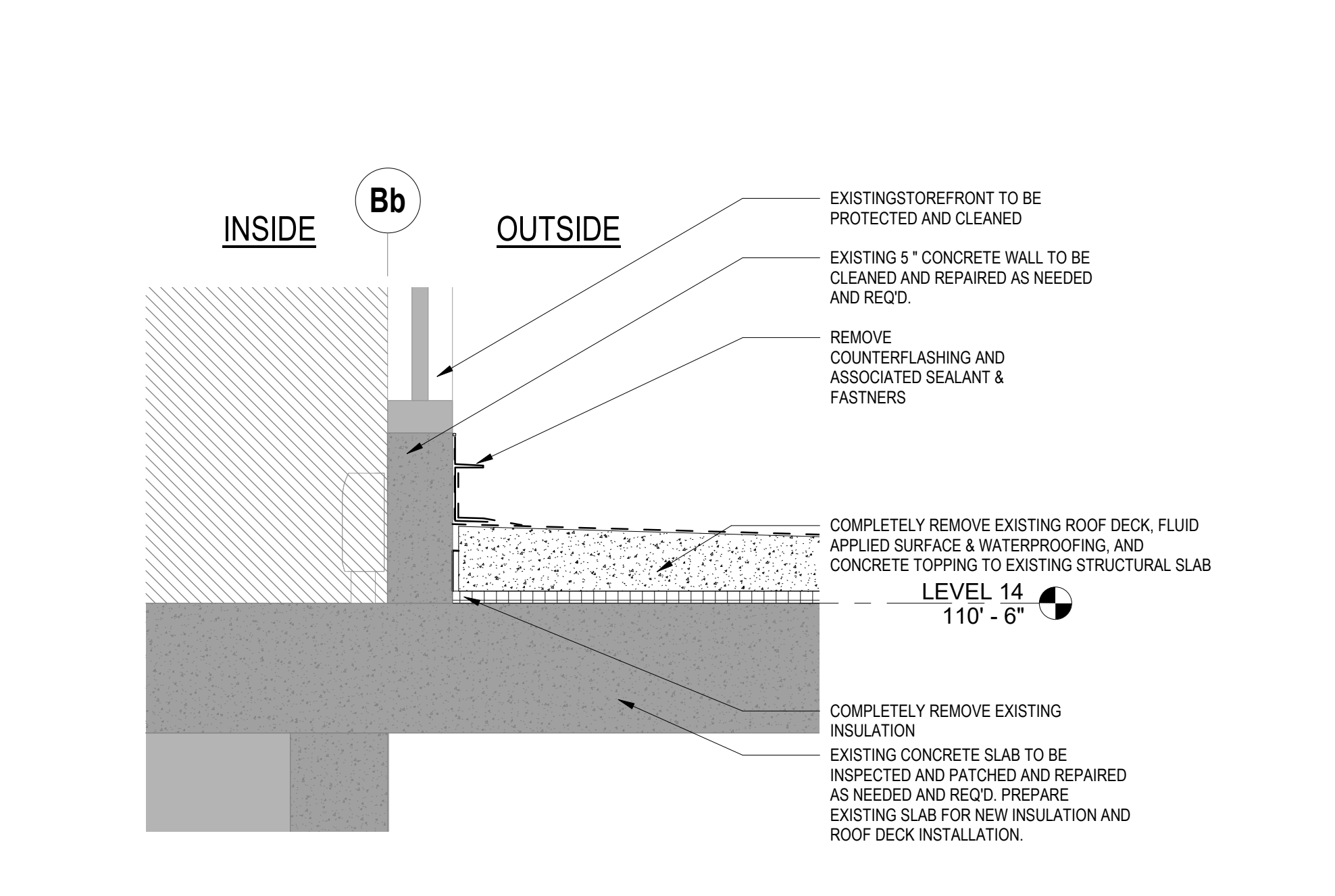
11 DETAIL - ISO ROOF DRAIN
SCALE: 1 1/2" = 1'-0"



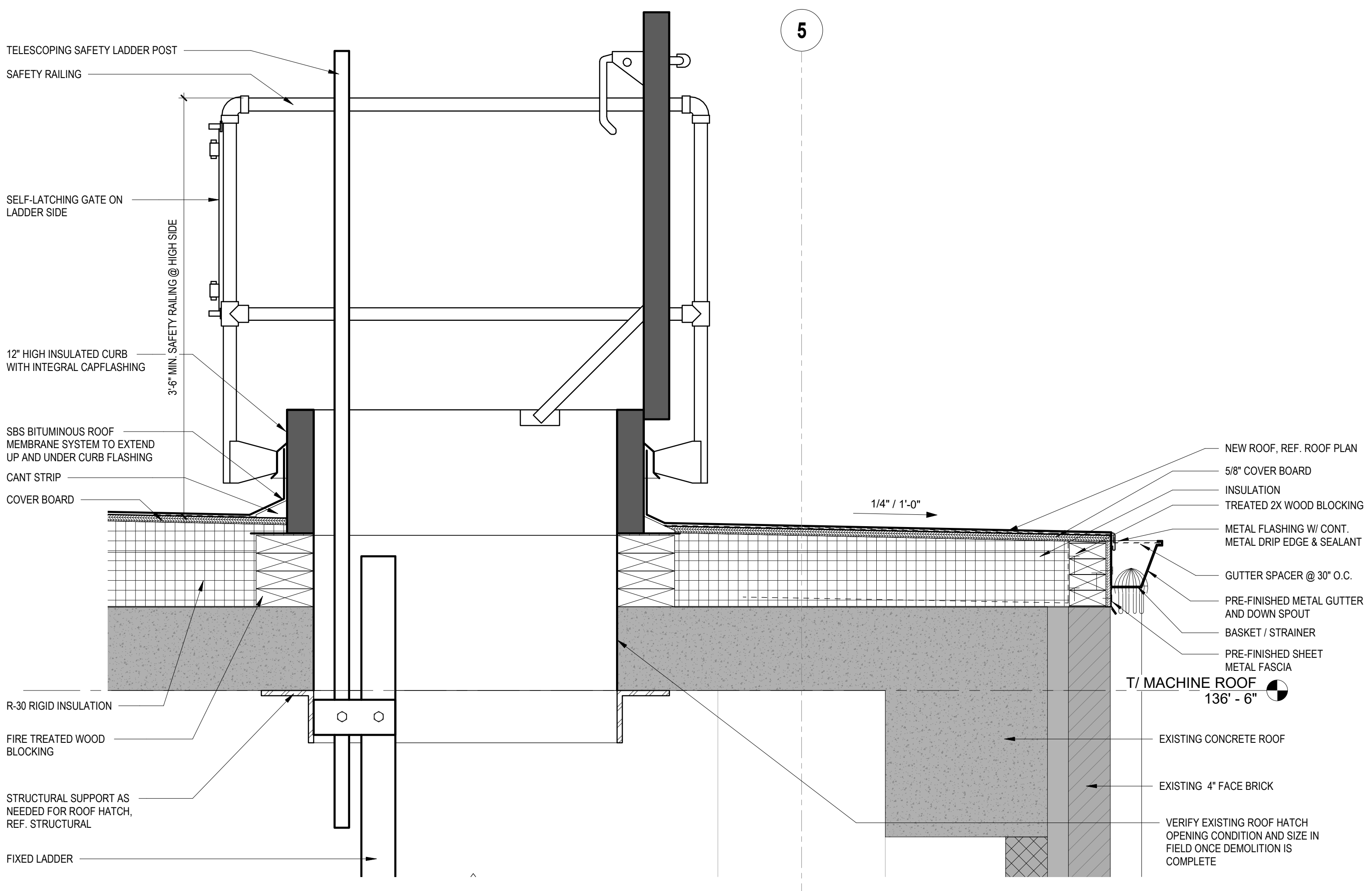
8 DETAIL - ROOF VENT
SCALE: 1 1/2" = 1'-0"



2 DETAIL - ROOF DECK STOREFRONT SILL
SCALE: 1 1/2" = 1'-0"



1 DETAIL - ROOF DECK STOREFRONT SILL DEMO
SCALE: 1 1/2" = 1'-0"



9 ROOF B HATCH DETAIL
SCALE: 1 1/2" = 1'-0"



VIVIAN GORDON HARSH APARTMENTS RENOVATION

4227 S OAKENWALD AVENUE, CHICAGO, IL 60653

Application #: 100902815
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| 6 | ISSUED FOR PROCUREMENT | 2021.01.22 |
| 7 | ISSUED FOR BID AND PERMIT PHASE 'A' | 2021.02.24 |

CHA CONTRACT NO: 12015-054AD
 TITLE: DETAILS (PHASE A)

SHEET: A5.04 'A'



DEMOLITION NOTES

- OBTAIN ALL REQUIRED PERMITS FOR THE HVAC DEMOLITION WORK.
- PRIOR TO PERFORMING THE WORK OF THIS CONTRACT, REVIEW THE DOCUMENTS FOR THE NEW WORK TO BE INSTALLED, TO ACCOMPLISH COMPLETE COORDINATION WITH THE NEW WORK.
- INFORMATION ON EXISTING SYSTEMS HAS BEEN OBTAINED FROM ORIGINAL DESIGN DRAWINGS, SUBSEQUENT RENOVATION DRAWINGS, AND FIELD SURVEYS. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO DEMOLITION OR DEACTIVATION.
- REPORT ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND DRAWINGS TO ARCHITECT PRIOR TO BEGINNING DEMOLITION WORK.
- PERFORM ALL WORK OF A DEMOLITION NATURE THAT MAY BE REQUIRED OR NECESSARY FOR A FULL AND COMPLETE EXECUTION OF THE WORK, WHETHER OR NOT SHOWN OR SPECIFIED. THE EXACT EXTENT OF DEMOLITION MAY NOT BE FULLY INDICATED BY THE DRAWINGS. DETERMINE THE NATURE AND EXTENT OF DEMOLITION THAT WILL BE NECESSARY BY COMPARING THE CONTRACT DOCUMENTS WITH THE EXISTING FIELD CONDITIONS PRIOR TO BIDS. REVIEW ARCHITECTURAL DRAWINGS FOR CONSISTENCY.
- CONTRACTOR SHALL CONDUCT ALL ACTIVITIES IN SUCH A MANNER AS TO AVOID DISRUPTIONS TO THE REGULAR ACTIVITIES AND OPERATIONS THAT TAKE PLACE IN ADJACENT AREAS OF THE BUILDING. CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO CONTROL DUST, NOISE AND ODOR MIGRATION TO ADJACENT BUILDING AREAS. CONTRACTOR SHALL PROVIDE PROTECTION TO OCCUPANTS OF THE BUILDING FROM THE CONSTRUCTION AREA AT ALL TIMES THROUGHOUT PROJECT.
- CONTRACTOR SHALL COMMUNICATE WITH THE OWNER AND BUILDING MANAGEMENT THE SCHEDULE FOR ALL ACTIVITIES WHICH COULD POTENTIALLY IMPACT THE OWNER'S OPERATION SUCH AS MOVEMENT OF MATERIALS AND EQUIPMENT OUTSIDE OF THE PROJECT SPACE, INTERRUPTIONS IN THE UTILITY SERVICE, ETC. CONTRACTOR SHALL OBTAIN APPROVAL FROM THE OWNER AND BUILDING MANAGEMENT PRIOR TO BEGINNING SUCH ACTIVITIES.
- CONTRACTOR SHALL PROVIDE PROTECTION TO OCCUPANTS OF THE BUILDING FROM THE CONSTRUCTION AREA AT ALL TIMES THROUGHOUT PROJECT.
- WHERE CONSTRUCTION IS TO BE REMOVED, CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING OF ADJACENT CONSTRUCTION TO REMAIN AND REFINISHING ADJACENT CONSTRUCTION TO MATCH EXISTING.
- PROTECT ALL EXISTING CONSTRUCTION TO REMAIN AT ALL TIMES. DAMAGE TO EXISTING CONSTRUCTION TO REMAIN RESULTING FROM DEMOLITION OR CONSTRUCTION ACTIVITIES SHALL BE REMEDIATED AT CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL ASSIST THE GENERAL CONTRACTOR IN THE PREPARATION OF SCHEDULES DETAILING THE WORK OF DEMOLITION, INCORPORATE ALL PHASING REQUIREMENTS. PERFORM ALL ADDITIONAL SURVEY AND FIELD INSPECTION REQUIRED TO ASSURE PROPER DISCONNECTION AND MAINTENANCE OF SYSTEMS THROUGH THE PHASES REQUIRED.
- DEMOLITION, RELOCATION, AND NEW WORK SHALL BE PHASED TO MINIMIZE DISRUPTION OF FACILITY OPERATION. PROVIDE TEMPORARY CAPPING AND CONNECTIONS AS REQUIRED TO MAINTAIN EXISTING SYSTEMS DURING CONSTRUCTION. COORDINATE ALL SHUT-DOWNS OF EXISTING SYSTEMS WITH OWNER'S REPRESENTATIVE. GIVE PROPER NOTICE (AT LEAST TWO WEEKS TO THE OWNER PRIOR TO ANY SHUTDOWN. MINIMIZE SHUTDOWNS AS MUCH AS POSSIBLE DURING NORMAL WORKING HOURS.
- ALL EQUIPMENT (FANS, AC UNITS, AND SIMILAR EQUIPMENT) SCHEDULED TO BE REMOVED SHALL BE INSPECTED BY THE OWNER, AND, IF IT IS DECIDED THAT SUCH EQUIPMENT ARE TO BE SALVAGED, EACH CONTRACTOR SHALL DELIVER SAID EQUIPMENT TO AN AREA WITHIN THE CAMPUS BOUNDARIES, AS DETERMINED BY THE OWNER AND THE ARCHITECT.
- WHERE EQUIPMENT, DUCTWORK AND ACCESSORIES ARE INDICATED TO BE REMOVED, ADDITIONALLY REMOVE ALL CONCEALED SUPPORTS, MISC. COMPONENTS AND PIECES, UNLESS SPECIFICALLY NOTED OTHERWISE.
- DISCONNECTED AND REMOVED EQUIPMENT, DUCTWORK AND ACCESSORIES SHALL BE REMOVED OFF-SITE AND DISPOSED OF LEGALLY BY THIS CONTRACTOR, EXCEPT WHAT THE OWNER WISHES TO RETAIN. THIS CONTRACTOR SHALL NEATLY STOCKPILE MATERIALS AS DIRECTED BY THE CONSTRUCTION MANAGER UNTIL MATERIALS CAN BE DISPOSED OF AS REQUIRED.
- CONTRACTOR SHALL REMOVE ALL DEBRIS IN AN ORDERLY AND TIMELY MANNER. ALL DEBRIS TO BE DISPOSED OF IN A LEGAL MANNER.
- AS INDICATED ON DEMO PLANS AND NOTES, DEMOLISH: DUCTWORK, DIFFUSERS, MECHANICAL PIPE, ASSOCIATED HANGERS, SUPPORTS, THERMOSTATS, CONTROLS, INSULATION AND OTHER ASSOCIATED COMPONENTS. REVIEW NEW WORK DRAWINGS FOR ANY DUCTWORK OR EQUIPMENT THAT IS TO REMAIN.

SCOPE NOTES

- MECHANICAL SCOPE INCLUDES INFORMATION AS INDICATED ON PLANS AND AS INDICATED BELOW.
- THE EXISTING HVAC HEATING SYSTEMS SHALL BE RETAINED AND MAINTAINED OPERATIONAL DURING CONSTRUCTION. CONTRACTOR SHALL MAINTAIN HEATING TO THE BUILDING THROUGHOUT THE DURATION OF THE PROJECT. THE NEW DUAL TEMPERATURE SYSTEM SHALL UTILIZE THE EXISTING BOILERS AND CONNECT TO THE EXISTING HOT WATER LOOP. A NEW SECONDARY HOT WATER LOOP SHALL BE INSTALLED TO SERVE THE NEW EQUIPMENT.
- EXISTING APARTMENTS ARE SERVED BY AN EXISTING RADIANT FLOOR SYSTEM. CONTRACTOR SHALL TAKE CARE NOT TO DISRUPT THE RADIANT FLOOR DURING CONSTRUCTION / INSTALLATION OF NEW FAN COIL UNIT PIPE RISER OR SUPPLY DUCT RISER ASSOCIATED WITH MAKE-UP AIR UNIT (MAU). THE RADIANT FLOOR SHALL BE ABANDONED IN PLACE.
- DESIGN SHALL INCLUDE A NEW DUAL TEMPERATURE FAN COIL UNIT SYSTEM (SEASONAL SWITCH-OVER). CONTRACTOR SHALL INCLUDE ALL PIPING, EQUIPMENT AND CONTROLS FOR A FULLY OPERATIONAL SYSTEM. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER ALL PHASING AND START-UP OF NEW EQUIPMENT / BRINGING THE NEW FCUS ONLINE TO SERVE THE SPACES, AND DECOMMISSIONING OF THE RADIANT FLOOR SYSTEM AND OTHER EXISTING SYSTEMS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PHASING OF THE INSTALLATION AND START-UP OF THE HVAC SYSTEMS AS WELL AS REBALANCING THE SYSTEM WATER AND AIR FLOWRATES DURING PHASING. SHUT-DOWN OF EXISTING SYSTEMS AND UTILITIES SHALL BE COORDINATED WITH OWNER AND WILL REQUIRE ADVANCED NOTICE OF 2 WEEKS. SYSTEM SHUT DOWNS SHALL BE MINIMIZED. PROVIDE BALANCING REPORT FOR EACH PHASE.
- THE CHILLER IS FUTURE, MANUAL ISOLATION VALVES AND MOTORIZED CHANGE-OVER VALVES SHALL BE INSTALLED WITH CAPPED CONNECTIONS FOR FUTURE AND CHILLED WATER PIPES.
- PROVIDE NEW MAKE-UP AIR UNIT (MAU). UNIT SHALL BE A PACKAGED GAS FIRED ROOFTOP MAKE-UP AIR UNIT WITH HOT GAS REHEAT, PROVIDING 100% OUTSIDE AIR. VARIABLE SUPPLY AIRFLOW CONTROLLED TO MAINTAIN BUILDING PRESSURE +0.05" W.C.
- CONTRACTOR SHALL PERFORM A PRESSURE-TEST EACH EXISTING TOILET EXHAUST DUCT RISERS TO 1.0" W.C. AND PROVIDE REPORT INDICATING LEAKAGE RATE (CFM). LEAKAGE TEST SHALL COMPLY WITH SMACNA'S HVAC AIR DUCT LEAKAGE TEST MANUAL AS IDENTIFIED IN SPEC 233113-3.8. SUBMIT A REPORT FOR EACH TEST/ RISER. THE REPORT MUST BE DONE PRIOR TO PURCHASE OF NEW EXHAUST FANS SERVING THE RISER.

GENERAL NOTES

- ALL WORK PERFORMED SHALL CONFORM TO ALL APPLICABLE CITY OF CHICAGO CODES (CURRENT EDITION) AND ORDINANCES.
- ALL WORK SHALL BE IN ACCORDANCE WITH DIVISION 23 SPECIFICATIONS.
- DO NOT INSTALL ANY NEW WORK DIRECTLY ABOVE ANY ELECTRICAL PANELS AND TRANSFORMERS. MAINTAIN A MINIMUM 3' HORIZONTAL CLEARANCE.
- EQUIPMENT CLEARANCES MUST CONFORM TO MANUFACTURER'S REQUIREMENTS.
- ALL DUCTWORK SHALL BE FABRICATED FROM GALVANIZED SHEET METAL (G90) UNLESS NOTED OTHERWISE.
- BALANCING DAMPERS MAY NOT BE SHOWN IN ALL LOCATIONS ON DRAWINGS. THE CONTRACTOR SHALL PROVIDE MANUAL BALANCING DAMPERS AT ALL FLOOR MAINS, DUCTS, DUCT BRANCHES, TAKE-OFFS TO EACH DIFFUSERS/ REGISTERS/ GRILLES, AND AS REQUIRED TO BALANCE THE ENTIRE SYSTEM WITHOUT CAUSING NOISE IN THE SPACES. DAMPER AT GRILLE OR DIFFUSER NECK SHALL BE PROVIDED ONLY AT LOCATIONS WHERE UNIT IS LOCATED IN AN INACCESSIBLE (GYPSOBOARD/PLASTER) CEILING/WALL. ALL DUCTS WITH BALANCING DAMPERS LOCATED ABOVE INACCESSIBLE CEILINGS ARE TO BE BALANCED PRIOR TO CEILING INSTALLATIONS.
- FOR DUCTWORK PASSING THROUGH FLOORS, WALLS, AND PARTITIONS, CONTRACTOR SHALL PROVIDE A FIRE STOPPING SYSTEM, U.L. LISTED, EQUAL TO OR GREATER THAN THE FLOOR, WALL OR PARTITION FIRE RATINGS. REFER TO THE ARCHITECTURAL LIFE SAFETY DRAWINGS FOR WALL RATINGS.
- ALL NEW PENETRATIONS THROUGH STRUCTURE, FLOOR OR WALL MUST BE COORDINATED WITH ARCHITECT AND STRUCTURE PRIOR TO DRILLING OR CUTTING.
- GATE VALVES ARE NOT ALLOWED. PROVIDE BALL AND BUTTERFLY VALVES AS INDICATED IN THE SPECIFICATIONS.

CITY OF CHICAGO NOTES

- NOISE LEVEL AT LOT LINE SHALL NOT EXCEED 55 dBA.
- ALL WORK SHALL CONFORM TO THE CURRENT CITY OF CHICAGO CODES AND ORDINANCES.
- ALL FLEXIBLE LOW-PRESSURE DUCTWORK SHALL BE INSULATED, CITY OF CHICAGO APPROVED & NOT TO EXCEED 5'-0" IN LENGTH. MFG. WIREMOLD TYPE WK UL-181, CLASS I.
- ALL DIRECT EXPANSION DEVICES, VALVES AND ETC. SHALL BE REMOVED FROM EQUIPMENT AND DUCTWORK AIR STREAMS.
- ALL DUCTWORK SYSTEMS TO BE CONSTRUCTED OF SHEET METAL CONFORMING TO SMACNA CONSTRUCTION STANDARDS.
- ROOF PENETRATIONS SHALL BE FLASHED TO PREVENT ENTRY OF WATER THROUGH THE ROOF.
- COMBUSTION AIR, GAS PIPING AND FLUES SHALL BE IN FULL COMPLIANCE WITH ARTICLES 7, 8 & 14 OF THE CITY OF CHICAGO MECHANICAL CODE AND THE LATEST VERSION OF THE INTERNATIONAL FUEL GAS CODE (IFGC) AS REFERENCED BY THE CITY CODE.
- KITCHEN GREASE DUCT EXHAUST VELOCITY SHALL BE A MINIMUM OF 1500 FPM.
- ALL DAMPERS TO BE LOCK TYPE.
- CONCEALED GAS PIPING FITTINGS SHALL NOT BE USED IN CSST SYSTEMS EXCEPT AS INDICATED IN 18-28-1401 SECTION 403.5.4.1 OF THE CITY OF CHICAGO MECHANICAL CODE.
- PROVIDE ACCESS TO SMOKE DETECTORS IN DUCTS.
- THIS BUILDING HAS A VARIANCE FOR THE TOILET EXHAUST SYSTEM TO BE CONSTANT VOLUME. SEE M4.03, NOTE #2. THIS BUILDING USES A COMBINATION OF NATURAL VENTILATION AND MECHANICAL VENTILATION TO PROVIDE VENTILATION AIR TO EACH SPACE. REFER TO VENTILATION SCHEDULE.

PERMIT NO. 100941810



VIVIAN GORDON HARSH APARTMENTS RENOVATION

4227 S OAKENWALD AVENUE, CHICAGO, IL 60663

Application #: 100902815

ARCHITECT/ENGINEER OF RECORD:
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 ARCHITECT - BUILDING ENVELOPE:
BAUER LATOZA STUDIO
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D'ESCOTO
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ACCENT URBAN DESIGN
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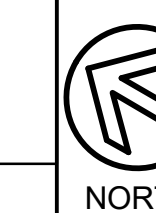
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| 5 | ISSUED FOR PROCEEDMENT | 2021.01.22 |
| 6 | ISSUED FOR PERM. AND PERMIT PHASE 1 | 2021.02.04 |
| 7 | ISSUED PERMIT PHASE 1 | 2021.03.01 |
| 8 | ISSUED FOR PERM. AND PERMIT | 2021.11.04 |

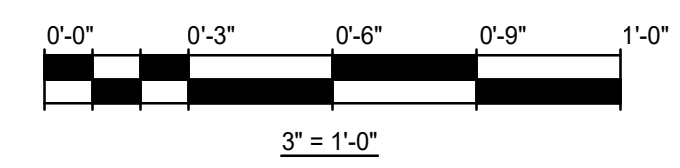
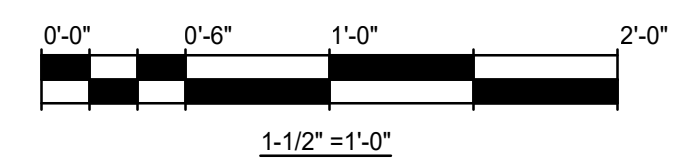
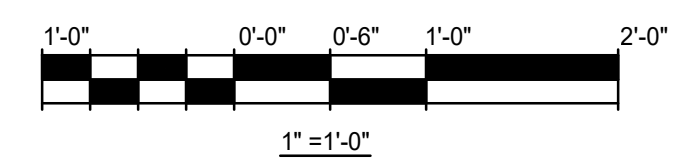
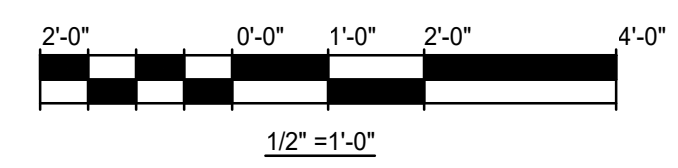
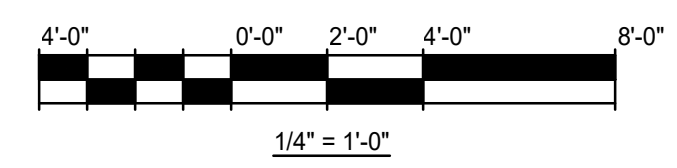
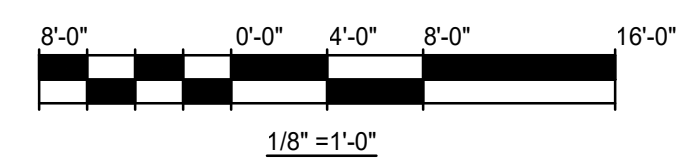
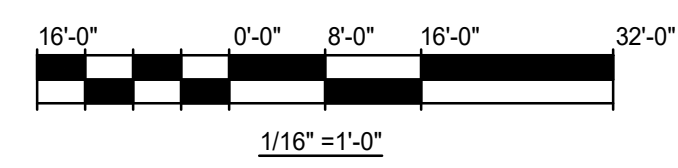
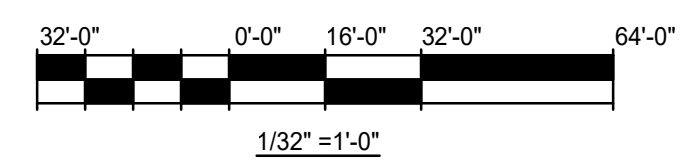
CHA CONTRACT NO. 12015-054AD

TITLE
MECHANICAL GENERAL NOTES

SHEET

M0.01





DEMO KEYED NOTES:
 ◊ DEMOLISH EXISTING EXHAUST FAN AND ALL ASSOCIATED CONTROLS. RETAIN ROOF CURB AND PREP DUCTWORK BELOW TO BE RECONNECTED TO NEW EXHAUST FANS.

PERMIT NO. 100941810



**VIVIAN GORDON HARSH
 APARTMENTS RENOVATION**

4227 S OAKENWALD AVENUE, CHICAGO, IL 60653

Application #: 100902815

ARCHITECT/ENGINEER OF RECORD:
URBANWORKS
 ARCHITECT - BUILDING ENVELOPE:
BAUER LATOZA STUDIO
 CIVIL ENGINEER:
D'ESCOTO
 LANDSCAPE ARCHITECT:
ACCENT URBAN DESIGN
 STRUCTURAL ENGINEER:
RUBINOS & MESIA
ENGINEERS, INC
 M/E/P ENGINEER:
PRIMERA ENGINEERING

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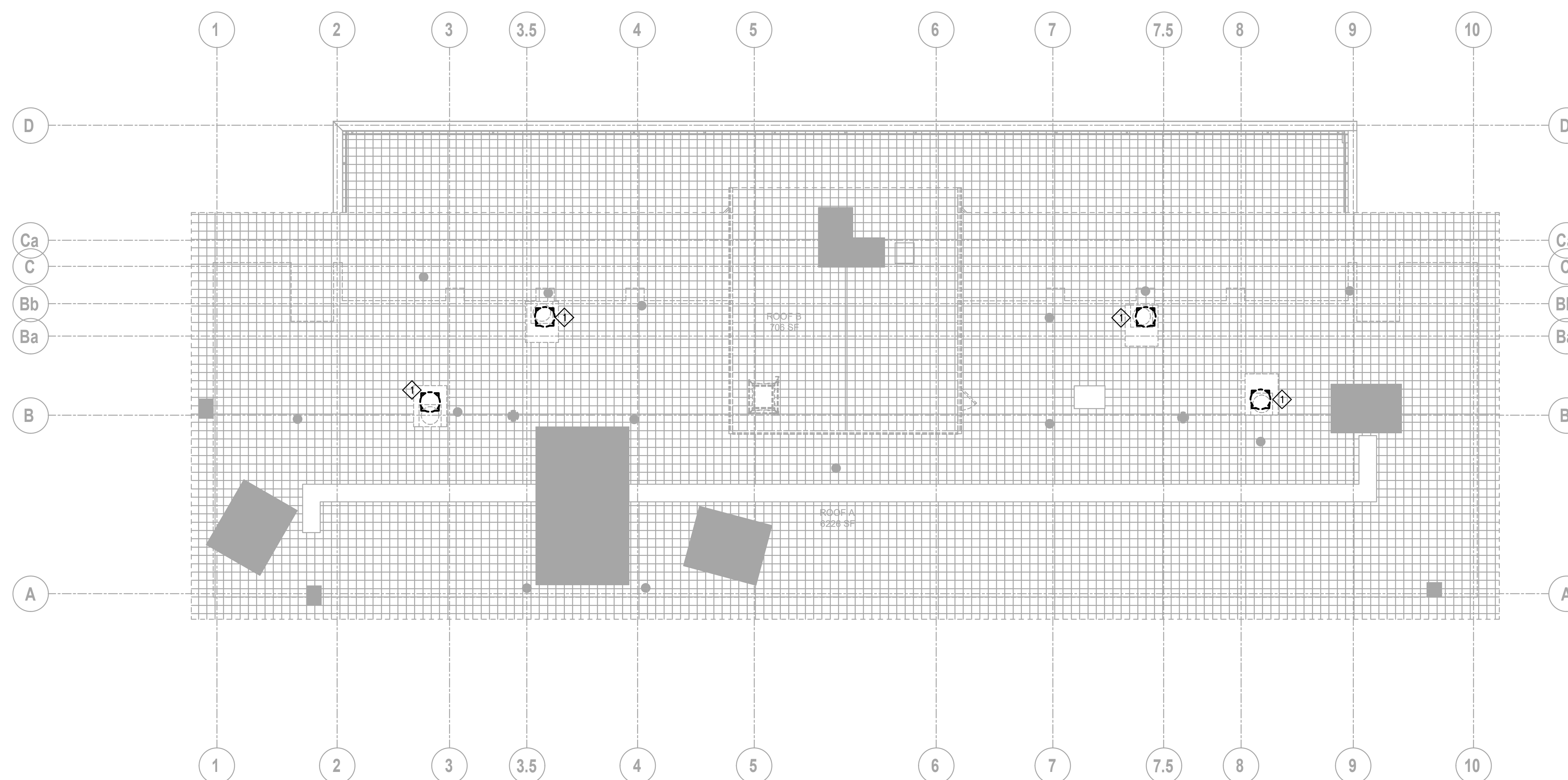
| # | DESCRIPTION | DATE |
|---|---|------------|
| | ISSUED FOR DESIGN DEVELOPMENT | 2020.06.01 |
| | ISSUED FOR PERM. CD | 2020.07.21 |
| | ISSUED FOR PERM. CD | 2020.09.11 |
| | ISSUED FOR PERM. CD / ISSUED FOR PERMIT | 2020.12.18 |
| | ISSUED FOR PROCUREMENT | 2021.01.22 |
| | ISSUED FOR PERM. AND PERMIT PHASE II | 2021.02.24 |
| | ISSUED PERMIT PHASE II | 2021.03.01 |
| | ISSUED FOR PERM. AND PERMIT | 2021.11.04 |

CHA CONTRACT NO. 12015-054AD

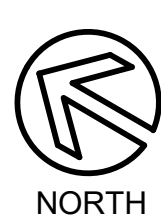
TITLE
**MECHANICAL ROOF
 DEMOLITION PLANS**

SHEET

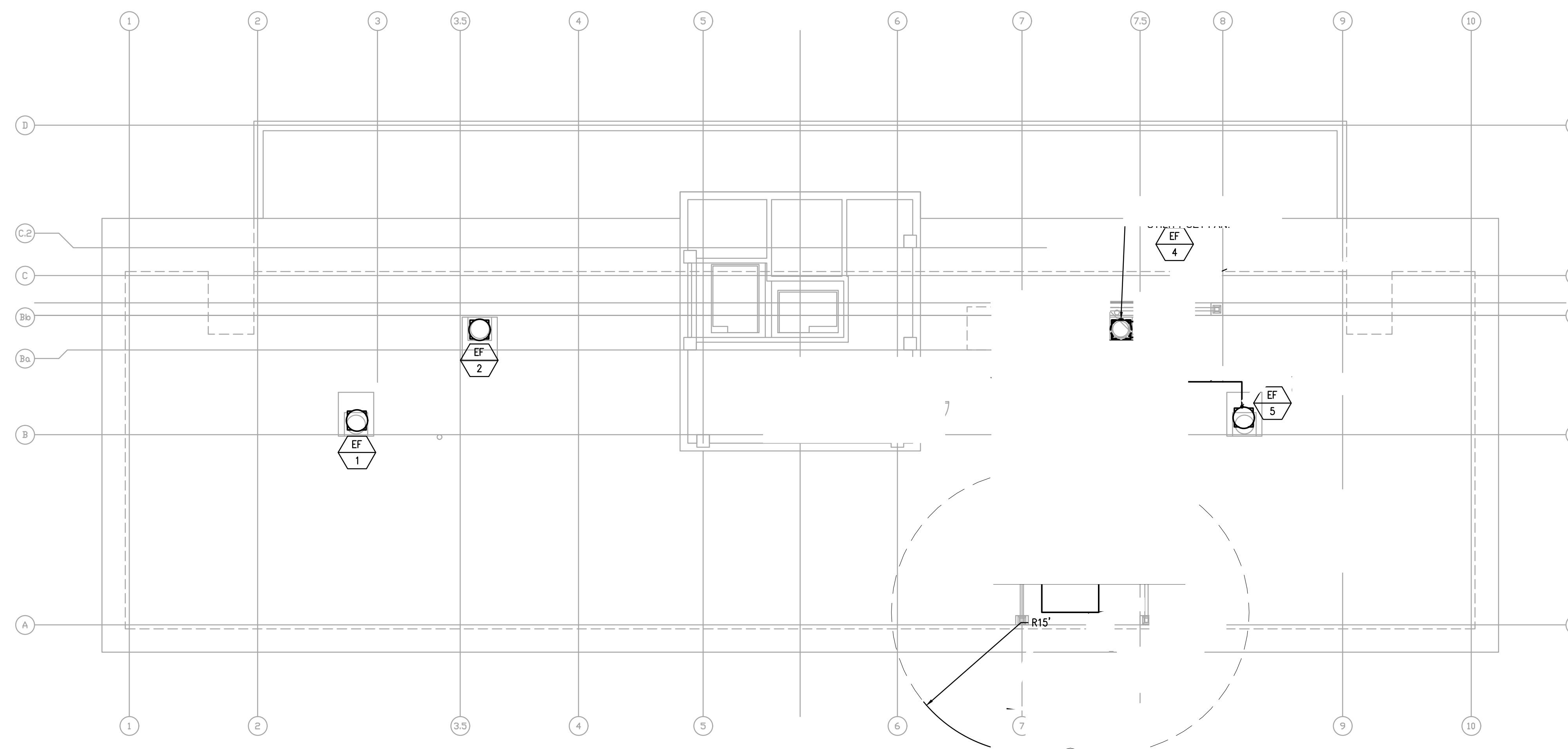
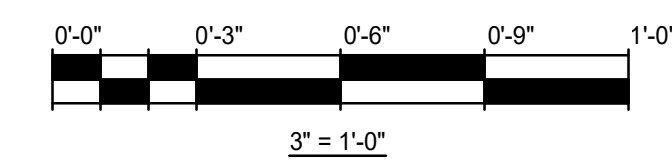
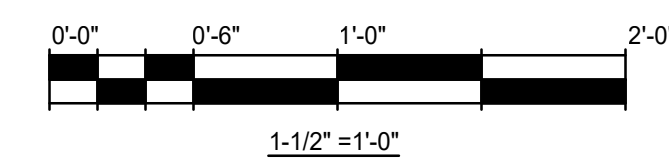
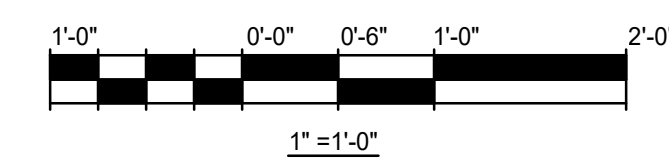
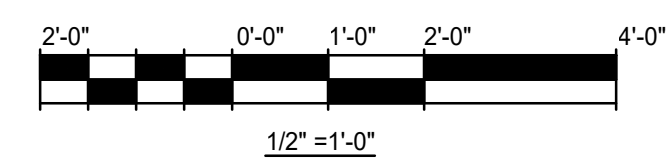
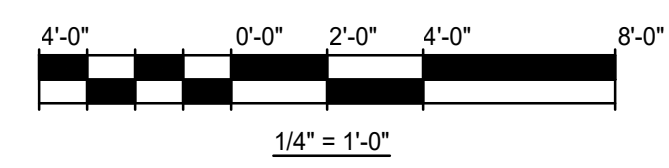
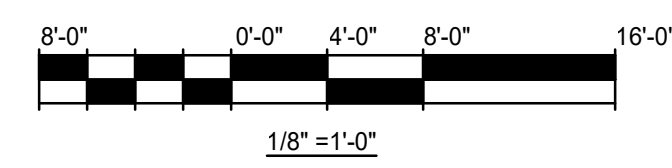
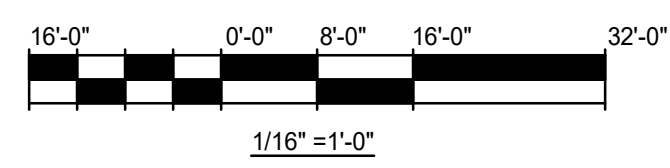
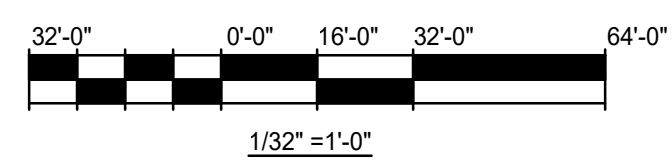
MD1.04



3 ROOF PLAN - DEMOLITION
 SCALE: 1/8" = 1'-0"



NORTH



4 ROOF PLAN - NEW CONSTRUCTION
SCALE: 1/8" = 1'-0"

PERMIT NO. 100941810



**VIVIAN GORDON HARSH
APARTMENTS RENOVATION**

4227 S OAKENWALD AVENUE, CHICAGO, IL 60653

Application #: 100902815

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ACCENT URBAN DESIGN
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RUBINOS & MESIA
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M/E/P ENGINEER:
PRIMERA ENGINEERING

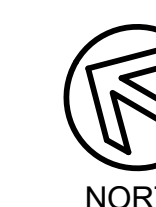
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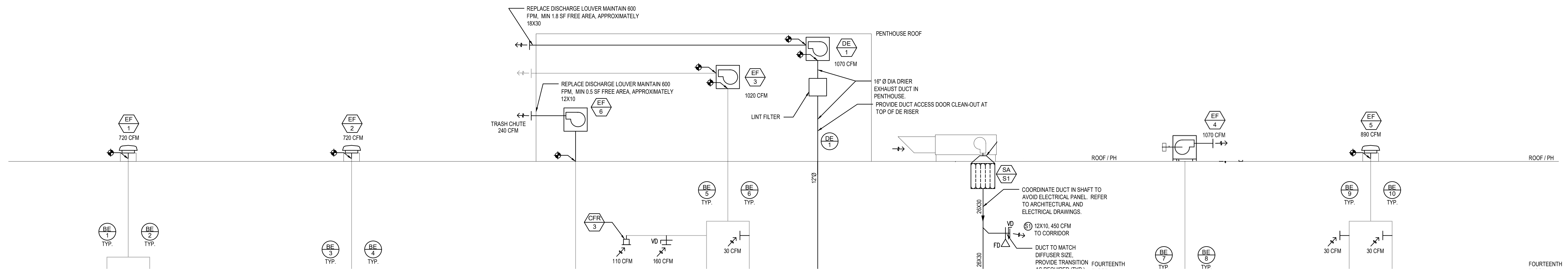
| # | DESCRIPTION | DATE |
|---|---|------------|
| 1 | ISSUED FOR DESIGN DEVELOPMENT | 2020.09.01 |
| 2 | ISSUED FOR PERM. CD | 2020.07.21 |
| 3 | ISSUED FOR PERM. CD | 2020.09.11 |
| 4 | ISSUED FOR PERM. CD / ISSUED FOR PERMIT | 2020.12.18 |
| 5 | ISSUED FOR PROCUREMENT | 2021.01.22 |
| 6 | ISSUED FOR PERM. AND PERMIT PHASE 1 | 2021.02.04 |
| 7 | ISSUED PERMIT PHASE 1 | 2021.03.01 |
| 8 | ISSUED FOR PERM. AND PERMIT | 2021.11.04 |

CHA CONTRACT NO. 12015-054AD

TITLE
MECHANICAL ROOF PLAN

SHEET
M2.04





1 TYPICAL TEF & DEF DIAGRAM
SCALE: NOT TO SCALE

PERMIT NO. 100941810



**VIVIAN GORDON HARSH
APARTMENTS RENOVATION**

4227 S OAKENWALD AVENUE, CHICAGO, IL 60653

Application #: 100902815

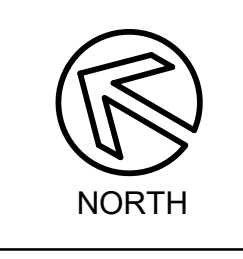
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M/E/P ENGINEER:
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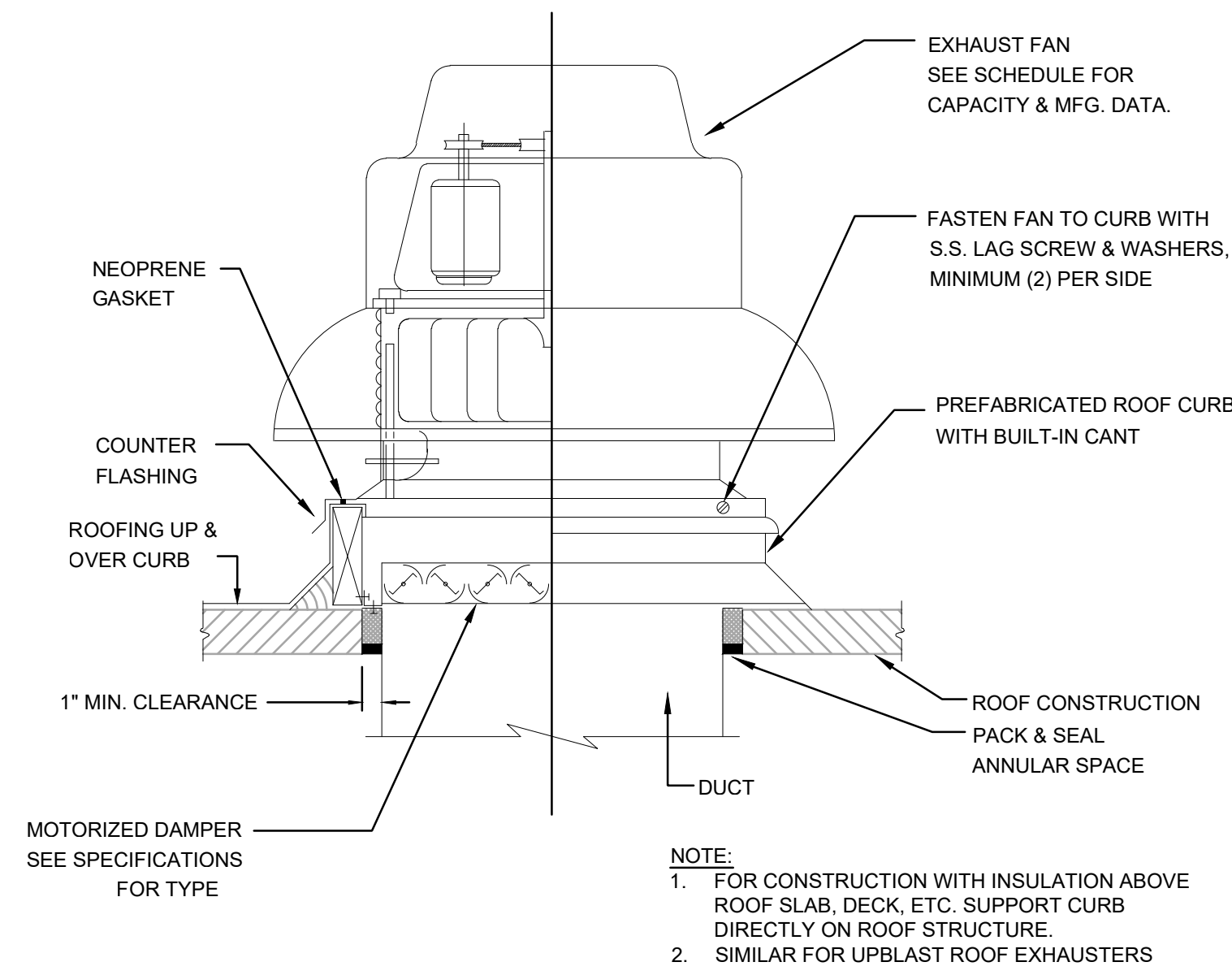
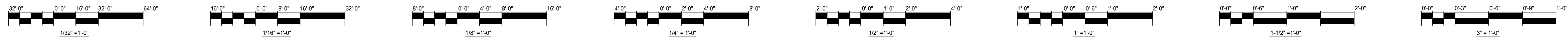
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|---|---------------------------------------|------------|
| | ISSUED FOR DESIGN DEVELOPMENT | 2020.09.01 |
| | ISSUED FOR 90% CD | 2020.07.21 |
| | ISSUED FOR 10% CD | 2020.09.11 |
| | ISSUED FOR 10% CD / ISSUED FOR PERMIT | 2020.12.18 |
| | ISSUED FOR PROCUREMENT | 2021.01.22 |
| | ISSUED FOR BID AND PERMIT PHASE I | 2021.02.04 |
| | ISSUED PERMIT PHASE I | 2021.03.01 |
| | ISSUED FOR BID AND PERMIT | 2021.11.04 |

CHA CONTRACT NO. 12015-054AD
TITLE
**MECHANICAL DUCTWORK
RISER DIAGRAM**

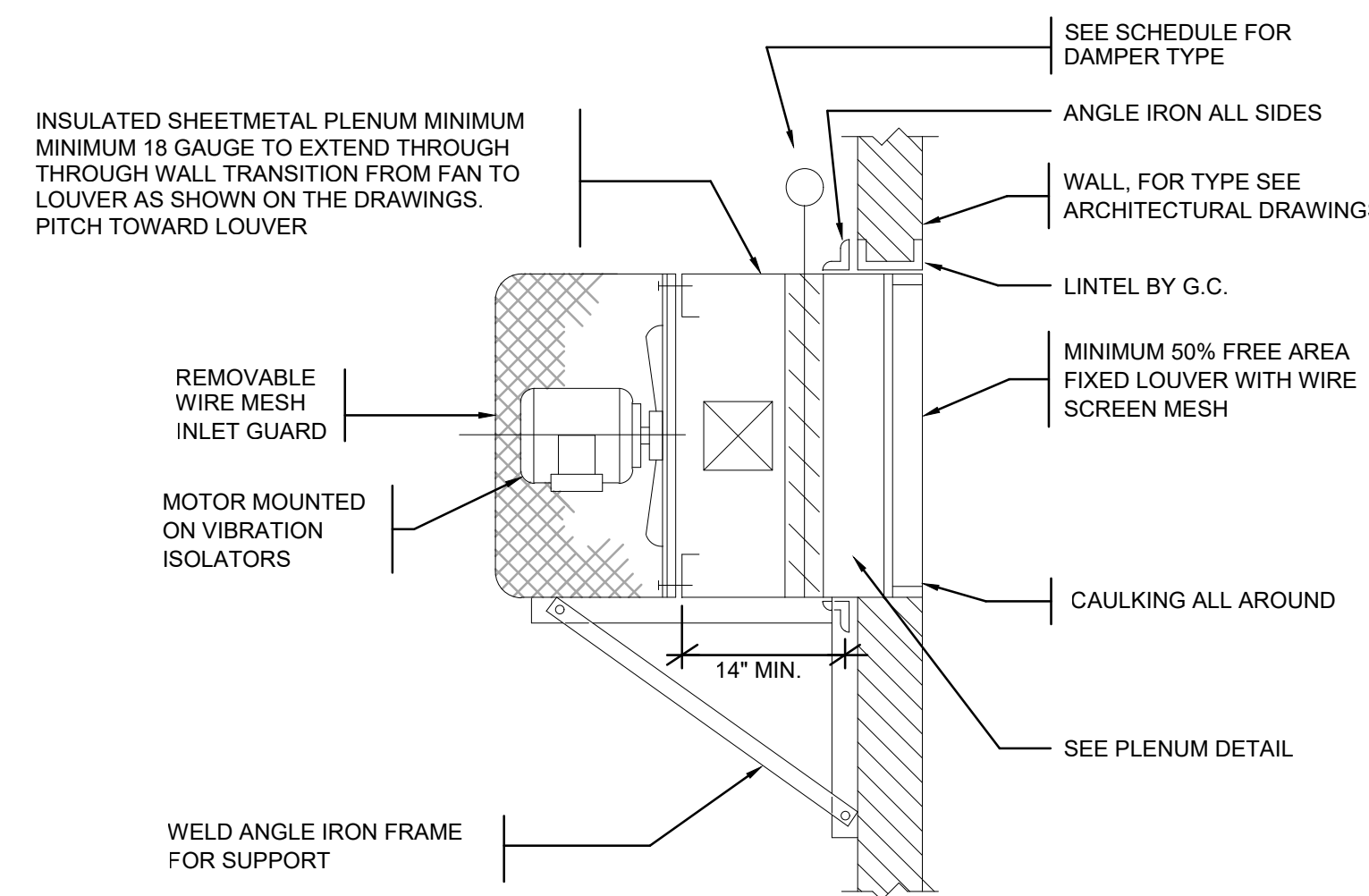
SHEET
M4.03



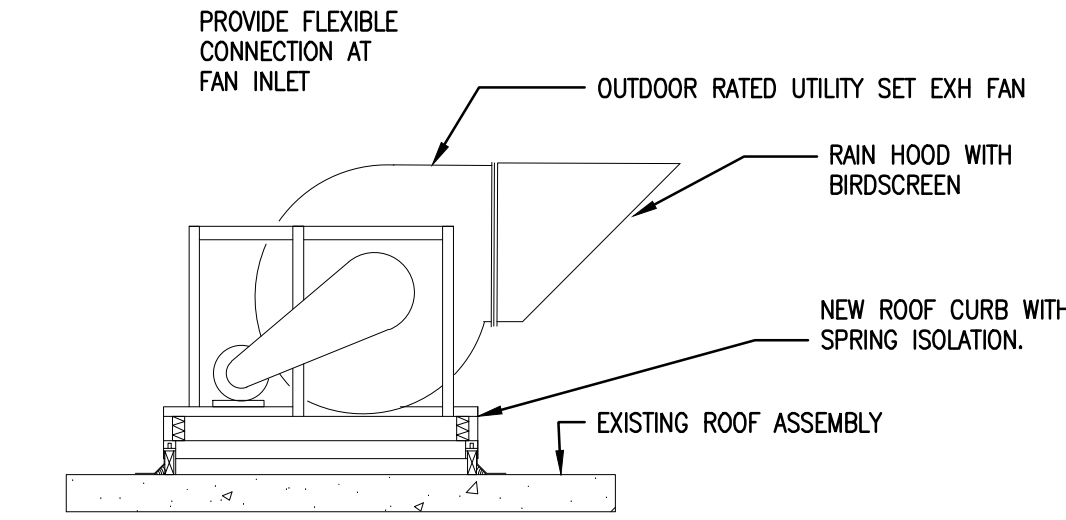


① ROOF EXHAUST FAN DETAIL
SCALE: N.T.S.

NOTE:
1. FOR CONSTRUCTION WITH INSULATION ABOVE ROOF SLAB, DECK, ETC. SUPPORT CURB DIRECTLY ON ROOF STRUCTURE.
2. SIMILAR FOR UPBLAST ROOF EXHAUSTERS



② SIDEWALL PROPELLER FAN (EXHAUST)
SCALE: N.T.S.



④ EXHAUST FAN DETAIL
SCALE: N.T.S.

PERMIT NO. 100941810



**VIVIAN GORDON HARSH
APARTMENTS RENOVATION**

4227 S OAKENWALD AVENUE, CHICAGO, IL 60653

Application #: 100902815

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RUBINOS & MESIA ENGINEERS, INC
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PRIMERA ENGINEERING

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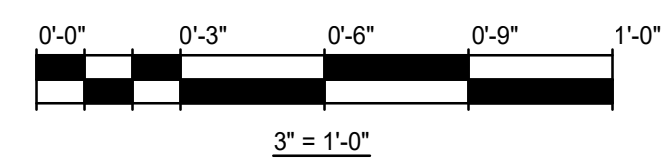
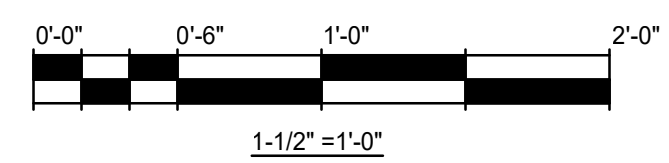
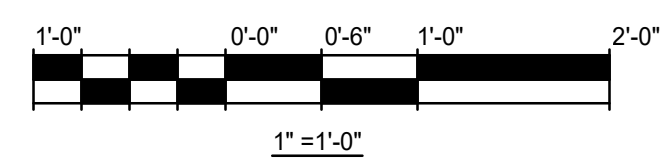
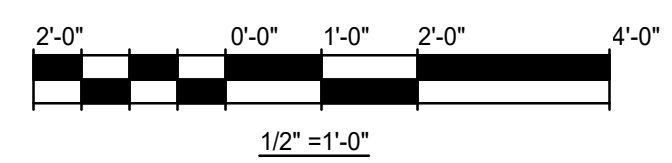
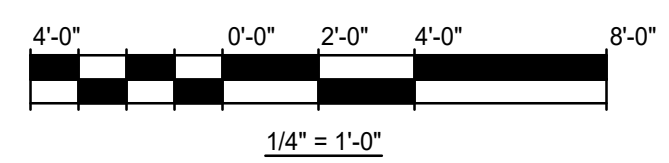
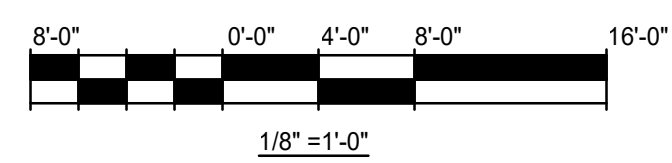
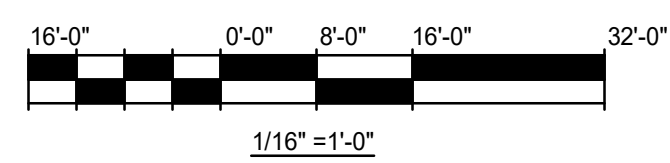
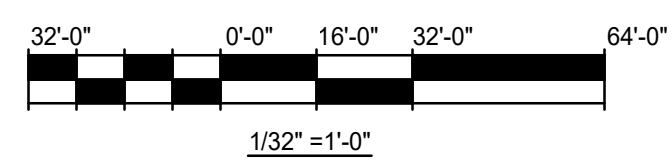
| # | DESCRIPTION | DATE |
|---|---|------------|
| | ISSUED FOR DESIGN DEVELOPMENT | 2020.05.01 |
| | ISSUED FOR PERM. CD | 2020.07.21 |
| | ISSUED FOR PERM. CD | 2020.09.11 |
| | ISSUED FOR PERM. CD / ISSUED FOR PERMIT | 2020.12.18 |
| | ISSUED FOR PROCUREMENT | 2021.01.22 |
| | ISSUED FOR PERM. AND PERMIT PHASE II | 2021.02.04 |
| | ISSUED PERMIT PHASE II | 2021.03.01 |
| | ISSUED FOR PERM. AND PERMIT | 2021.11.04 |

CHA CONTRACT NO. 12015-054AD

TITLE
MECHANICAL DETAILS

SHEET
M5.02





FAN SCHEDULE

| TAG | LOCATION | AREA SERVED | CFM | TYPE | S.P. IN. WC. | MOTOR | | | | MAX. INLET FAN SOUND POWER LEVEL | | | | | | | | FAN DATA | | UNIT WEIGHT LBS. | WALL/ROOF OPENING INCHES | BASED ON MFG/MODEL | SEE NOTES BELOW |
|------|-----------|----------------------------|-------|-------------|--------------|-------|-----|----------|----------|----------------------------------|-----|-----|-----|----|----|----|----|----------|--------|------------------|--------------------------|--------------------|-----------------|
| | | | | | | BHP | HP | V/HZ/PH | EM POWER | 63 | 125 | 250 | 500 | 1K | 2K | 4K | 8K | RPM | DRIVE | | | | |
| EF-1 | ROOF | TOILET EXHAUST RISER | 720 | CENTRIFUGAL | 1.0 | 0.23 | 1/4 | 115/1/60 | NO | 74 | 79 | 78 | 70 | 64 | 64 | 60 | 54 | 1,678 | DIRECT | 75 | 14.5" x 14.5" | GREENHECK G-099-VG | 1,2,3,4,6 |
| EF-2 | ROOF | TOILET EXHAUST RISER | 720 | CENTRIFUGAL | 1.0 | 0.23 | 1/4 | 115/1/60 | NO | 74 | 79 | 78 | 70 | 64 | 64 | 60 | 54 | 1,678 | DIRECT | 75 | 14.5" x 14.5" | GREENHECK G-099-VG | 1,2,3,4,6 |
| EF-3 | ROOF | TOILET EXHAUST RISER | 1,115 | UTILITY SET | 1.0 | 0.33 | 3/4 | 115/1/60 | NO | 72 | 73 | 76 | 72 | 66 | 63 | 59 | 54 | 1,485 | DIRECT | 120 | - | GREENHECK USF-13 | 1,3,4,6 |
| EF-4 | ROOF | TOILET EXHAUST RISER | 935 | UTILITY SET | 1.0 | 0.26 | 3/4 | 115/1/60 | NO | 73 | 73 | 74 | 70 | 65 | 61 | 57 | 53 | 1,389 | DIRECT | 120 | - | GREENHECK USF-13 | 1,3,5,6 |
| EF-5 | ROOF | TOILET EXHAUST RISER | 920 | CENTRIFUGAL | 1.0 | 0.25 | 1/2 | 115/1/60 | NO | 72 | 77 | 79 | 72 | 65 | 64 | 58 | 56 | 1,413 | DIRECT | 60 | 14.5" x 14.5" | GREENHECK G-120-VG | 1,2,3,4,6 |
| EF-6 | PENTHOUSE | TRASH CHUTE AND TRASH ROOM | 240 | UTILITY SET | 1.0 | 0.13 | 1/2 | 115/1/60 | NO | 70 | 76 | 75 | 72 | 64 | 61 | 60 | 53 | 1,794 | DIRECT | 120 | - | GREENHECK USF-04 | 1,2,3,4,6 |
| DE-1 | PENTHOUSE | DRYER EXHAUST | 1,760 | INLINE | 2.0 | 0.6 | 2 | 208/3/60 | NO | - | - | - | - | - | - | - | - | DIRECT | 100 | - | ENERVEX IPV400-EC | 1,3,6,7,8,9 | |

NOTES:

- REFER TO SECTION 230548 "VIBRATION ISOLATION" FOR VIBRATION ISOLATION.
- PROVIDE 14" (ABOVE FINISHED ROOF) HIGH ROOF CURB WITH HINGE KIT, DISCONNECT SWITCH AND BIRD SCREEN.
- MOTORIZED DAMPER AND ACTUATOR (SPRING RETURN CLOSED) 24V W/STEPDOWN TRANSFORMER POWERED FROM FAN.
- PROVIDE EC MOTOR WITH CONSTANT CFM CONTROL. PROVIDE MANUAL FIELD SPEED ADJUSTER FOR BALANCING.
- OUTDOOR RATED, PROVIDE SPRING ISOLATION BASE MIN 1" DEFLECTION WITH EQUIPMENT RAILS. SIDE DISCHARGE WITH RAIN HOOD PROVIDED BY MECHANICAL CONTRACTOR.
- SEE M-700 SERIES DRAWINGS FOR EXHAUST FAN CONTROL INFORMATION.
- SPARK RESISTANT, UL-705 RATED. PROVIDE LINT FILTER ASSEMBLY. REFER TO SPEC 235113.13
- FAN SHALL MAINTAIN CONSTANT PRESSURE WITH INTEGRAL TRANSDUCER (1 DUCT TAP UPSTREAM OF FAN), DIAL FOR BALANCING, TRANSFORMER MOUNTED AND WIRED AND PNEUMATIC TUBING. BAS POINTS ENABLE/DISABLE, DUCT STATIC SETPOINT/FEEDBACK, FAN STATUS FEEDBACK, FAN SPEED FEEDBACK.
- VFD SUPPLIED WITH ENERVEX FAN

REGISTER AND DIFFUSER SCHEDULE

(SEE PLANS FOR QUANTITY)

| TAG | SERVICE | TYPE | LENGTH OR FACE AREA | OPPOSED BLADE DAMPER | MATERIAL/ FINISH | TYPE | BASED ON MFG/MODEL | SEE NOTES BELOW |
|-----|---------|----------|---------------------|----------------------|------------------|---|----------------------|-----------------|
| S1 | SUPPLY | REGISTER | SEE PLAN | YES | STEEL | RECTANGULAR SIDEWALL HEAVY DUTY DIFFUSER DUAL DEFLECTION BLADES, 3/4" SPACING | TITUS MODEL 30GRS-HD | 1,2,3 |
| S2 | SUPPLY | REGISTER | SEE PLAN | YES | STEEL | RECTANGULAR SIDEWALL HEAVY DUTY DIFFUSER DUAL DEFLECTION BLADES, 3/4" SPACING | TITUS MODEL 30GRS-HD | 1,2,3 |
| R1 | RETURN | GRILLE | SEE PLAN | NO | STEEL | HEAVY DUTY BAR RETURN GRILLE | TITUS 33RL | 1,2,5 |
| R2 | RETURN | GRILLE | SEE PLAN | NO | STEEL | HEAVY DUTY BAR FILTER RETURN GRILLE | TITUS 33RFL | 1,2,5,6 |
| E1 | EXHAUST | GRILLE | SEE PLAN | NO | ALUMINUM | RECTANGULAR SIDEWALL HEAVY DUTY, 3/4" SPACING | TITUS MODEL 35GRS | 1,2,3,5 |

NOTES:

- REFER TO DRAWINGS FOR AIRFLOW REQUIREMENTS.
- COORDINATE COLOR AND BORDER TYPE WITH ARCHITECTURAL.
- ALL ALUMINUM GRILLES IN LOCKER ROOMS AND SHOWER AREAS.
- EXPOSED DUCT INSTALLATION.
- NO OPPOSED BLADE DAMPER UNLESS INDICATED ON DRAWINGS
- PROVIDE 1" FILTER

TAG "S1", "R1"
 50 TO 100 CFM - 6" x 6" NK
 101 TO 200 CFM - 8" x 8" NK
 201 TO 350 CFM - 10" x 10" NK
 351 TO 500 CFM - 12" x 12" NK

TAG "S2"
 SEE PLAN

TAG "R1"
 50 TO 100 CFM - 6" x 6" NK
 101 TO 200 CFM - 8" x 8" NK
 201 TO 350 CFM - 10" x 10" NK
 351 TO 500 CFM - 12" x 12" NK
 501 TO 750 CFM - 15" x 15" NK
 751 TO 1000 CFM - 18" x 18" NK
 1001 TO 1800 CFM - 22" x 22" NK

TAG "R1"
 SEE PLAN

PERMIT NO. 100941810



VIVIAN GORDON HARSH APARTMENTS RENOVATION

4227 S OAKENWALD AVENUE, CHICAGO, IL 60653

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| | ISSUED FOR PERM. CD | 2020.09.11 |
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| | ISSUED FOR PERM. CD / ISSUED FOR PERMIT | 2020.12.18 |
| | ISSUED FOR PERM. CD / ISSUED FOR PERMIT | 2021.01.22 |
| | ISSUED FOR PERM. CD / ISSUED FOR PERMIT | 2021.02.04 |
| | ISSUED PERMIT PHASE II | 2021.10.01 |
| | ISSUED FOR PERM. CD / ISSUED FOR PERMIT | 2021.11.04 |

CHA CONTRACT NO. 12015-054AD

TITLE

MECHANICAL SCHEDULES

SHEET

M6.04





STRUCTURAL GENERAL NOTES

GENERAL

- G1. CODES - LATEST EDITIONS (UNO)
CHICAGO BUILDING CODE 2019
ASCE 7 AMERICAN SOCIETY OF CIVIL ENGINEERS
AISC AMERICAN INSTITUTE OF STEEL CONSTRUCTION
AWS AMERICAN WELDING SOCIETY, LATEST EDITION
ASTM AMERICAN SOCIETY OF TESTING MATERIALS
ANSI AMERICAN NATIONAL STANDARD INSTITUTE
ACI 318 BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE BY AMERICAN CONCRETE INSTITUTE

G2. DESIGN LOADS -

- LIVE LOADS
- STAIRS 100 PSF
- HANDRAILS

STAIRWAYS AND PLATFORM RAILINGS SHALL BE DESIGNED TO RESIST A SIMULTANEOUS VERTICAL AND HORIZONTAL THRUST OF 50 POUNDS PER FOOT APPLIED AT TOP OF THE RAILING OF A CONCENTRATED LOAD OF 200 POUNDS IN ANY DIRECTION, WHICHEVER IS GREATER.

SNOW LOAD (PER IBC 2018/ASCE-7-16)

| | |
|-----------------------------------|--------|
| BUILDING OCCUPANCY CATEGORY | II |
| GROUND SNOW, P _g | 25 PSF |
| IMPORTANCE FACTOR, I _s | 1.0 |
| EXPOSURE FACTOR, C _e | 1.0 |
| THERMAL FACTOR, C _t | 1.0 |

MAIN WIND FORCE RESISTING SYSTEM AND COMPONENTS & CLADDING WIND (PER IBC 2018/ASCE 7-16)

| | |
|-------------------------------------|---------|
| BUILDING OCCUPANCY CATEGORY | II |
| BASIC WIND SPEED | 107 MPH |
| EXPOSURE CATEGORY | C |
| TOPOGRAPHIC FACTOR, K _{ZT} | 1.0 |
| DIRECTION FACTOR, K _D | 0.85 |

SEISMIC CRITERIA

BASED ON IBC 2018 THE NEW STRUCTURAL WORK IS CLASSIFIED AS ALTERATION LEVEL 2. CONSEQUENTLY AS STIPULATED IN PARAGRAPHS 906.2 AND 906.3, THE GRAVITY LOAD ON NEW STRUCTURAL MEMBER IS NOT INCREASED MORE THAN 5%. SIMILARLY, THE LATERAL LOAD AND RESISTING SYSTEM ARE NOT IMPACTED BY THE ALTERATION, THEREFORE SEISMIC ANALYSIS IS NOT REQUIRED.

- G4. ALL EXISTING CONDITIONS SHALL BE FIELD VERIFIED PRIOR TO FABRICATION AND ERECTION AND/OR CONSTRUCTION. ANY CONDITIONS WHICH DIFFER FROM THAT INDICATED IN THE CONTRACT DOCUMENTS SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW PRIOR TO FABRICATION, ERECTION AND /OR CONSTRUCTION.
- G5. IF DISCREPANCIES APPEAR ON THE CONTRACT DOCUMENTS AND EXISTING CONDITIONS, THE CONTRACTOR SHALL REQUEST AN INTERPRETATION FROM THE ARCHITECT BEFORE BIDDING. IF THE CONTRACTOR FAILS TO MAKE SUCH REQUEST, IT IS PRESUMED WHAT BOTH PROVISIONS WERE INCLUDED IN THE BID AND THE ARCHITECT SHALL DETERMINE WHICH OF THE CONFLICTING REQUIREMENTS SHALL GOVERN. THE CONTRACTOR SHALL PERFORM THE WORK AT NO ADDITIONAL COST TO THE OWNER IN ACCORDANCE WITH THE ARCHITECT'S DETERMINATION.
- G6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH THE LATEST CHICAGO BUILDING CODE AND ANY OTHER CODES OF APPLICABLE REGULATORY AGENCIES.
- G7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY BEARING UPON THE PERFORMANCE OF THE WORK.
- G8. STABILITY OF WALLS AND STRUCTURE DURING CONSTRUCTION IS THE RESPONSIBILITY OF THE CONTRACTOR.
- G9. SITE SAFETY DURING CONSTRUCTION IS THE RESPONSIBILITY OF THE CONTRACTOR.
- G10. PLANS, SECTIONS, AND DETAILS SHALL NOT BE SCALED FOR DETERMINATION OF QUANTITIES, LENGTHS, FIT OF MATERIALS, ETC.
- G11. PROPRIETARY PRODUCTS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S AND SUPPLIERS' RECOMMENDATIONS.
- G12. ALL CONSTRUCTIONS AND INSTALLATIONS DAMAGED AS A RESULT OF THE INSTALLATION OF THE NEW WORK, THE CONTRACTOR SHALL REPLACE OR REPAIR THE DAMAGE AT NO COST TO THE OWNER.
- G13. THE INFORMATION CONTAINED IN THE STRUCTURAL DRAWINGS IS IN ITSELF INCOMPLETE UNLESS USED IN CONJUNCTION WITH ALL OF THE CONTRACT DOCUMENTS, TRADE PRACTICES OR APPLICABLE STANDARDS, CODES, ETC. INCORPORATED THEREIN BY REFERENCE WHICH THE CONTRACTOR CERTIFIES KNOWLEDGE OF BY SIGNING OF THE CONTRACT.
- G14. THE STRUCTURE HAS BEEN DESIGNED FOR THE IN-SERVICE LOADS ONLY. THE METHODS, PROCEDURES AND SEQUENCES OF CONSTRUCTION ARE THE RESPONSIBILITY OF CONTRACTOR. CONTRACTOR IS RESPONSIBLE FOR TAKING NECESSARY PRECAUTIONS TO MAINTAIN AND ENSURE THE INTEGRITY OF THE STRUCTURE DURING CONSTRUCTION. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE STRUCTURAL ENGINEER OF ANY CONDITION WHICH COMPROMISES THE STRUCTURE. IF SHORING IS REQUIRED, THE CONTRACTOR'S STRUCTURAL ENGINEER REGISTERED IN THE STATE OF ILLINOIS, SHALL SUBMIT DETAILS AND DESIGN CALCULATIONS STAMPED AND SEALED.

DEMOLITION AND SHORING

- D1. BUILDING STRUCTURAL AREAS WHICH ARE TO BE REMOVED, SHALL BE COMPLETED IN A MANNER WHICH SHALL MAINTAIN THE STABILITY OF THE STRUCTURE AND SHALL ALLOW THE STRUCTURE TO REMAIN IN A SAFE CONDITION.
- D2. CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR THE DESIGN AND INSTALLATION OF ALL TEMPORARY SHORING WHICH IS TO BE USED.
- D3. GENERAL CONTRACTOR IS TO COORDINATE ALL WORK SCHEDULE WITH THE OWNER PRIOR TO COMMENCING OF THE WORK.

CONCRETE

- C1. CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE (ACI 318)".
- C2. UNLESS NOTED OTHERWISE, CONCRETE SHALL BE NORMAL WEIGHT CONCRETE AND SHALL DEVELOP 4,000 PSI MINIMUM COMPRESSIVE STRENGTH IN 28 DAYS.
- C3. WHERE LIGHTWEIGHT CONCRETE (110 PCF) IS INDICATED, IT SHALL DEVELOP 4,000 PSI MINIMUM COMPRESSIVE STRENGTH IN 28 DAYS.
- C4. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE LOCATION AND PLACEMENT OF INSERTS, EMBEDDED PLATES, ANCHORS, REGLETS, SLEEVES, DUCTWORK, PADS AND ANCHOR RODS. THE INSERTS, EMBEDDED PLATES, ETC. SHALL NOT INTERFERE WITH CONCRETE REINFORCEMENT LOCATION. THE GENERAL CONTRACTOR SHALL VERIFY ALL OPENINGS THROUGH WALLS WITH SHOP DRAWINGS, SHOWING OPENINGS IN THE SLABS INCLUDING, BUT NOT LIMITED TO, SLEEVE SIZES AND LOCATIONS, DUCT SIZE AND LOCATION, ETC.
- C5. NO OPENING SHALL BE MADE IN ANY STRUCTURAL MEMBER WITHOUT THE WRITTEN APPROVAL OF THE ARCHITECT.
- C8. ADHESIVE ANCHORS SHALL BE AS MANUFACTURED BY HILTI, OR EQUAL. ANY SUBSTITUTED PRODUCT MUST MEET ALL OF THE DESIGN VALUES OF HILTI, AND BE APPROVED BY THE ARCHITECT. ANCHORS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- C9. TOP LAYER OF REINFORCEMENT IN EACH DIRECTION OF ALL EXTERIOR EXPOSED CONCRETE FOR HORIZONTAL SLABS, STAIRS, AND RAMPS SHALL BE EPOXY COATED.

REINFORCEMENT

- R1. UNLESS NOTED OTHERWISE, REINFORCEMENT SHALL CONFORM TO ASTM SPECIFICATION A615, GRADE 60.
- R4. THE CONCRETE COVER PROVIDED FOR ALL REINFORCEMENT SHALL COMPLY WITH ACI, 318, LATEST EDITION. THE FOLLOWING CONCRETE COVER SHALL BE PROVIDED FOR REINFORCEMENT UNLESS NOTED OTHERWISE:

| | |
|--|--|
| | COVER, (INCHES) |
| | CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH.....3 |
| | CONCRETE EXPOSED TO EARTH OR WEATHER: |
| | NO. 6 THROUGH NO. 18 BARS.....2 |
| | NO. 5 BAR, W#1 OR D#1 WIRE, AND SMALLER.....1½ |
| | CONCRETE NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND: |
| | SLABS, WALLS |
| | NO. 14 AND NO. 18 BARS.....1½ |
| | NO. 11 BAR AND SMALLER.....¾ |
- R5. PROVIDE ALL ACCESSORIES NECESSARY TO SUPPORT REINFORCEMENT AT THE POSITIONS INDICATED. PLASTIC COATED OR STAINLESS STEEL ACCESSORIES SHALL BE USED IN ALL EXPOSED CONCRETE WORK.
- R6. ALL EMBEDMENT LENGTHS AND LAPS SHALL BE AS REQUIRED BY ACI 318 AND TABLES ON DRAWINGS. UNLESS NOTED OTHERWISE, MINIMUM LAP SHALL BE 40 BAR DIAMETERS.

MASONRY

- M1. DESIGN AND CONSTRUCTION OF MASONRY SHALL BE IN ACCORDANCE WITH THE ACI/ASCE/TMS "BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES, (ACI 530)" AND "SPECIFICATIONS FOR MASONRY STRUCTURES, (ACI 530.1-13)".
- M2. THE MINIMUM NET AREA COMPRESSIVE STRENGTH OF MASONRY (F_m) SHALL BE OF THE FOLLOWING:

f_m = 2500 PSI FOR CMU
- M4. BRICK VENEER SHALL BE ANCHORED TO CMU WALL WITH PINTLE ANCHORS.
- M5. MORTAR FOR MASONRY, CONFORMING TO ASTM C270 TYPE "N" FOR INTERIOR AND EXTERIOR BRICK AND INTERIOR CMU AND TYPE "S" FOR EXTERIOR CMU.
- M6. GROUT FOR MASONRY SHALL CONFORM TO ASTM C476 AND SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI.
- M7. REINFORCEMENT BARS FOR MASONRY SHALL CONFORM TO ASTM SPECIFICATION A615, GRADE 60.

- M13. WHERE REQUIRED VERTICAL REINFORCEMENT SHALL BE LAP SPLICED AS INDICATED IN TABLE ON DRAWING S4.1.0 WITH A MINIMUM OF 48 BAR DIAMETERS.
- M14. ALL REINFORCING BARS SHALL BE COMPLETELY EMBEDDED IN GROUT AND SHALL HAVE A COVERAGE OF MASONRY NOT LESS THAN:

BARS LARGER THAN #5..... 2"
#5 BARS AND SMALLER..... 1 1/2"
- M15. PROVIDE ADEQUATE TEMPORARY BRACING AS REQUIRED DURING CONSTRUCTION TO WITHSTAND LATERAL LOADS AND THE PRESSURES OF FLUID GROUT.
- M20. NO CONTROL JOINTS IN CMU WALL SHALL BE LOCATED LESS THAN 24" FROM THE END OF A LINTEL. EACH CELL OF THE PIER SHALL BE REINFORCED WITH REINFORCING SAME SIZE AS REST OF WALL.
- M21. SPECIAL INSPECTION IS REQUIRED FOR ALL MASONRY WORK.
- M22. ALL MASONRY ANCHORS SHALL BE STAINLESS STEEL.

STRUCTURAL STEEL

- S1. ALL DETAILING, FABRICATION AND ERECTION OF STRUCTURAL STEEL WORK SHALL CONFORM TO AISC SPECIFICATIONS AND CODES.
- S2. STRUCTURAL STEEL WIDE FLANGE SHAPES SHALL CONFORM TO ASTM A992, UNLESS NOTED OTHERWISE. STRUCTURAL STEEL PLATES, ANGLES, CHANNELS AND MISCELLANEOUS MATERIAL SHALL CONFORM TO ASTM A36. HOLLOW STRUCTURAL SECTIONS SHALL CONFORM TO ASTM A500, GRADE B. STEEL PIPE SECTIONS SHALL CONFORM TO ASTM A53, GRADE B.
- S3. HIGH STRENGTH BOLTING SHALL BE DONE IN ACCORDANCE WITH AISC "SPECIFICATION FOR STRUCTURAL JOINTS USING ASTM A325 OR ASTM A490 BOLTS".
- S4. BOLTS, NUTS AND WASHERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM A325. BOLTS SHALL BE ¾ INCH DIAMETER MINIMUM.
- S5. WELDING SHALL BE DONE BY CERTIFIED WELDERS AND SHALL CONFORM TO AWS D1.1 STRUCTURAL WELDING CODE - STEEL, LATEST EDITION. ALL WELDING ELECTRODES SHALL BE E70XX.
- S6. THE FABRICATOR/ERECTOR SHALL SUBMIT TO THE ARCHITECT FOR REVIEW, ENGINEERED AND CHECKED DRAWINGS SHOWING SHOP FABRICATION DETAILS, FIELD ASSEMBLY DETAILS AND ERECTION DIAGRAMS FOR ALL STRUCTURAL STEEL.
- S7. UNLESS NOTED OTHERWISE, ALL CONNECTIONS SHALL BE DESIGNED AND DETAILED BY THE FABRICATOR, USING RATIONAL ENGINEERING DESIGN AND STANDARD PRACTICE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. THE TYPICAL DETAILS SHOWN ON THE DRAWINGS ARE CONCEPTUAL ONLY UNLESS SPECIFICALLY NOTED.
- S8. THE FABRICATOR SHALL SUBMIT CALCULATIONS FOR EACH CONNECTION TYPE AND MEMBER SIZE WITH DETAILS AND COORDINATED SHOP DRAWINGS. CALCULATIONS SHALL BE STAMPED AND SIGNED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF ILLINOIS.
- S9. STEEL BEAM AND GIRDER CONNECTIONS SHALL BE DESIGNED USING THE LOAD AND RESISTANCE FACTOR DESIGN METHOD FOR FORCES INDICATED ON THE TYPICAL BEAM CONNECTION SCHEDULE, FRAMING PLANS AND FRAMING ELEVATIONS. USE MINIMUM CONNECTION SHEAR FORCE OF 10 KIPS (FACTORED).

- S10. UNLESS NOTED OTHERWISE, CONNECTIONS SHALL BE EITHER AISC DOUBLE ANGLE OR SINGLE PLATE SIMPLE SHEAR CONNECTIONS PROVIDING ROTATIONAL DUCTILITY AS DEFINED BY AISC. ALL BOLTED COMPONENTS SHALL UTILIZE MINIMUM 2 BOLTS IN BEARING. CONNECTIONS SHALL EXTEND TO AT LEAST ONE HALF OF THE BEAM DEPTH.
- S11. FIELD CONNECTIONS, EXCEPT WHERE SHOWN TO BE WELDED, SHALL BE BOLTED.
- S12. BEAMS SHALL BE FABRICATED WITH THE NATURAL CAMBER UP. PROVIDE CAMBERS AS INDICATED ON THE DRAWINGS.
- S13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF ALL ERECTION PROCEDURES AND SEQUENCES WITH RELATION TO TEMPERATURE DIFFERENTIALS, ESPECIALLY WITH RESPECT TO STRUCTURAL STEEL FRAMING INTO CONCRETE WALLS, BEAMS OR COLUMNS.
- S14. THERE SHALL BE NO FIELD CUTTING OF STRUCTURAL STEEL MEMBERS FOR THE WORK OF OTHER TRADES WITHOUT THE PRIOR WRITTEN APPROVAL OF THE ARCHITECT.
- S15. ERECT AND MAINTAIN TEMPORARY BRACING TO INSURE THE ALIGNMENT AND STABILITY OF THE STRUCTURE DURING ERECTION UNTIL PERMANENT CONNECTIONS HAVE BEEN COMPLETED. LATERAL SYSTEM ELEMENTS FOR THIS PROJECT CONSIST OF (BUT ARE NOT NECESSARILY LIMITED TO) THE FOLLOWING:

CONCRETE WALLS, CMU WALLS, FLOOR DIAPHRAGMS, ROOF DECK.
- S16. WELDABILITY TEST FOR THE EXISTING STEEL SHALL BE PERFORMED PRIOR TO FABRICATION AND ERECTION. REPORT TO ENGINEER.
- S17. SEE ARCHITECTURAL DRAWINGS FOR FIREPROOFING.
- S18. ALL STEEL EXPOSED TO WEATHER SHALL BE HOT DIPPED GALVANIZED.

NOT FOR CONSTRUCTION (AOR/EOR STAMP)



VIVIAN GORDON HARSH APARTMENTS RENOVATION

4227 S OAKENWALD AVENUE, CHICAGO, IL 60653

ARCHITECT/ENGINEER OF RECORD:
URBANWORKS
ARCHITECT - BUILDING ENVELOPE:
BAUER LATOZA STUDIO
CIVIL ENGINEER:
D'ESCOTO
LANDSCAPE ARCHITECT:
ACCENT URBAN DESIGN
STRUCTURAL ENGINEER:
RUBINS & MESIA ENGINEERS, INC
M/E/P ENGINEER:
PRIMERA ENGINEERING

WARNING: ASBESTOS CONTAINING BUILDING MATERIALS ARE OR MAY BE PRESENT IN THIS BUILDING. AN ASBESTOS MANAGEMENT PLAN IS AVAILABLE IN THE BUILDING FOR REVIEW UPON REQUEST. NO PERSON MAY DISTURB ASBESTOS CONTAINING MATERIALS UNLESS THAT PERSON IS A LICENSED ASBESTOS WORKER OR CONDUCTS SUCH WORK IN ACCORDANCE WITH SPECIFICATIONS CONTAINED IN THE PROJECT DOCUMENTS AND IN COMPLIANCE WITH ILLINOIS DEPARTMENT OF HEALTH RULES AND REGULATIONS.

ISSUANCE

| # | DESCRIPTION | DATE |
|---|--|------------|
| | ISSUED FOR DESIGN DEVELOPMENT | 2020.05.01 |
| | ISSUED FOR 60% CD | 2020.07.21 |
| | ISSUED FOR 90% CD | 2020.09.11 |
| | ISSUED FOR 100% CD / ISSUED FOR PERMIT | 2020.12.16 |
| | ISSUED FOR CHA PROCUREMENT | 2021.01.22 |
| | ISSUED FOR BID AND PERMIT PHASE A' | 2021.02.24 |

CHA CONTRACT NO. 12015-054AD
TITLE
GENERAL NOTES

- NOTES:**
- A. ALL NEW CONDITIONS SHALL BE COORDINATED WITH ARCHITECTURAL DRAWINGS FOR DIMENSIONS, LOCATIONS AND ELEVATIONS.
 - B. ALL EXISTING CONDITIONS SHALL BE FIELD VERIFIED AND ALL DISCREPANCIES SHALL BE REPORTED TO THE AOR/EOR PRIOR TO FABRICATION/CONSTRUCTION.



ABBREVIATIONS & SYMBOLS

| | | | |
|------------|------------------------------|--------|---------------------------------------|
| AB | ANCHOR BOLT | MAX | MAXIMUM |
| ADJ | ADJACENT | MECH | MECHANICAL |
| ADDL | ADDITIONAL | MEP | MECHANICAL, ELECTRICAL & PLUMBING |
| AFF | ABOVE FINISHED FLOOR | MFR | MANUFACTURER |
| AR | ANCHOR ROD | MIN | MINIMUM |
| ARCH | ARCHITECTURAL | N/A | NOT APPLICABLE |
| | | NIC | NOT IN CONTRACT |
| BAL | BALANCE | NS | NEAR SIDE |
| BM | BEAM | NTS | NOT TO SCALE |
| BLDG | BUILDING | NWC | NORMAL WEIGHT CONCRETE |
| BOT | BOTTOM | | |
| BOD | BOTTOM OF DECK | OC | ON CENTER(S) |
| B/BM | BOTTOM OF BEAM | OF | OUTSIDE FACE |
| B/FTG | BOTTOM OF FOOTING | OH | OPPOSITE HAND |
| BS | BOTH SIDES | OPP | OPPOSITE |
| BSMT | BASEMENT | OPNG | OPENING |
| | | PCC | PORTLAND CEMENT CONCRETE |
| CANT | CANTILEVER | P/JF | PREMOLDED JOINT FILLER |
| CBC | CHICAGO BUILDING CODE | PL | PLATE |
| CCD | CHICAGO CITY DATUM | PROP | PROPOSED |
| C/C OR CC | CENTER TO CENTER | PSI | POUNDS PER SQUARE INCH |
| CD | COMPOSITE DECK | PSF | POUNDS PER SQUARE FOOT |
| CJ | CONSTRUCTION JOINT | PT | POST-TENSIONED |
| CL | CENTER LINE | PVC | POLYVINYL CHLORIDE |
| CLR | CLEAR | PVMT | PAVEMENT |
| COL | COLUMN | R | RADIUS |
| CONC | CONCRETE | RD | ROOF DECK |
| CONNX | CONNECTION | REINF | REINFORCING |
| CONST | CONSTRUCTION | REM | REMOVAL |
| CONT | CONTINUOUS | REPL | REPLACE, REPLACEMENT |
| COORD | COORDINATE | REQD | REQUIRED |
| | | RET | RETAINING |
| DBA | DEFORMED BAR ANCHOR (NELSON) | SCHD | SCHEDULE(D) |
| DET | DETAIL | SIM | SIMILAR |
| DIA | DIAMETER | SOG | SLAB-ON-GRADE |
| DIP | DUCTILE IRON PIPE | SPA | SPACING |
| DN | DOWN | SPEC | SPECIFICATIONS |
| DWG | DRAWING(S) | SQ | SQUARE |
| DWL | DOWEL | SS | STAINLESS STEEL |
| | | STD | STANDARD |
| EA | EACH | STL | STEEL |
| EF | EACH FACE | STR | STRUCTURE, STRUCTURAL |
| EJ | EXPANSION JOINT | | |
| EL | ELEVATION | TEMP | TEMPORARY |
| ELEV | ELEVATION | TC | TRANSFER GIRDER |
| EOD | EDGE OF DECK | THK | THICK |
| EOS | EDGE OF SLAB | THD | THREAD |
| EQUIP | EQUIPMENT | TD | TRENCH DRAIN |
| EW | EACH WAY | TSF | TONS PER SQUARE FOOT |
| EXIST. (E) | EXISTING | TYP | TYPICAL |
| EXP | EXPANSION | T&B | TOP AND BOTTOM |
| EXT | EXTERIOR | T/BM | TOP OF BEAM |
| | | T/COL | TOP OF BEAM |
| FBO | FURNISHED BY OTHERS | T/FLR | TOP OF FLOOR |
| FD | FLOOR DRAIN | T/FTG | TOP OF FOOTING |
| FDN | FOUNDATION | T/STL | TOP OF STEEL |
| FIN | FINISHED | T/SLAB | TOP OF SLAB |
| FLR | FLOOR | T/WALL | TOP OF WALL |
| FS | FAR SIDE | | |
| FT | FOOT OR FEET | UNO | UNLESS NOTED OTHERWISE |
| FTG | FOOTING | VERT | VERTICAL |
| | | VIF | VERIFY IN FIELD |
| GALV | GALVANIZED | | |
| GC | GENERAL CONTRACTOR | W/ | WITH |
| GEN | GENERAL | WO | WITHOUT |
| | | WP | WORKING POINT |
| HCA | HEADED CONCRETE ANCHOR | WS | WATER STOP |
| HDPE | HIGH DENSITY POLYETHYLENE | WWF | WELDED WIRE FABRIC |
| HEX | HEXAGONAL | | |
| HORIZ | HORIZONTAL | @ | AT |
| HP | HIGH POINT | & | AND |
| HS | HIGH STRENGTH | % | PERCENT |
| | | # | POUND, NUMBER |
| ID | INSIDE DIAMETER | ⊕ | ELEVATION TARGET |
| IN | INCH OR INCHES | | |
| INFO | INFORMATION | L | SECTION NUMBER |
| INV | INVERT | Ⓢ100 | SHEET NUMBER |
| | | | |
| JT | JOINT | Ⓢ100 | ELEVATION NUMBER |
| | | | |
| K | KIP (ONE THOUSAND POUNDS) | I | SIMPLE SHEAR CONNECTION |
| KSF | KIPS PER SQUARE FOOT | I | FULL MOMENT CONNECTION |
| KSI | KIPS PER SQUARE INCH | | |
| | | () | DESIGNATES NUMBER OF SHEAR CONNECTORS |
| L | ANGLE | [] | DESIGNATES CONNECTION REACTION |
| LOC | LOCATION | < > | DESIGNATES CAMBER |
| LNG | LONGITUDINAL | | |
| LP | LOW POINT | | |
| LTWT | LIGHT WEIGHT | | |
| LWC | LIGHTWEIGHT CONCRETE | | |

DELEGATED DESIGN

- THE CONTRACTOR SHALL EMPLOY OR RETAIN A STRUCTURAL ENGINEER LICENSED IN THE STATE OF ILLINOIS TO DESIGN, DETAIL AND PROVIDE STAMPED CALCULATIONS AND SHOP DRAWINGS OF DELEGATED ITEMS TO MEET THE PERFORMANCE AND DESIGN CRITERIA ESTABLISHED AS PART OF THE BASE BUILDING STRUCTURE INDICATED IN THE CONTRACT DOCUMENTS INCLUDING BUT NOT LIMITED:
 - EARTH RETENTION SYSTEM
 - FALL PROTECTION/WINDOW WASHING SYSTEM ANCHORS ATTACHMENTS TO ROOF SLAB & PERIMETER WALL
 - LIGHT GAGE STEEL FRAMING
 - STRUCTURAL STEEL CONNECTIONS
 - METAL STAIRS/LADDERS
 - HANDRAILS AND GUARDRAILS

NOT FOR
CONSTRUCTION
(AOR/EOR
STAMP)



VIVIAN GORDON HARSH APARTMENTS RENOVATION

4227 S OAKENWALD AVENUE, CHICAGO, IL 60653

ARCHITECT/ENGINEER OF RECORD:
URBANWORKS
ARCHITECT - BUILDING ENVELOPE:
BAUER LATOZA STUDIO
CIVIL ENGINEER:
D'ESCOTO
LANDSCAPE ARCHITECT:
ACCENT URBAN DESIGN
STRUCTURAL ENGINEER:
RUBINOS & MESIA
ENGINEERS, INC
M/E/P ENGINEER:
PRIMERA ENGINEERING

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| ISSUANCE | | |
|----------|--|------------|
| # | DESCRIPTION | DATE |
| | ISSUED FOR DESIGN DEVELOPMENT | 2025.05.01 |
| | ISSUED FOR 90% CD | 2025.07.21 |
| | ISSUED FOR 90% CD | 2025.08.11 |
| | ISSUED FOR 100% CD / ISSUED FOR PERMIT | 2025.12.18 |
| | ISSUED FOR CHA PROCUREMENT | 2021.01.22 |
| | ISSUED FOR BID AND PERMIT "PHASE A" | 2021.02.24 |

CHA CONTRACT NO: 12015-054AD

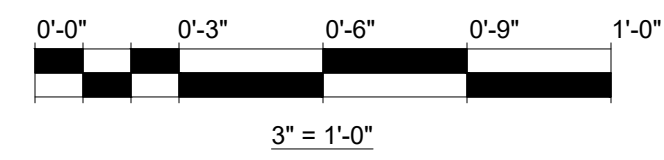
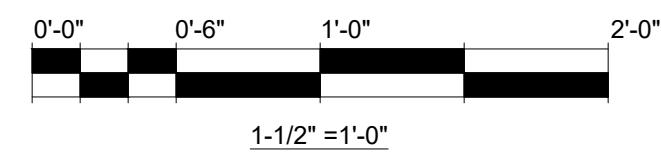
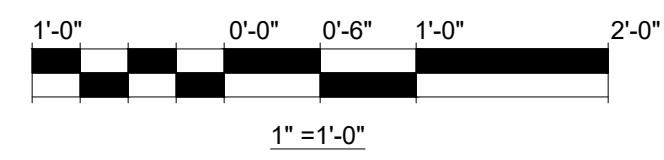
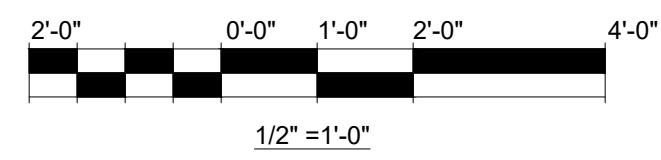
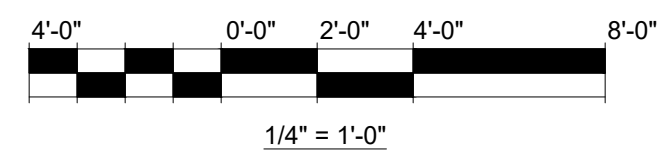
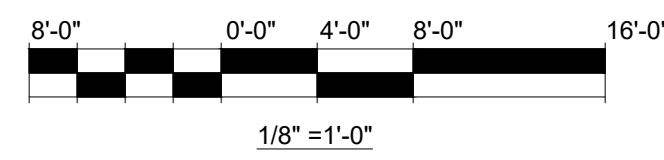
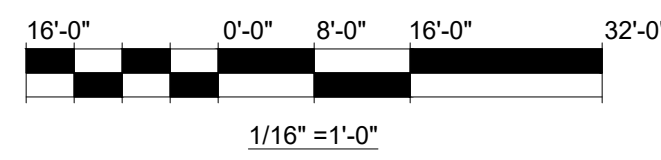
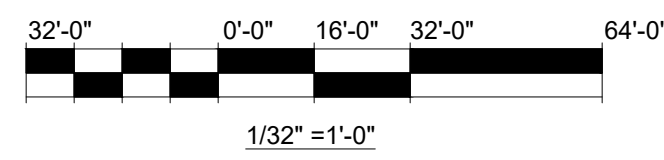
TITLE
GENERAL NOTES

SHEET

S0.02

NOTES:

- ALL NEW CONDITIONS SHALL BE COORDINATED WITH ARCHITECTURAL DRAWINGS FOR DIMENSIONS, LOCATIONS AND ELEVATIONS.
- ALL EXISTING CONDITIONS SHALL BE FIELD VERIFIED AND ALL DISCREPANCIES SHALL BE REPORTED TO THE AOR/EOR PRIOR TO FABRICATION/CONSTRUCTION.

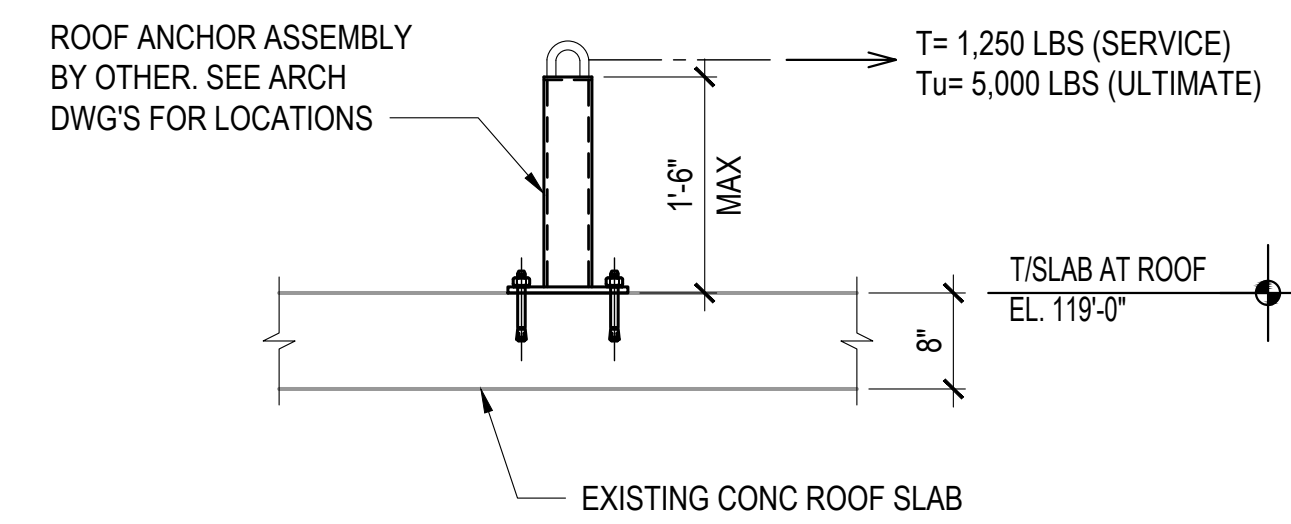


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STAMP)



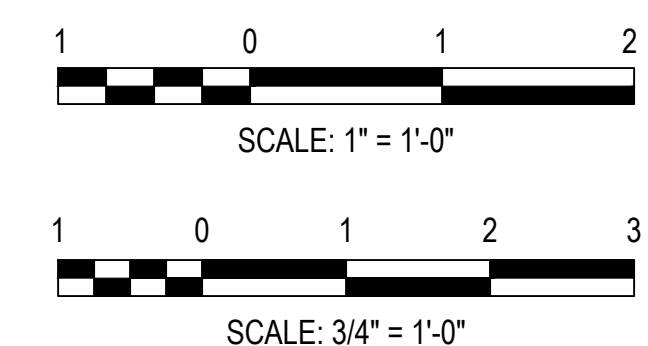
**VIVIAN GORDON HARSH
APARTMENTS RENOVATION**

4227 S OAKENWALD AVENUE, CHICAGO, IL 60653



- NOTES:
1. EXISTING SLAB REINFORCING IS NOT SHOWN FOR CLARITY.
 2. DO NOT DAMAGE EXISTING SLAB REINFORCEMENT DURING DRILLING FOR POST INSTALLING ANCHOR. TYPICAL.
 3. CONTRACTOR TO LOCATE EXISTING SLAB REINFORCEMENT LOCATIONS PRIOR TO DRILLING PROCESS TO AVOID DAMAGE TO THE EXISTING SLAB REINFORCEMENT.

7 TYPICAL ROOF ANCHOR
SCALE: 3/4" = 1'-0"



- NOTES:
- A. ALL NEW CONDITIONS SHALL BE COORDINATED WITH ARCHITECTURAL DRAWINGS FOR DIMENSIONS, LOCATIONS AND ELEVATIONS.
 - B. ALL EXISTING CONDITIONS SHALL BE FIELD VERIFIED AND ALL DISCREPANCIES SHALL BE REPORTED TO THE AOR/EOR PRIOR TO FABRICATION/CONSTRUCTION.

ARCHITECT/ENGINEER OF RECORD:
URBANWORKS
ARCHITECT - BUILDING ENVELOPE:
BAUER LATOZA STUDIO
CIVIL ENGINEER:
D'ESCOTO
LANDSCAPE ARCHITECT:
ACCENT URBAN DESIGN
STRUCTURAL ENGINEER:
RUBINOS & MESIA ENGINEERS, INC
M/E/P ENGINEER:
PRIMERA ENGINEERING

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ISSUANCE

| # | DESCRIPTION | DATE |
|---|--|------------|
| 1 | ISSUED FOR DESIGN DEVELOPMENT | 2020.05.01 |
| 2 | ISSUED FOR 60% CD | 2020.07.21 |
| 3 | ISSUED FOR 90% CD | 2020.09.11 |
| 4 | ISSUED FOR 100% CD / ISSUED FOR PERMIT | 2021.12.16 |
| 5 | ISSUED FOR CHA PROCUREMENT | 2021.01.22 |
| 6 | ISSUED FOR BID AND PERMIT PHASE A* | 2021.02.24 |

CHA CONTRACT NO. 12015-054AD
TITLE
CONCRETE DETAILS
SHEET
S3.01



PLUMBING LEGEND

| PIPING SYSTEMS | | SYMBOLS | |
|-----------------------------------|---------------------------------------|---------|--|
| UNDERGROUND PIPING SYSTEMS | | | |
| — SAN — | SANITARY DRAIN PIPE | — | ELBOW DOWN |
| — ST — | STORM DRAIN PIPE | — | ELBOW UP |
| — | SANITARY VENT PIPE | — | TEE DOWN |
| — GW — | FOOD SERVICE GREASE WASTE PIPE | — | TEE UP |
| — AW — | LABORATORY ACID WASTE PIPE | — | RPE CONNECTION (TOP UNION) |
| — | DRAIN/LEAK/SUBSURFACE DRAIN PIPE | — | FIXTURE TRAP |
| SUSPENDED PIPING SYSTEMS | | | |
| — | DOMESTIC COLD WATER PIPE | — | CHECK VALVE |
| — NPW — | NON-POTABLE WATER PIPE | — | BALANCING VALVE |
| — | DOMESTIC HOT WATER PIPE | — | HWR BALANCING VALVE ASSEMBLY |
| — | DOMESTIC HOT WATER RECIRCULATING PIPE | — | SHUT-OFF ISOLATION VALVE |
| — SAN — | SANITARY DRAIN PIPE | — | LAB OUTLET/TURRET (DOUBLE) |
| — AW — | LABORATORY ACID WASTE PIPE | — | LAB OUTLET/TURRET (QUAD) |
| — ST — | STORM DRAIN PIPE | — | WALL SLEEVE |
| — OST — | OVERFLOW STORM DRAIN PIPE | — | UNION |
| — | SANITARY VENT PIPE | — | NR VENT |
| — PSAN — | PUMPED/PRESSURE SANITARY PIPE | — | FLOOR CLEANOUT |
| — PST — | PUMPED/PRESSURE STORM PIPE | — | RUG/WALL CLEANOUT |
| — AV — | LABORATORY ACID VENT PIPE | — | RPE CAP |
| —X—X—X—X—X—X—X—X—X—X— | PIPING TO BE REMOVED | — | STRAINER |
| — DIS — | DEIONIZED WATER SUPPLY PIPE | — | THERMOMETER |
| — DIR — | DEIONIZED WATER RETURN PIPE | — | PRESSURE GAUGE |
| — G — | NATURAL GAS PIPE (TWC) | — | HOSE BBS/WALL HYDRANT |
| ABBREVIATIONS | | | |
| AFB | ABOVE FINISHED FLOOR | NPWF | NON-FREEZE WALL HYDRANT |
| (A) | ABANDON IN PLACE | NC | NOT IN CONTRACT |
| ARCH | ARCHITECTURAL | NPW | NON-POTABLE WATER |
| BF | BELOW FLOOR | NTS | NOT TO SCALE |
| BTHU | BRITISH THERMAL UNIT/SHOUR | OD | OVERFLOW ROOF DRAIN |
| C | CAST IRON | OSD | OPEN SITE DRAIN |
| CL | CENTER LINE | OST | OVERFLOW STORM DRAIN |
| CLG | CILING | PH | PHASE (ELECTRICAL) |
| CO | CLEANOUT | POC | POINT-OF-CONNECTION |
| CW | COLD WATER | P&TRV | PRESSURE & TEMPERATURE RELIEF VALVE |
| DCVA | DOUBLE CHECK VALVE ASSEMBLY | PSAN | PUMPED/PRESSURE SANITARY |
| DCV | DUAL CHECK VALVE | PST | PUMPED/PRESSURE STORM |
| DFU | DRAIN FIXTURE UNITS | PRV | PRESSURE REGULATING VALVE |
| DH | DRENCH HOSE | (R) | REMOVED/DEMOLISH |
| DN | DOWN | RD | ROOF DRAIN |
| DWG | DRAWING | RM | ROOM |
| (E) | EXISTING TO REMAIN | RPZ | REDUCED-PRESSURE ZONE BACKFLOW PREVENTER |
| EES | EMERGENCY EYEWASH/SHOWER | S | SINK |
| EW | EMERGENCY EYEWASH | SAN | SANITARY |
| ET | EXPANSION TANK | SE | SEWAGE EJECTOR |
| EWIC | ELECTRIC WATER COOLER | SOV | SHUT-OFF VALVE |
| °F | DEGREES FAHRENHEIT | SP | SUMP PUMP |
| FLR | FLOOR | SCFM | STANDARD CUBIC FEET/MINUTE |
| FCD | FLOOR CLEANOUT | ST | STORM |
| FD | FLOOR DRAIN | SqFt | SQUARE FEET |
| FPS | FEET PER SECOND | TMV | THERMOSTATIC MIXING VALVE |
| GCO | GRADE CLEANOUT | TGB | TRIPLE OIL BASIN |
| GPM | GALLONS PER MINUTE | TYP | TYPICAL |
| GPF | GALLONS PER FLUSH | UNO | UNLESS OTHERWISE NOTED |
| GI | GREASE INTERCEPTOR | VAC | VACUUM |
| GS | GREASE SEPARATOR | V | VENT |
| HD | HUB DRAIN | VB | VACUUM BREAKER |
| HW | HOT WATER | VTR | VENT THROUGH ROOF |
| HWR | HOT WATER RECIRCULATING | WCO | WALL CLEANOUT |
| E | INVERT ELEVATION | WHA | WATER HAMMER ARRESTER |
| W | INDIRECT WASTE | WH | WATER HEATER |
| L | LAVATORY | WC | WATER CLOSET |
| MFR | MANUFACTURER | | |
| MS | MOP SINK | | |
| RISER DIAGRAM SYMBOLS | | | |
| FS | FLOOR SINK | FD | FLOOR DRAIN |
| OSD | OPEN SITE DRAIN | FCD | FLOOR CLEANOUT |
| FDO | FLOOR CLEANOUT | WCO | WALL CLEANOUT |
| WCO | WALL CLEANOUT | 9\"/> | |
| | | WV | WYE COMBINATION FITTING WITH CLEANOUT PLUG |
| | | V | VENT-THRU ROOF |
| | | X | TYPICAL |
| | | X | FIXTURE AIR CHAMBER |
| REFERENCE SYMBOLS | | | |
| (XX) | SHEET/DRAWING NOTES | (XX) | EQUIPMENT IDENTIFICATION |
| (XX) | DETAIL NUMBER | (XX) | DRAWING SHEET NUMBER |

PLUMBING DEMO NOTES

- CONTRACTOR MUST SECURE ALL PERMITS AND PAY ALL INSPECTION AND LICENSING FEES NECESSARY FOR THE PERFORMANCE OF THE DEMOLITION WORK REQUIRED.
- CONTRACTOR MUST COMPLY WITH ALL STATE PLUMBING CODE, COUNTY, AND CITY RULES, REGULATIONS, AND ORDINANCES HAVING JURISDICTION OVER THE DEMOLITION WORK REQUIRED.
- DEMOLITION INFORMATION SHOWN ON THE CONTRACT DOCUMENTS IS BASED ON NON-DESTRUCTIVE SURVEYS/OF EXISTING CONDITIONS PERFORMED BY THE DESIGN TEAM WITH LIMITED-TO-REASONABLE BUILDING ACCESS DURING THE DESIGN PHASE. THE CONTRACTOR MUST VISIT THE SITE AND CONFIRM EXISTING CONDITIONS PRIOR TO SUBMITTING A BID. THE CONTRACTOR MUST NOTIFY THE ARCHITECT AND/OR ENGINEER OF ANY DISCREPANCIES BETWEEN THE PLANS AND ACTUAL FIELD CONDITIONS.
- CONTRACTOR MUST PERFORM ALL DEMOLITION WORK NECESSARY TO PROVIDE A COMPLETE EXECUTION OF THE DEMOLITION SCOPE, INCLUDING ANCILLARY WORK SPECIFIC TO SYSTEMS, COMPONENTS AND EQUIPMENT DEMOLISHED. THE EXACT EXTENT OF THE DEMOLITION WORK MAY NOT BE FULLY INDICATED BY THE CONTRACT DOCUMENTS. CONTRACTOR MUST CONFIRM THE NATURE AND EXTENT OF DEMOLITION WORK THAT WILL BE NECESSARY BY COMPARING THE CONTRACT DOCUMENTS WITH EXISTING FIELD CONDITIONS PRIOR TO BIDDING.
- CONTRACTOR MUST CONFIRM EXACT PIPE LOCATIONS, SIZES AND FIXTURE LOCATIONS IN FIELD, AND PROVIDE DEMOLITION AS REQUIRED.
- DEMOLISHED MATERIALS AND EQUIPMENT NOT BEING SALVAGED OR REUSED, SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND REMOVED FROM THE SITE AND PROPERLY DISPOSED OF IN COMPLIANCE WITH ASSOCIATED LOCAL AND ENVIRONMENTAL REGULATIONS. ALL ITEMS BEING SALVAGED MUST BE DELIVERED TO AN AREA DESIGNATED BY THE OWNER AND ARCHITECT FOR SUCH ITEMS.
- PLUMBING DEMOLITION WORK MUST INCLUDE PIPING, EQUIPMENT, VALVES & ACCESSORIES IN SERVICE OF HVAC EQUIPMENT BEING REMOVED.
- ALL WORK MUST BE SCHEDULED AND PHASED TO ELIMINATE DISRUPTION OF BUILDING OPERATIONS TO THE GREATEST EXTENT POSSIBLE. PROVIDE PIPE CAPS AND CONNECTIONS AS REQUIRED TO MAINTAIN OPERATION OF EXISTING SYSTEMS. DISRUPTION OF EXISTING BUILDING SERVICES MUST BE COORDINATED WITH THE BUILDING OWNERS REPRESENTATIVE, AND MUST OCCUR AT SUCH A TIME AS IS CONVENIENT FOR THE OWNER.
- REFER TO ARCHITECTURAL DRAWINGS FOR ADDITIONAL DEMOLITION AND FINISHING REQUIREMENTS.
- WHERE EXISTING FIXTURES ARE INDICATED TO BE DEMOLISHED, THIS SHALL INCLUDE ASSOCIATED PIPING, CARRIERS, SUPPORTS, SLEEVES, HANGERS, FITTINGS AND OTHER ACCESSORIES. PIPING MUST BE REMOVED TO A LOCATION ABOVE CEILING AND/OR BEHIND WALLS AND CAPPED. NO INACTIVE BRANCH OF MORE THAN 2 FEET IN LENGTH CAN REMAIN ON ANY PIPE. (CONTRACTOR MUST REMOVE AS REQUIRED). IN ADDITION, DISCONNECT BRANCH PIPING FROM MAINS WHERE ABANDONING IN PLACE.
- WHERE DEMOLITION OF FIXTURE AND REMOVAL OF PIPING OR OTHER ACCESSORY LEAVES AN OPENING IN THE FLOOR, WALL OR CEILING, THE SAME MUST BE PATCHED TO MATCH EXISTING BUILDING SURFACE(S).
- CONTRACTOR MUST CONDUCT ALL DEMOLITION WORK IN SUCH A MANNER AS TO AVOID CAUSING DISRUPTION TO NORMAL BUILDING OPERATIONS. CONTRACTOR MUST TAKE ALL NECESSARY PRECAUTIONS TO CONTROL DUST, NOISE AND ODOUR MIGRATION INTO EXISTING BUILDING AREAS ADJACENT TO THE RENOVATION AREA.
- CONTRACTOR MUST PROVIDE PROTECTION FOR ALL BUILDING OCCUPANTS FROM THE CONSTRUCTION AREA AT ALL TIMES THROUGHOUT THE COURSE OF THE PROJECT.
- CONTRACTOR MUST PROTECT ALL EXISTING BUILDING COMPONENTS FROM DAMAGE AT ALL TIMES. DAMAGE TO EXISTING BUILDING COMPONENTS RESULTING FROM DEMOLITION OR CONSTRUCTION WORK BEING PERFORMED MUST BE REMEDIATED AT THE CONTRACTORS EXPENSE.

PLUMBING GENERAL NOTES

- GENERAL NOTES INDICATED ON THE CONTRACT DOCUMENTS AND SPECIFICATIONS SHALL BE CONSIDERED AS PART OF THE CONTRACT.
- PROVIDE ALL LABOR AND MATERIALS, EQUIPMENT, FACILITIES, TRANSPORTATION AND SERVICES NECESSARY TO FURNISH, INSTALL AND COMPLETE THE SCOPE OF WORK AS INDICATED ON THE CONTRACT DOCUMENTS AND SPECIFICATIONS. THE WORKMANSHIP SHALL BE COMPLETE IN EVERY RESPECT, BE TESTED AND APPROVED, AND BE SATISFACTORY TO THE ARCHITECT, ENGINEER AND OWNER, AND IN ACCORDANCE WITH LOCAL COUNTY AND STATE LAWS GOVERNING THIS INSTALLATION, INCLUDING THE FIRE MARSHAL.
- CONTRACTOR SHALL VERIFY LOCATIONS, SIZES, POC'S, INVERT ELEVATIONS, CONDITION AND AVAILABILITY OF EXISTING UTILITIES PRIOR TO INSTALLATION OF ANY MATERIAL OR EQUIPMENT. CONTRACTOR SHALL NOTIFY THE ARCHITECT AND/OR ENGINEER OF ANY SUBSEQUENT CONDITION(S) THAT MAY PROHIBIT THE PROPER INSTALLATION OR CONNECTIONS REQUIRED TO PERFORM THE NECESSARY SCOPE OF WORK.
- CONTRACTOR SHALL SECURE ALL PERMITS AND PAY ALL LICENSING AND INSPECTION FEES REQUIRED FOR PERFORMANCE OF THE WORK INDICATED ON THE CONTRACT DOCUMENTS AND SPECIFICATIONS.
- CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE STATE AND LOCAL PLUMBING CODES, COUNTY AND CITY RULES, REGULATIONS, ORDINANCES AND LOCAL AMENDMENTS HAVING JURISDICTION OVER THE WORK TO BE PERFORMED ON THE CONTRACT DOCUMENTS AND SPECIFICATIONS.
- CONTRACTOR IS RESPONSIBLE FOR THE EXECUTION OF THIS WORK AND SHALL BECOME THOROUGHLY FAMILIAR WITH THE PROJECT SPECIFICATIONS BEFORE PERFORMING ANY WORK. THE PROJECT SPECIFICATIONS AND DRAWINGS FORM THE BASIS OF THE CONTRACT REQUIREMENTS, AND INCLUDE THE TYPE AND GRADE OF MATERIALS TO BE INSTALLED, EQUIPMENT TO BE FURNISHED, THE MANNER BY WHICH TO BE INSTALLED, AND WHERE LOCATED.
- THESE DRAWINGS ARE DIAGRAMMATIC IN NATURE AND MAY NOT SHOW EXACT ROUTINGS OR REQUIRED OFFSETS, ACCESSORIES OR APPURTENANCES. CONTRACTOR SHALL PERFORM ALL WORK THAT MAY BE REQUIRED OR NECESSARY FOR A FULL AND COMPLETE EXECUTION OF THE WORK, INCLUDING ANCILLARY WORK SPECIFIC TO ITEMS SPECIFIED. CONTRACTOR SHALL VERIFY THE NATURE AND EXTENT OF WORK THAT WILL BE NECESSARY BY COMPARING THE CONTRACT DOCUMENTS WITH EXISTING FIELD CONDITIONS PRIOR TO BIDDING. CONTRACTOR SHALL PROVIDE ALL ITEMS AS REQUIRED TO INSTALL COMPLETE AND FULLY FUNCTIONAL SYSTEMS, FIXTURES AND EQUIPMENT, INCLUDING ANY ADDITIONAL ITEMS REQUIRED TO MEET ACTUAL FIELD CONDITIONS AND ACTUAL EQUIPMENT SELECTED.
- CONTRACTOR SHALL PROVIDE A WRITTEN "REQUEST FOR INFORMATION" TO THE ARCHITECT AND/OR ENGINEER TO ALLOW FOR CLARIFICATION OF ANY INCONSISTENCIES THAT MAY APPEAR ON THE CONTRACT DOCUMENTS AND SPECIFICATIONS.
- CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER TRADES, AND PERFORM ANY NECESSARY MODIFICATIONS TO HIS WORK TO ALLOW FOR SUCH COORDINATION AT NO ADDITIONAL COST, INCLUDING ALL OFFSETS.
- CONTRACTOR SHALL FOLLOW SPECIFIC PIPE ROUTINGS AS INDICATED ON THE CONTRACT DOCUMENTS AS CLOSELY AS POSSIBLE.
- REFER TO ARCHITECTURAL PLANS, ELEVATIONS AND DETAILS FOR EXACT LOCATION OF PLUMBING FIXTURES AND LOCATIONS OF ADA FIXTURES.
- CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIAL IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS.
- CONTRACTOR SHALL SUBMIT SCALED LAYOUT DRAWINGS (SHOP DRAWINGS) OF PIPE AND FITTINGS INCLUDING (BUT NOT LIMITED TO) PIPE SIZES, LOCATIONS, ELEVATIONS AND SLOPES OF HORIZONTAL RUNS, WALL AND FLOOR PENETRATIONS AND CONNECTIONS. IN ADDITION, SHOP DRAWINGS SHALL INDICATE THE INTERFACE AND SPATIAL RELATIONSHIPS BETWEEN PIPING AND APPROXIMATE EQUIPMENT.
- CONTRACTOR SHALL ISSUE PRODUCT SUBMITTALS TO THE AE TEAM FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION. ANY MODIFICATIONS TO WORK THAT WAS PERFORMED BY THE CONTRACTOR PRIOR TO SUBMITTAL REVIEW AND APPROVAL SHALL BE DONE AT THE CONTRACTORS EXPENSE.
- NO EQUIPMENT OR DEVICE REQUIRING REGULAR ACCESS, MAINTENANCE OR TESTING SHALL BE INSTALLED IN AN INACCESSIBLE CEILING OR CAVITY. LOCATE SUCH ITEMS ABOVE ACOUSTIC TILE CEILING WHEREVER POSSIBLE. IF ANY SUCH ITEMS ARE REQUIRED TO BE INSTALLED ABOVE DRYWALL CEILING, PROVIDE ACCESS PANEL(S) SIZED AND LOCATED AS REQUIRED TO PROVIDE SUFFICIENT ACCESS FOR EQUIPMENT SERVICE AND/OR TESTING. SUBMIT LAYOUT OF ALL REQUIRED ACCESS PANELS FOR ARCHITECT'S REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- CONTRACTOR SHALL PROVIDE AND INSTALL SLEEVES A MINIMUM OF ONE PIPE SIZE LARGER (UNLESS OTHERWISE NOTED) FOR ALL PIPING PENETRATING WALLS, SHIFTS, MASONRY WALLS, BEAMS, ETC.
- CONTRACTOR SHALL PROVIDE FIRESTOPPING AROUND ALL WALL AND FLOOR PENETRATIONS AS REQUIRED TO MAINTAIN THE RATING OF WALLS AND FLOORS. ALL HOLES THROUGH FLOORS SHALL BE CALKED AND SEALED AIR AND WATERTIGHT TO RESTRICT THE PASSAGE OF SMOKE, SOUND OR FLAMES. IN ADDITION, ALL LIQUIDS, MASTICS, CAULKS, ADHESIVES & OTHER CHEMICALS INCLUDING FIRE CALK OR INTUMESCENT FOAMS SHALL BE COMPATIBLE WITH ALL TYPES OF THERMOPLASTIC PIPE & PROPRIETARY MATERIALS WITH WHICH THEY MAY COME INTO CONTACT.
- NO PIPING SHALL BE INSTALLED ABOVE, THRU OR INSIDE ANY ELECTRICAL PANEL ROOMS, TRANSFORMER ROOMS OR ELEVATOR EQUIPMENT ROOMS/SHIFTS.
- ALL PIPING SYSTEMS SHALL BE LABELED BY COLOR MARKING OR METAL TAGS AS REQUIRED BY THE PROJECT SPECIFICATIONS.
- CONTRACTOR SHALL PROVIDE, AND ROUTE INDIRECT DRAIN PIPING FROM PLUMBING FIXTURES & EQUIPMENT TO FLOOR RECEPTORS AS REQUIRED. INDIRECT DRAIN PIPING SHALL TERMINATE OVER FLOOR RECEPTOR(S) WITH CODE APPROVED AIR GAP(S). CONTRACTOR SHALL ALSO PROVIDE A MINIMUM OF 1" THICK INSULATION (WITH APPROVED SANITARY BARRIER WRAP AS REQUIRED IN FOOD SERVICE OR "CLEAN" AREAS) FOR CONDENSATE AND/OR REFRIGERATED WASTE PIPING DISCHARGING INTO FLOOR RECEPTORS TO PREVENT SWEATING (I.E. ALL INDIRECT DRAIN PIPING CONTAINING LIQUID TEMPERATURES LOWER THAN 60°F).



VIVIAN GORDON HARSH APARTMENTS RENOVATION

4227 S OAKENWALD AVENUE, CHICAGO, IL 60653

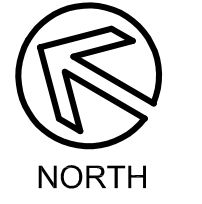
Application #: 100902815

ARCHITECT/ENGINEER OF RECORD:
URBANWORKS
 ARCHITECT - BUILDING ENVELOPE:
BAUER LATOZA STUDIO
 CIVIL ENGINEER:
D'ESCOTO
 LANDSCAPE ARCHITECT:
ACCENT URBAN DESIGN
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RUBINOS & MESIA
ENGINEERS, INC
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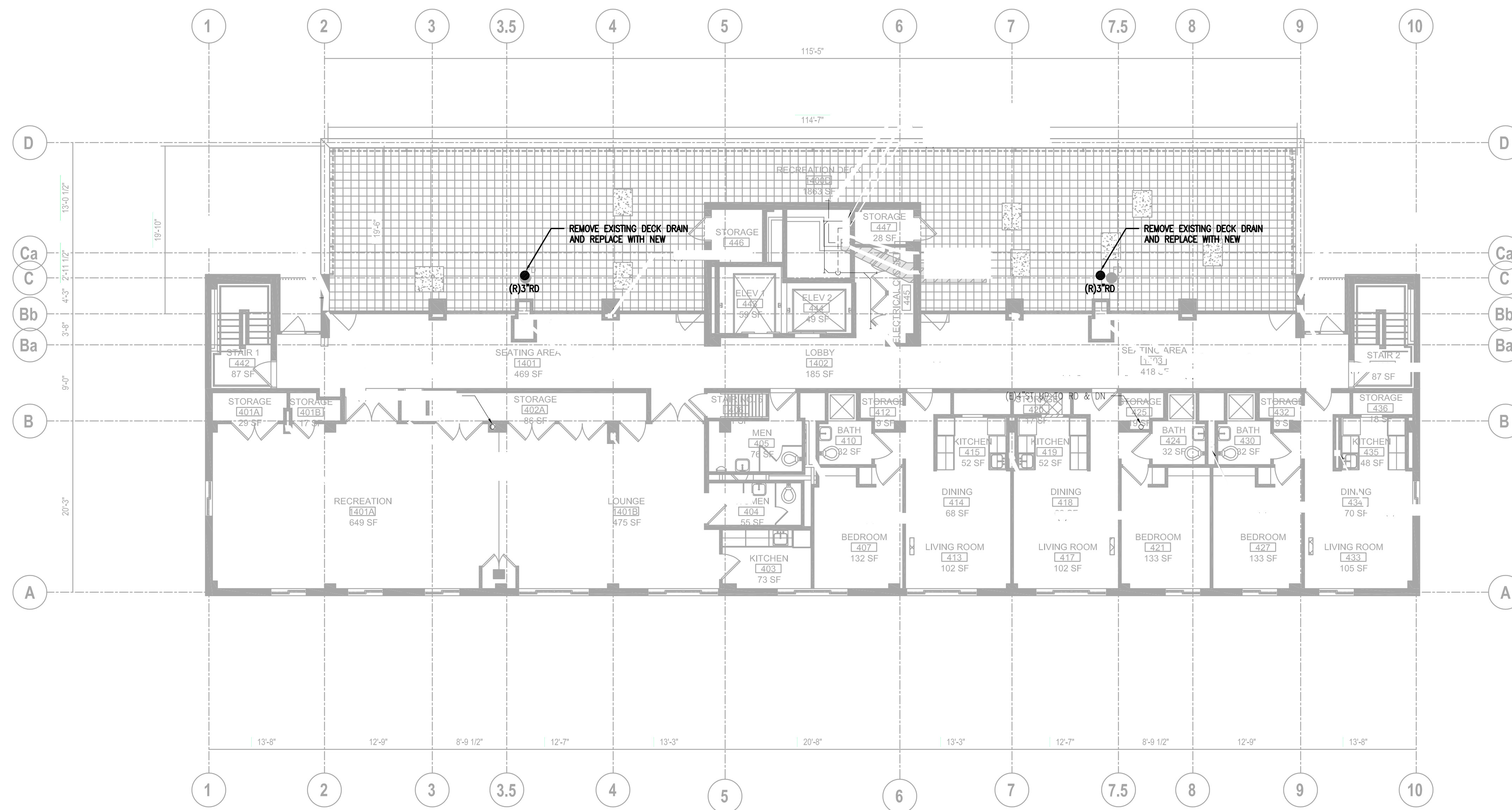
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| # | DESCRIPTION | DATE |
|---|-----------------------------------|------------|
| | ISSUED FOR SCHEMATIC DESIGN | 2020.03.06 |
| | ISSUED FOR DESIGN DEVELOPMENT | 2020.05.01 |
| | ISSUED FOR REV. CD | 2020.05.21 |
| | ISSUED FOR REV. CD | 2020.08.11 |
| | ISSUED FOR 10% CD | 2020.12.18 |
| | ISSUED FOR PROCUREMENT | 2021.01.22 |
| | ISSUED FOR BID AND PERMIT PHASE X | 2021.02.24 |

CHA CONTRACT NO: 12015-054AD
 TITLE
PLUMBING SYMBOLS, ABBREV. AND GENERAL NOTES (PHASE A)



SHEET
P0.00 'A'



1 LEVEL 14 - DEMOLITION
SCALE: 1/8" = 1'-0"



**VIVIAN GORDON HARSH
APARTMENTS RENOVATION**

4227 S OAKENWALD AVENUE, CHICAGO, IL 60653

Application #: 100902815

ARCHITECT/ENGINEER OF RECORD:
URBANWORKS
ARCHITECT - BUILDING ENVELOPE:
BAUER LATOZA STUDIO
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| | ISSUED FOR DESIGN DEVELOPMENT | 2020.06.01 |
| | ISSUED FOR 90% CD | 2020.07.21 |
| | ISSUED FOR 100% CD | 2020.08.11 |
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| | ISSUED FOR PROCUREMENT | 2021.01.22 |
| | ISSUED FOR BID AND PERMIT PHASE X | 2021.02.24 |

CHA CONTRACT NO. 12015-054AD

TITLE
**PLUMBING LEVEL 14
FLOOR DEMO PLAN
(PHASE A)**

SHEET
PD1.03 'A'





VIVIAN GORDON HARSH APARTMENTS RENOVATION

4227 S OAKENWALD AVENUE, CHICAGO, IL 60653

Application #: 100902815

ARCHITECT/ENGINEER OF RECORD:
URBANWORKS
 ARCHITECT - BUILDING ENVELOPE:
BAUER LATOZA STUDIO
 CIVIL ENGINEER:
D'ESCOTO
 LANDSCAPE ARCHITECT:
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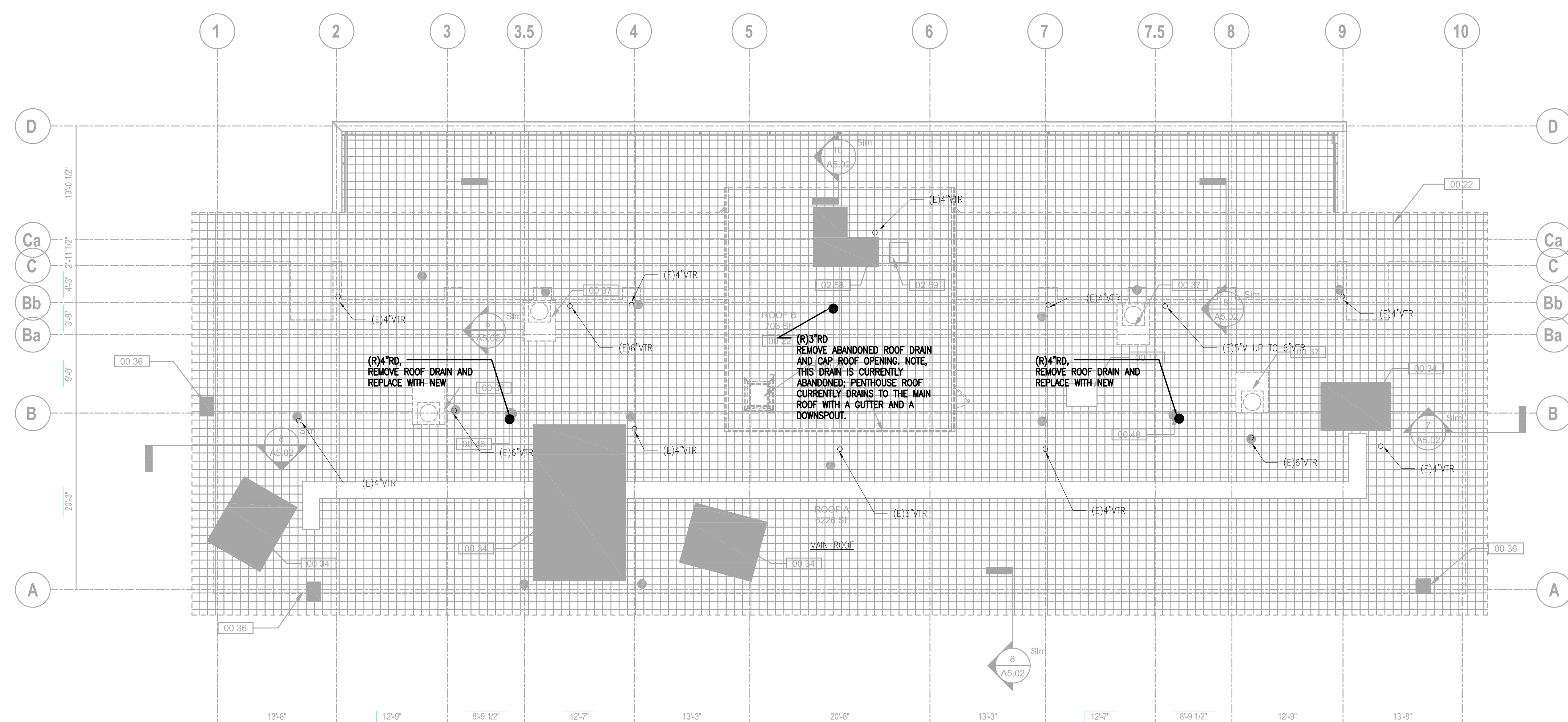
| # | DESCRIPTION | DATE |
|---|---------------------------------------|------------|
| | ISSUED FOR SCHEMATIC DESIGN | 2009.06 |
| | ISSUED FOR DESIGN DEVELOPMENT | 2009.09 |
| | ISSUED FOR 10% CD | 2009.11 |
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| | ISSUED FOR BID AND PERMIT PHASE 'X' | 2011.02.24 |

CHA CONTRACT NO. 12015-054AD

TITLE
PLUMBING ROOF DEMO PLANS (PHASE A)

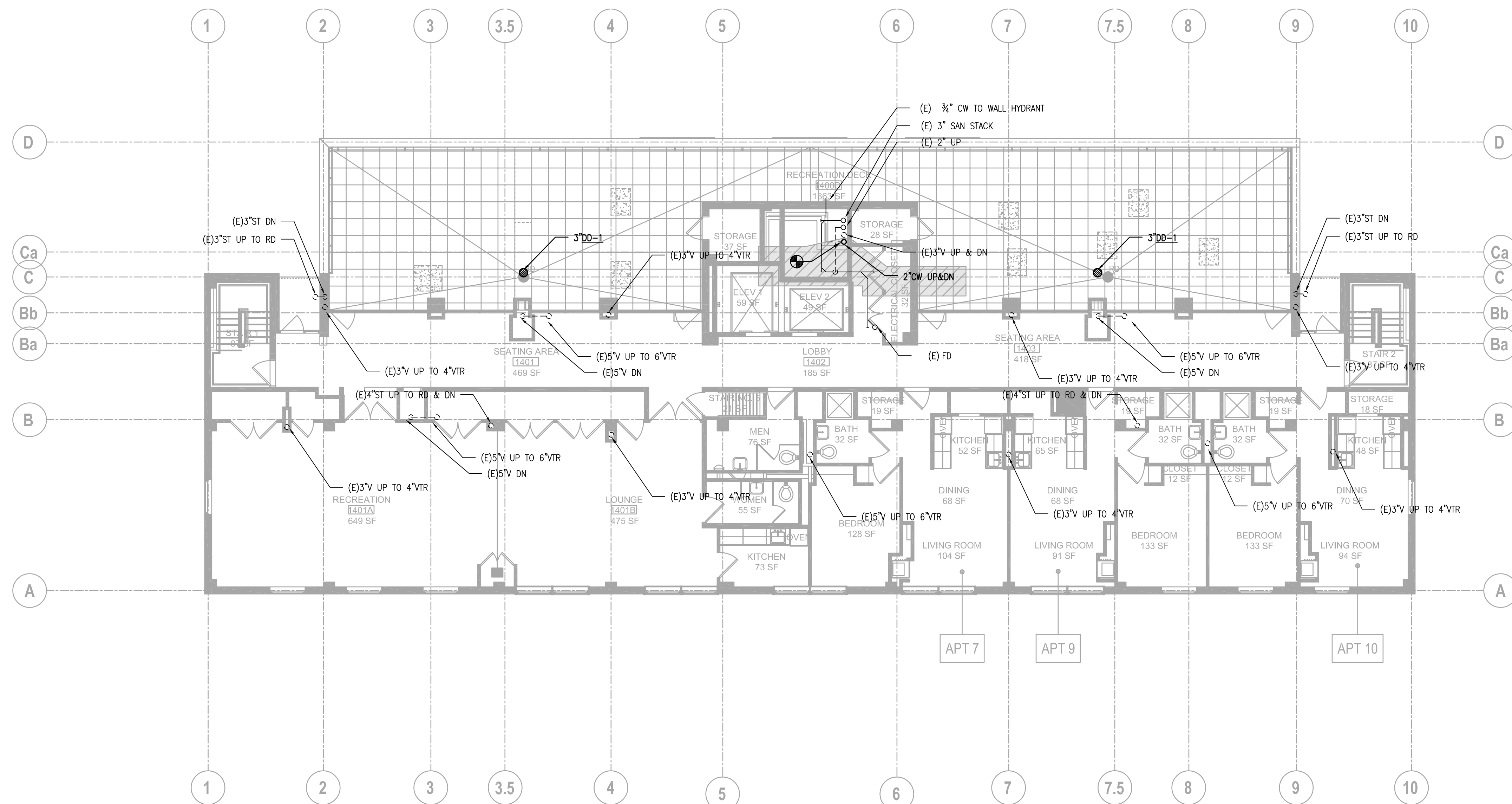
SHEET
PD1.04 'A'

N.I.C. AREA TO BE FOUND UNDER A SEPARATE CONTRACT



4 ROOF PLAN - DEMOLITION
 SCALE: 1/8" = 1'-0"





1 LEVEL 14 - NEW CONSTRUCTION
SCALE: 1/8" = 1'-0"

 N.I.C. AREA TO BE FOUND UNDER A SEPARATE CONTRACT



VIVIAN GORDON HARSH APARTMENTS RENOVATION

4227 S OAKENWALD AVENUE, CHICAGO, IL 60653

Application #: 100902815

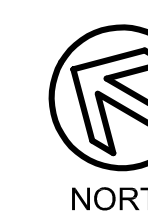
ARCHITECT/ENGINEER OF RECORD:
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| | ISSUED FOR SCHEMATIC DESIGN | 2020.03.06 |
| | ISSUED FOR DESIGN DEVELOPMENT | 2020.06.01 |
| | ISSUED FOR 40% CD | 2020.07.21 |
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| | ISSUED FOR PROCUREMENT | 2021.01.22 |
| | ISSUED FOR BID AND PERMIT PHASE X | 2021.02.24 |

CHA CONTRACT NO: 12015-054AD
TITLE
PLUMBING LEVEL 14 FLOOR PLAN - NEW WORK (PHASE A)

SHEET
P2.03 'A'





VIVIAN GORDON HARSH APARTMENTS RENOVATION

4227 S OAKENWALD AVENUE, CHICAGO, IL 60653

Application #: 100902815

ARCHITECT/ENGINEER OF RECORD:
URBANWORKS
 ARCHITECT - BUILDING ENVELOPE:
BAUER LATOZA STUDIO
 CIVIL ENGINEER:
D'ESCOTO
 LANDSCAPE ARCHITECT:
ACCENT URBAN DESIGN
 STRUCTURAL ENGINEER:
RUBINOS & MESIA
ENGINEERS, INC
 M/E/P ENGINEER:
PRIMERA ENGINEERING

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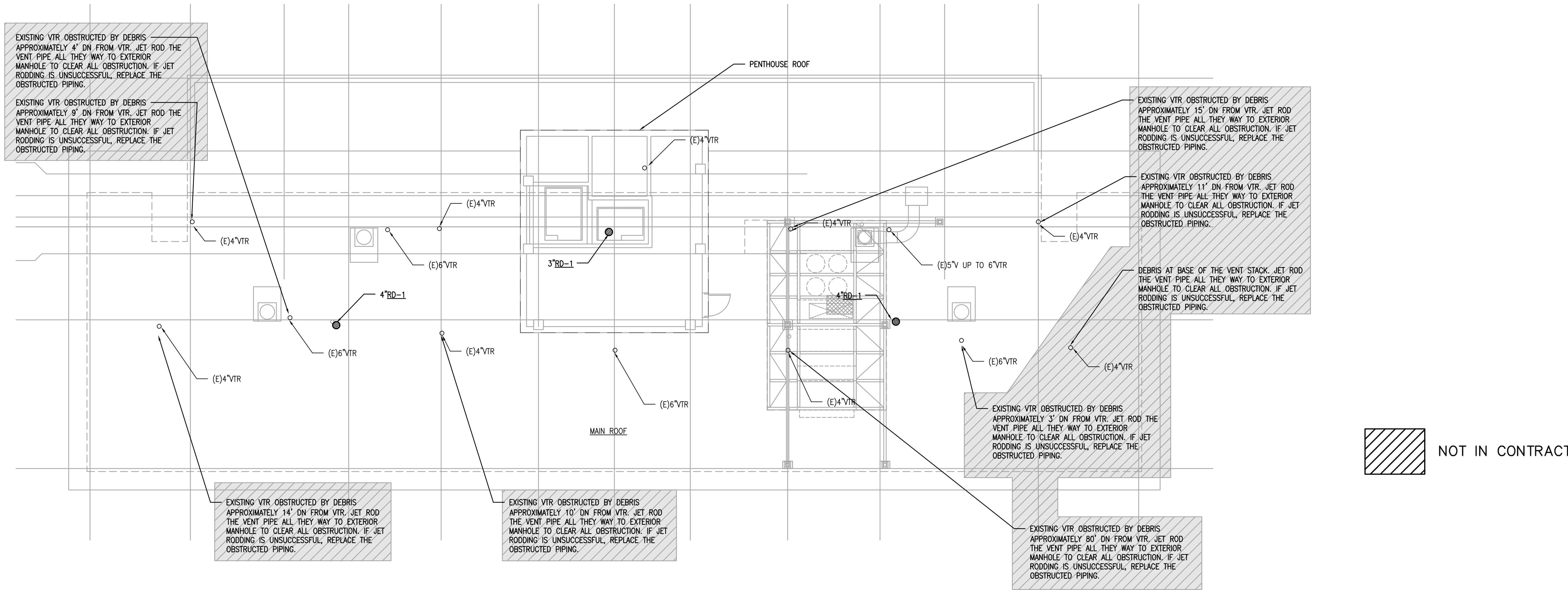
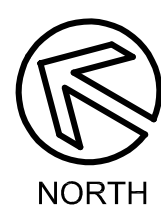
| ISSUANCE | | |
|----------|---------------------------------------|------------|
| # | DESCRIPTION | DATE |
| 1 | ISSUED FOR SCHEMATIC DESIGN | 2020.03.06 |
| 2 | ISSUED FOR DESIGN DEVELOPMENT | 2020.05.01 |
| 3 | ISSUED FOR PERM. CD | 2020.05.21 |
| 4 | ISSUED FOR PERM. CD | 2020.06.11 |
| 5 | ISSUED FOR 10% CD / ISSUED FOR PERMIT | 2020.02.18 |
| 6 | ISSUED FOR PROCUREMENT | 2021.01.22 |
| 7 | ISSUED FOR BID AND PERMIT PHASE X | 2021.02.24 |

CHA CONTRACT NO: 12015-054AD

TITLE
PLUMBING ROOF PLAN - NEW WORK (PHASE A)

SHEET

P2.04 'A'



4 ROOF PLAN - NEW CONSTRUCTION
 SCALE: 1/8" = 1'-0"



PLUMBING FIXTURE SCHEDULE

| PLBG SYMBOL | QTY (confirm with other sheets) | FIXTURE | | VALVE/FAUCET/TRIM | | TRAP | SUPPLIES | FLOW CONTROL | ADDITIONAL REQUIREMENTS & NOTES |
|-------------|---------------------------------|--------------------------------------|-----------|-------------------|-----------|------|----------|--------------|---------------------------------|
| | | TYPE | MFR/MODEL | TYPE | MFR/MODEL | | | | |
| KS-1 | 1 | SELF-DRINKING STAINLESS STEEL 30\"/> | | | | | | | |



VIVIAN GORDON HARSH APARTMENTS RENOVATION
4227 S OAKENWALD AVENUE, CHICAGO, IL 60653

Application #: 100902815
 ARCHITECT/ENGINEER OF RECORD: URBANWORKS
 ARCHITECT - BUILDING ENVELOPE: BAUER LATOZA STUDIO
 CIVIL ENGINEER: D'ESCOTO
 LANDSCAPE ARCHITECT: ACCENT URBAN DESIGN
 STRUCTURAL ENGINEER: RUBINOS & MESIA ENGINEERS, INC
 M/E/P ENGINEER: PRIMERA ENGINEERING

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| | ISSUED FOR SCHEMATIC DESIGN | 2020.03.06 |
| | ISSUED FOR DESIGN DEVELOPMENT | 2020.06.01 |
| | ISSUED FOR 40% CD | 2020.07.21 |
| | ISSUED FOR 60% CD | 2020.08.11 |
| | ISSUED FOR 100% CD / ISSUED FOR PERMIT | 2020.12.18 |
| | ISSUED FOR PROCUREMENT | 2021.01.22 |
| | ISSUED FOR BID AND PERMIT PHASE X | 2021.02.24 |

CHA CONTRACT NO: 12015-054AD
 TITLE
PLUMBING SCHEDULES (PHASE A)

SHEET
P4.00 'A'

N.I.C. AREA TO BE FOUND UNDER A SEPARATE CONTRACT





GENERAL NOTES

- ALL ELECTRICAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE PROJECT SPECIFICATIONS AND ALL OTHER DRAWINGS RELATED TO THE PERFORMANCE OF THE WORK.
- THE CONTRACTOR RESPONSIBLE FOR THE EXECUTION OF THIS WORK SHALL BECOME THOROUGHLY FAMILIAR WITH THE PROJECT SPECIFICATIONS BEFORE COMMENCING ANY WORK. THE PROJECT SPECIFICATIONS AND DRAWINGS FORM THE BASIS OF THIS CONTRACT AND INCLUDE THE TYPE AND GRADE OF MATERIALS TO BE INSTALLED, EQUIPMENT TO BE FURNISHED, THE MANNER BY WHICH TO BE INSTALLED AND WHERE TO BE LOCATED. IN THE EVENT OF A CONFLICT BETWEEN THE PROJECT SPECIFICATIONS AND DRAWINGS, SPECIFICATIONS GOVERN UNLESS THE ARCHITECT/ENGINEER DIRECTS OTHERWISE.
- THE CONTRACTOR SHALL CHECK CAREFULLY ALL CONSTRUCTION DRAWINGS AND SPECIFICATIONS THAT ARE PART OF THIS PROJECT TO INSURE THAT NO FIXTURE, OUTLET, ALARM STATION OR CONTROL AND POWER WIRING IS OMITTED. HE SHALL COORDINATE WITH ALL TRADES FURNISHING EQUIPMENT AND OBTAIN FROM THEM ALL DATA. IN SOME CASES EQUIPMENT, FIXTURES AND DEVICES ARE SHOWN ONLY. ASCERTAIN AND PROVIDE THE WIRING AND CONTROL STATIONS REQUIRED FOR PROPER FUNCTION OF BUILDING EQUIPMENT.
- EQUIPMENT LABELS AND INSTRUCTIONS REGARDING THE APPLICATION AND INSTALLATION OF THE LISTED EQUIPMENT SHALL BE FOLLOWED TO INSURE THAT THE EQUIPMENT IS BEING INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S LISTING INSTRUCTIONS. THE TEMPERATURE RATING OF THE EQUIPMENT TERMINATIONS MUST BE CAREFULLY CORRELATED WITH THE CONDUCTOR AMPACITY TO PREVENT OVERHEATING AND PREMATURE FAILURE.
- COORDINATE WITH OTHER TRADES AND INSTALL CONDUIT AND BOXES TO CLEAR EMBEDDED DUCTS, OPENINGS AND OTHER STRUCTURAL FEATURES.
- CONDUIT RUNS SHOWN ON THE DRAWINGS ARE DIAGRAMMATIC. ALL CONDUITS SHALL RUN CONCEALED, EXCEPT IN EQUIPMENT ROOMS AND WHERE APPROVED BY THE ARCHITECT.
- FURNISH AND INSTALL EQUIPMENT DISCONNECT SWITCHES IN STRICT COMPLIANCE WITH CODE REQUIREMENTS.
- ALL OUTDOOR RECEPTACLES SHALL BE WEATHERPROOF, GFCI AND UL LISTED FOR WET LOCATIONS. PROVIDE WHILE IN USE COVER.
- CONTRACTOR SHALL COORDINATE EXACT LOCATIONS AND MOUNTING HEIGHTS OF ALL DEVICES WITH THE ARCHITECTURAL PLANS, INCLUDING BUT NOT LIMITED TO ARCHITECTURAL DETAILS, ELEVATIONS AND MILLWORK/CASEWORK DETAILS.
- NO WIRING SHALL BE DONE PRIOR TO THE CONTRACTOR'S REVIEW OF THE PROJECT EQUIPMENT SHOP DRAWINGS AND COORDINATION WITH THE DESIGN DOCUMENTS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ARCHITECT/ENGINEER ATTENTION FOR FINAL RESOLUTION. WORK THAT HAS TO BE REPLACED DUE TO LACK OF PROPER SHOP DRAWINGS COORDINATION SHALL BE DONE AT CONTRACTOR'S EXPENSE.
- MOTOR SIZES AND LOCATIONS SHOWN ON THE DRAWINGS ARE BASED ON INFORMATION OBTAINED DURING DESIGN. VERIFY THE ACTUAL LOCATIONS AND PROVIDE WIRING AND PROTECTION OF PROPER SIZES AS REQUIRED. WIRE MOTORS FOR PROPER DIRECTION OF ROTATION AND CHECK ROTATION AT START-UP.
- ALL BRANCH CIRCUIT FEEDERS SHALL BE PROVIDED WITH SEPARATE GROUNDING CONDUCTORS.
- ALL BRANCH CIRCUITS SHALL BE PROVIDED WITH DEDICATED NEUTRALS.
- UNLESS NOTED OTHERWISE, 15 AND 20 AMP 120 VOLT BRANCH CIRCUITS SHALL UTILIZE MINIMUM #12 AWG FOR CIRCUITS UP TO 75' IN LENGTH #10 AWG FOR CIRCUITS 75' TO 100' IN LENGTH, AND #8 AWG FOR CIRCUITS OVER 100' IN LENGTH. THE LENGTH OF THE CIRCUIT SHALL BE MEASURED FROM THE LAST DEVICE OR OUTLET ON THE CIRCUIT TO THE PANEL/SOURCE.

- ALL NEW CONDUIT SHALL BE CONCEALED IN FINISHED SPACES. SURFACE MOUNTED RACEWAY IS NOT PERMITTED IN FINISHED SPACES.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY POWER INCLUDING PROVISIONS FOR A TEMPORARY GENERATOR IN ORDER TO MAINTAIN POWER CONTINUITY FOR ANY WORK REQUIRING AN OUTAGE TO THE BUILDING. ALL OUTAGES SHALL BE CLEARLY COMMUNICATED TO CHA PRIOR TO WORK.
- ALL NEW OVERCURRENT PROTECTIVE DEVICES INSTALLED IN EXISTING PANELS SHALL BE FROM SAME MANUFACTURER, AND MATCH TYPE AND SHORT CIRCUIT RATING OF EXISTING DEVICES.
- PROVIDE DEDICATED NEUTRAL SIZED SAME AS PHASE CONDUCTOR FOR EACH 120V/1PH BRANCH CIRCUIT.

NOTE: NOT ALL SYMBOLS AND NOTES MAY BE APPLICABLE TO EACH PHASE

POWER SYMBOLS

| ABOVE COUNTER | WALL MOUNTED | POKE-THROUGH | FLOOR BOX | CEILING MOUNTED | SUBSCRIPT INDICATES THE FOLLOWING: |
|---------------|--------------|--------------|-----------|-----------------|---|
| | | | | | *AC MOUNTED 6\" ABOVE COUNTER |
| | | | | | *AV AUDIO/VISUAL COMPUTER GRADE |
| | | | | | *CR CHILD RESISTANT (SAFETY TYPE) |
| | | | | | *EM FED BY EMERGENCY CIRCUIT |
| | | | | | *EP EXPLOSION PROOF |
| | | | | | *EW ELECTRIC WATER COOLER |
| | | | | | *GF GROUND FAULT CIRCUIT INTERRUPTER |
| | | | | | *IG ISOLATED GROUND |
| | | | | | *P POWER CONNECTION |
| | | | | | *WP WATERPROOF COVER |
| | | | | | *# CIRCUIT NUMBER |
| | | | | | SIMPLEX RECEPTACLE |
| | | | | | DUPLEX RECEPTACLE |
| | | | | | DOUBLE DUPLEX RECEPTACLE |
| | | | | | DUPLEX ISOLATED GROUND RECEPTACLE |
| | | | | | DOUBLE DUPLEX ISOLATED GROUND RECEPTACLE |
| | | | | | SPECIAL PURPOSE RECEPTACLE - SEE SCHEDULE |
| | | | | | SPLIT WIRED DUPLEX RECEPTACLE |
| | | | | | JUNCTION BOX |
| | | | | | JUNCTION BOX WITH FLEXIBLE CONDUIT |

| | |
|---------------------------------------|--|
| | CLOCK RECEPTACLE |
| | LINE VOLTAGE THERMOSTAT |
| | MOTOR CONNECTION - SEE SCHEDULE |
| | ELECTRICAL EQUIPMENT CONNECTION - SEE SCHEDULE |
| | NON-FUSED DISCONNECT SWITCH |
| | FUSED DISCONNECT SWITCH |
| SUBSCRIPT(S) INDICATES THE FOLLOWING: | |
| *AS | AMPERE RATING OF SWITCH |
| *AF | AMPERE RATING OF FUSE |
| | MAGNETIC MOTOR STARTER |
| | COMBINATION STARTER/DISCONNECT SWITCH |
| | VARIABLE FREQUENCY DRIVE |
| | VARIABLE FREQUENCY DRIVE WITH INTEGRAL DISCONNECT SWITCH |
| | CONTROL PANEL FURNISHED WITH EQUIPMENT |
| | CONTROL PANEL FURNISHED WITH EQUIPMENT WITH INTEGRAL DISCONNECT SWITCH |
| | TOGGLE SWITCH |
| SUBSCRIPT(S) INDICATES THE FOLLOWING: | |
| *K | KEY OPERATED |
| *LO | LOCK-OUT |
| *P | PILDT LIGHT |
| *T | THERMAL OVERLOAD |
| *WP | WEATHERPROOF |
| *EP | EXPLOSION PROOF |
| *# | CIRCUIT NUMBER |
| *2P | DOUBLE POLE |
| | SURFACE MOUNTED RACEWAY |
| | INDICATES NUMBER OF RECEPTACLES IN RACEWAY |
| | INDICATES NUMBER OF DATA DEVICES IN RACEWAY |

PANELBOARD SYMBOLS

| RISER SYMBOL | PLAN SYMBOL | DESCRIPTION |
|--------------|-------------|---|
| | | SURFACE MOUNTED DISTRIBUTION PANELBOARD |
| | | SURFACE MOUNTED NORMAL BRANCH PANELBOARD |
| | | RECESSED MOUNTED NORMAL BRANCH PANELBOARD |

GENERAL SYMBOLS

| | |
|--|--|
| | KEYED NOTES |
| | EQUIPMENT IDENTIFICATION TAG |
| | REVISION TAG |
| | SECTION REFERENCE TOP DESIGNATES SECTION NUMBER BOTTOM DESIGNATES ON WHICH SHEET SECTION APPEARS |
| | DETAIL REFERENCE TOP DESIGNATES SECTION NUMBER BOTTOM DESIGNATES ON WHICH SHEET SECTION APPEARS |
| | END CAP |
| | LINE CONTINUE BREAK |

ABBREVIATIONS

| | | | |
|---------------------------------------|--|-------|------------------------------|
| A | AMPS | MCB | MAIN CIRCUIT BREAKER |
| AFF | ABOVE FINISHED FLOOR | MCC | MOTOR CONTROL CENTER |
| AIC | AMPERES INTERRUPTING CAPACITY | MDP | MAN. DISTRIBUTION FRAME |
| ATS | AUTOMATIC TRANSFER SWITCH | MCH | MECHANICAL |
| BAS | BUILDING AUTOMATION SYSTEM | MIN | MINIMUM |
| C | CONDUIT | MLO | MAN. LUG ONLY |
| CLG | CEILING MOUNT | MOP | MAN. OVERCURRENT PROTECTION |
| C/B | CIRCUIT BREAKER | N | NEUTRAL |
| CATV | CABLE TELEVISION | N/A | NOT APPLICABLE |
| CCI | CIRCUIT INTERRUPTER | NEC | NATIONAL ELECTRIC CODE |
| CCTV | CLOSED CIRCUIT TELEVISION | NIC | NOT IN CONTRACT |
| CP | CONTROL PANEL | NTS | NOT TO SCALE |
| CP | CONTROL PANEL FURNISHED WITH EQUIPMENT | PLUMB | PLUMBING |
| CP | CONTROL PANEL FURNISHED WITH EQUIPMENT WITH INTEGRAL DISCONNECT SWITCH | PRE | PRIMARY |
| \$ XX WP | TOGGLE SWITCH | RCS | RIGID GALVANIZED STEEL |
| SUBSCRIPT(S) INDICATES THE FOLLOWING: | | SEC | SECONDARY |
| *K | KEY OPERATED | SPD | SURGE PROTECTION DEVICE |
| *LO | LOCK-OUT | SPEC | SPECIFICATIONS |
| *P | PILDT LIGHT | SWB | SWITCHBOARD |
| *T | THERMAL OVERLOAD | SWR | SWITCHGEAR |
| *WP | WEATHERPROOF | TYP | TYPICAL |
| *EP | EXPLOSION PROOF | UL | UNDERWRITER LABORATORIES |
| *# | CIRCUIT NUMBER | UNL | UNLESS NOTED OTHERWISE |
| *2P | DOUBLE POLE | UNINT | UNINTERRUPTIBLE POWER SUPPLY |
| | SURFACE MOUNTED RACEWAY | V | VOLTS |
| | INDICATES NUMBER OF RECEPTACLES IN RACEWAY | VA | VOLTS/AMPS |
| | INDICATES NUMBER OF DATA DEVICES IN RACEWAY | W | WATTS |
| | | WC | WIRE GUARD |
| | | WP | WEATHERPROOF |
| | | WR | WITHSTAND RATING |
| | | XTFR | TRANSFORMER |
| | | XP | EXPLOSION PROOF |

PERMIT NO. 100941810



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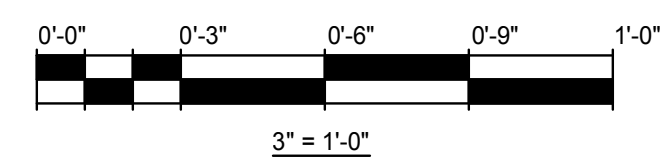
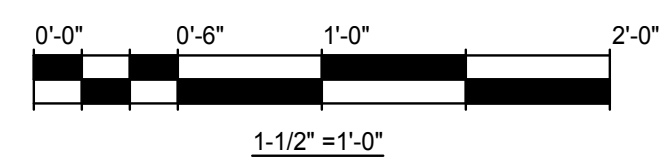
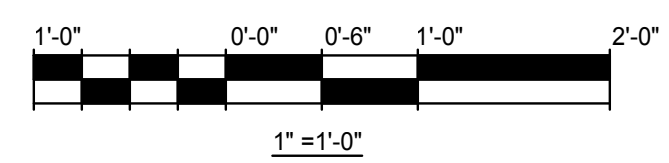
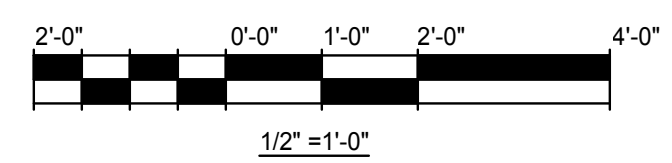
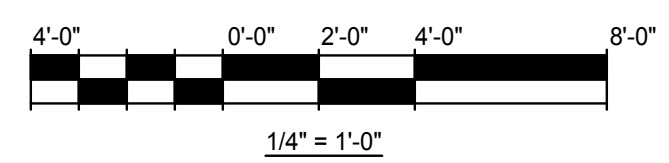
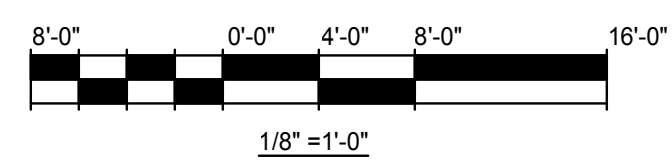
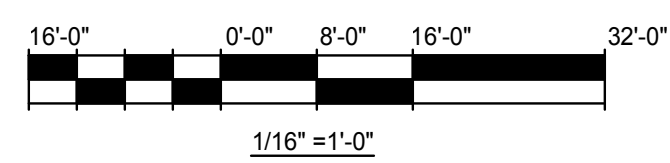
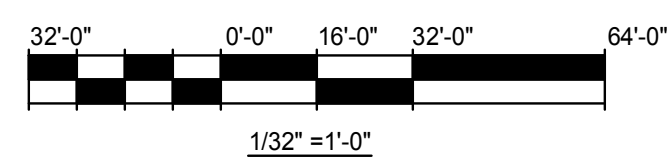
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| | ISSUED FOR 90% CD | 2020.07.21 |
| | ISSUED FOR 90% CD | 2020.08.11 |
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| | ISSUED PERMIT PHASE X | 2021.03.01 |
| | ISSUED FOR BE AND PERMIT | 2021.11.04 |

CHA CONTRACT NO. 12015-054AD
 TITLE
ELECTRICAL SYMBOLS ABBREV. & GENERAL NOTES

SHEET

E0.00



DEMOLITION NOTES

1. DEMOLITION DRAWINGS INDICATE GENERAL INTENT OF THE SCOPE OF WORK. CONTRACTOR SHALL REVIEW ARCHITECTURAL, MECHANICAL, AND MISCELLANEOUS OTHER DOCUMENTS AND DRAWINGS TO VERIFY THE EXTENT OF THE DEMOLITION WORK. CONTRACTOR TO REMOVE ALL LIGHTING FIXTURES, LIGHTING CONTROL DEVICES, POWER RECEPTACLES, DATA OUTLETS, AND THEIR ASSOCIATED CONDUIT AND WIRING WITHIN THE AREA OF WORK. CONTRACTOR SHALL SURVEY EXISTING SITE TO DETERMINE THE EXTENT OF THE NECESSARY REMOVALS, REPAIRS, AND RELOCATIONS TO AVOID CONFLICTS WITH NEW CONSTRUCTION. DISCUSS ANY DISCREPANCIES WITH THE OWNER, ARCHITECT, AND ENGINEER PRIOR TO DEMOLITION.
2. FOR ALL ELECTRICAL EQUIPMENT AND DEVICES TO BE REMOVED, WIRING SHALL BE REMOVED COMPLETELY BACK TO THE SOURCE. ALL UNUSED WIRING SHALL BE DISCONNECTED AND REMOVED COMPLETELY FROM ALL CONDUITS AND RACEWAY SYSTEMS. ALL EXPOSED UNUSED EMPTY CONDUITS SHALL BE REMOVED. CONCEALED CONDUITS THAT CANNOT BE REMOVED SHALL BE CUT FLUSH WITH THE WALL/FLOOR AND CAPPED.
3. EXISTING BUILDING SYSTEMS NOT AFFECTED BY THIS CONSTRUCTION SHALL REMAIN IN CONTINUOUS AND NON-INTERRUPTED OPERATION DURING THIS RENOVATION WORK. CONTRACTOR SHALL PROVIDE TEMPORARY SERVICES FOR ALL SYSTEMS UNTIL THE RENOVATION WORK IS COMPLETE. REROUTE AND/OR MAINTAIN ANY RACEWAYS, FEEDERS, BRANCH CIRCUITS, JUNCTION/PULL BOXES FOR THE AFFECTED SYSTEMS TO ENSURE AN UNINTERRUPTED OPERATION.
4. EXISTING ELECTRICAL EQUIPMENT THAT IS NOTED TO BE REMOVED IS TO REMAIN AS THE PROPERTY OF THE OWNER AFTER REMOVAL. EXISTING ELECTRICAL EQUIPMENT BEING REMOVED THAT THE OWNER DOES NOT WISH TO RETAIN SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE PREMISES AND DISPOSED OF PROPERLY.
5. LOCATION AND QUANTITY OF EXISTING EQUIPMENT, DEVICES, RACEWAYS, ETC. SHALL BE FIELD VERIFIED.
6. THE BUILDING SYSTEMS SHALL BE NOT DISRUPTED DURING THE EXECUTION OF THIS WORK WITHOUT PRIOR NOTIFICATION AND APPROVAL BY THE OWNER. COORDINATE ALL POWER OUTAGES AND MISCELLANEOUS SYSTEM IMPAIRMENTS THAT ARE NECESSARY WITH THE OWNER PRIOR TO DEMOLITION.
7. THE CONTRACTOR SHALL REMOVE ALL EXISTING HANGERS AND SUPPORTS ASSOCIATED WITH EXISTING RACEWAYS TO BE REMOVED.
8. THE CONTRACTOR SHALL PROTECT THE EXISTING FACILITY OUTSIDE OF THE AREAS OF WORK AND EXERCISE CARE NOT TO DAMAGE ANY EXISTING CONSTRUCTION TO REMAIN. ALL WORK DAMAGED BY THE CONTRACTOR SHALL BE RESTORED SO AS TO MATCH EXISTING ADJACENT SURFACES IN ALL RESPECTS AND AS APPROVED BY THE OWNER. ANY SUCH CORRECTIVE WORK SHALL BE PERFORMED AT NO ADDITIONAL COST TO THE OWNER. ALL ELECTRICAL WORK NEEDED TO BE DONE AT THE FLOOR BELOW OR ABOVE SHALL BE COORDINATED WITH THE OWNER.
9. PROVIDE SUPPORTS AS REQUIRED BY THE CQC FOR ALL EXISTING TO REMAIN CONDUITS AND LOW VOLTAGE WIRING LOCATED OR PASSING THROUGH THE AREA OF WORK IN SUCH A MANNER THAT THEY WILL BE SUPPORTED FROM BUILDING STRUCTURE INDEPENDENTLY FROM CEILING GRID, DUCTWORK, PIPING, OR EXISTING SUSPENDED UTILITY. PROVIDE NEW SUPPORTS AS NECESSARY.
10. PATCH AND REPAIR EXISTING CEILING, FLOOR, AND WALL AS NEEDED AFTER ELECTRICAL EQUIPMENT HAVE BEEN REMOVED OR REPLACED WITH NEW. PROVIDE NEW JUNCTION BOXES AND COVER PLATES AS REQUIRED.
11. PRESERVE EXISTING POWER, LIGHTING FIXTURES, AND LIGHTING SWITCHES SERVING AREAS ADJACENT TO AREAS IN CONTRACT. PRESERVE ASSOCIATED CONDUIT AND WIRING.
12. ANY WIRING LOCATED IN OPEN OR ABANDONED JUNCTION BOXES SHALL BE FIELD VERIFIED. IF ABANDONED SUCH WIRING SHALL BE REMOVED FROM CONDUITS BACK FROM THE SOURCE AND THE J/BOX SHALL BE CLOSED WITH BLANK COVER PLATE.

PERMIT NO. 100941810



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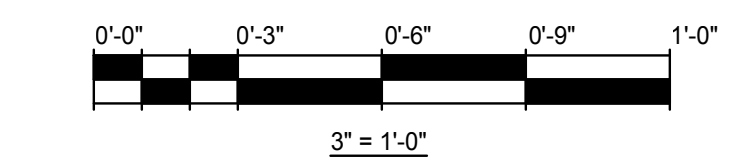
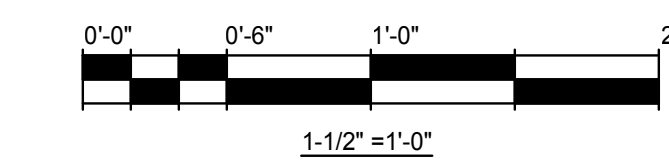
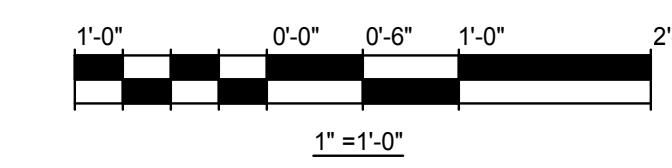
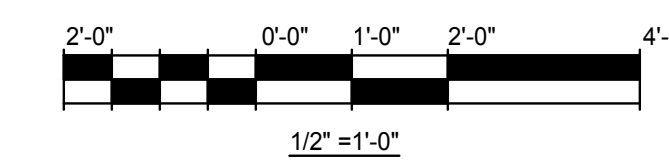
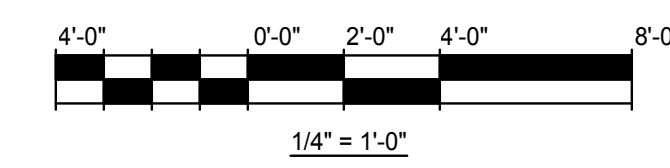
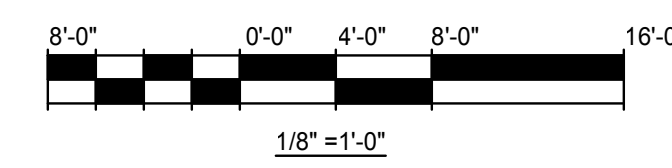
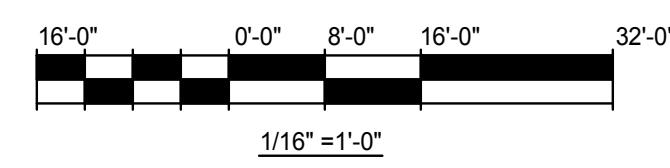
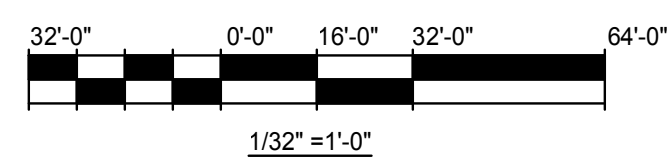
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| | ISSUED PERMIT PHASE I | 2021.03.01 |
| | ISSUED FOR BID AND PERMIT | 2021.11.04 |

CHA CONTRACT NO. 12015-054AD

TITLE
**ELECTRICAL
 CALCULATIONS AND
 NOTES**

SHEET

E0.01



KEYED NOTES:

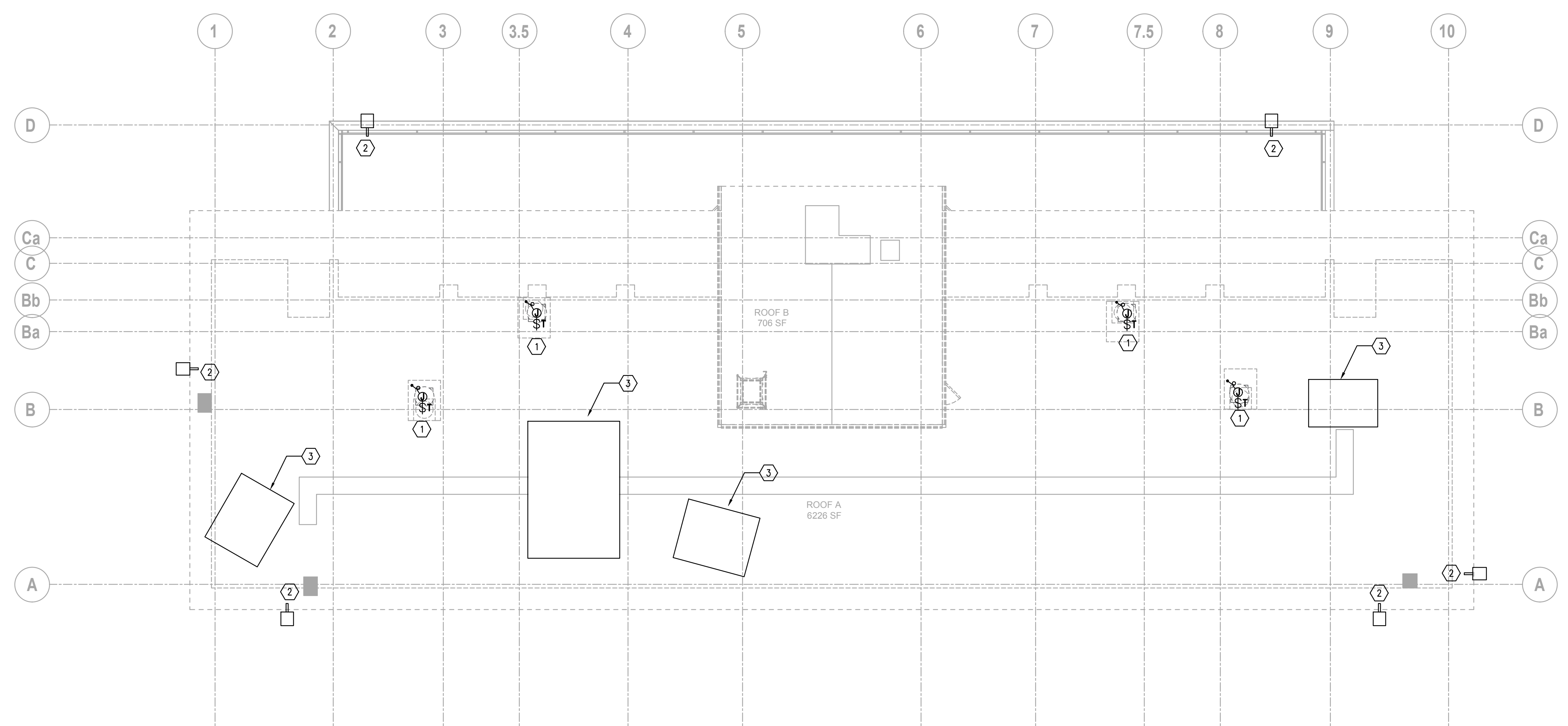
- ① DISCONNECT, AND REMOVE CONDUIT AND WIRING ASSOCIATED WITH EXHAUST FANS BACK TO SOURCE.

PERMIT NO. 100941810



VIVIAN GORDON HARSH APARTMENTS RENOVATION

4227 S OAKENWALD AVENUE, CHICAGO, IL 60653



KEYED NOTES:

- ① DISCONNECT, AND REMOVE CONDUIT AND WIRING ASSOCIATED WITH EXHAUST FANS BACK TO SOURCE.
- ② REMOVE EXISTING FLOOD LIGHTS. REMOVE CONDUIT AND WIRING BACK TO SOURCE. MAINTAIN CONNECTION TO EXISTING LIGHTING OUTSIDE THE AREA OF WORK.
- ③ EXISTING CELLULAR EQUIPMENT AND ALL ASSOCIATED ELECTRICAL INCLUDING CONDUITS, GROUNDING, AND DISCONNECT SWITCHES TO BE REMOVED AND REINSTALLED BY CELLULAR PROVIDER. COORDINATE ELECTRICAL WORK WITH CELLULAR PROVIDER.

2 ROOF PLAN - DEMOLITION
SCALE: 1/8" = 1'-0"

Application #: 100902815

ARCHITECT/ENGINEER OF RECORD:
URBANWORKS
ARCHITECT - BUILDING ENVELOPE:
BAUER LATOZA STUDIO
CIVIL ENGINEER:
D'ESCOTO
LANDSCAPE ARCHITECT:
ACCENT URBAN DESIGN
STRUCTURAL ENGINEER:
RUBINOS & MESIA
ENGINEERS, INC
M/E/P ENGINEER:
PRIMERA ENGINEERING

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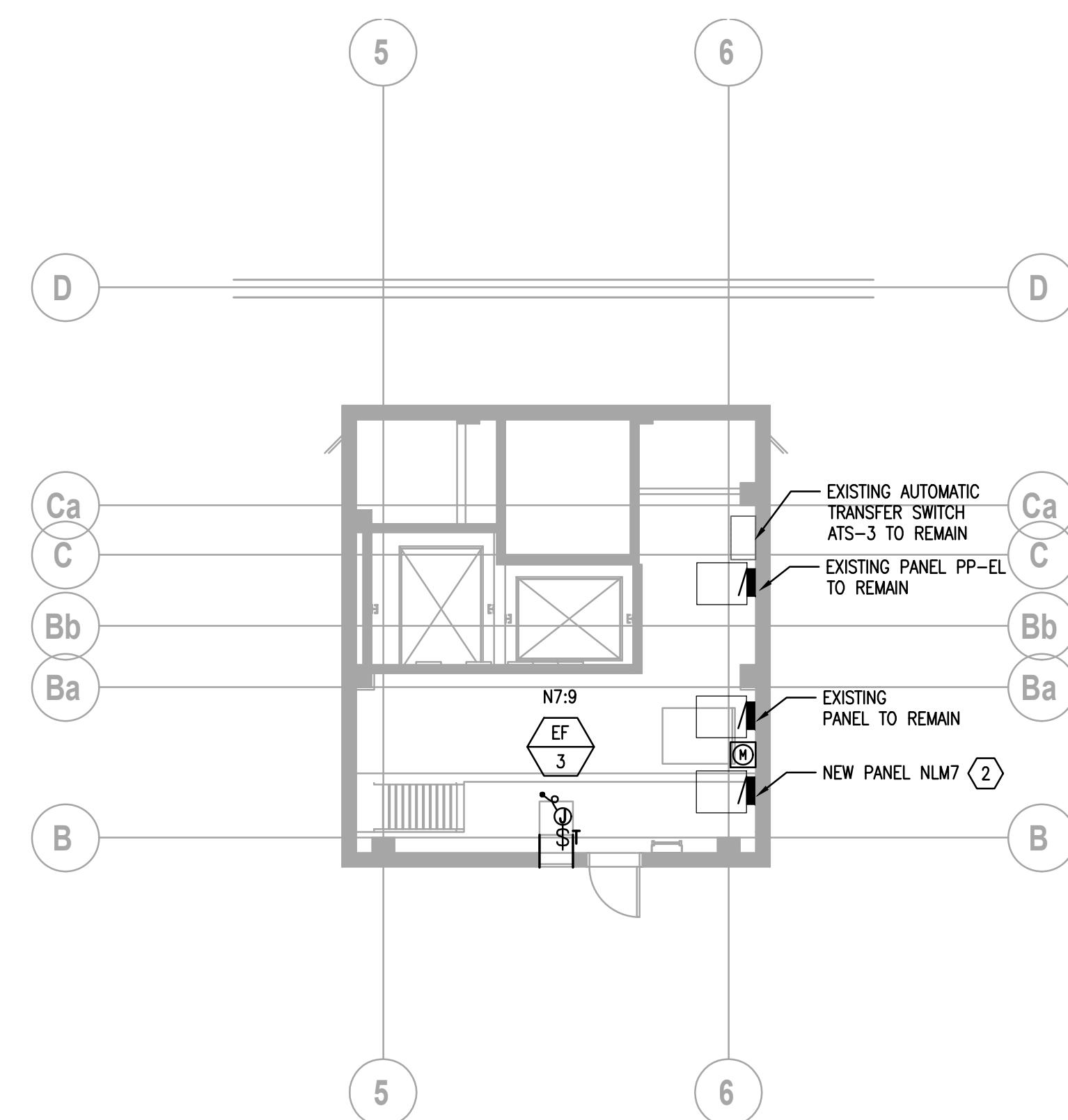
| # | DESCRIPTION | DATE |
|---|---|------------|
| | ISSUED FOR DESIGN DEVELOPMENT | 2020.04.01 |
| | ISSUED FOR PERM. CD | 2020.07.21 |
| | ISSUED FOR PERM. CD | 2020.08.11 |
| | ISSUED FOR PERM. CD / ISSUED FOR PERMIT | 2020.12.18 |
| | ISSUED FOR PROCUREMENT | 2021.01.22 |
| | ISSUED FOR PERM. PERMIT PHASE II | 2021.02.24 |
| | ISSUED PERMIT PHASE II | 2021.03.01 |
| | ISSUED FOR PERM. PERMIT | 2021.11.04 |

CHA CONTRACT NO. 12015-054AD

TITLE
ELECTRICAL ROOF DEMOLITION PLANS

SHEET
ED1.4

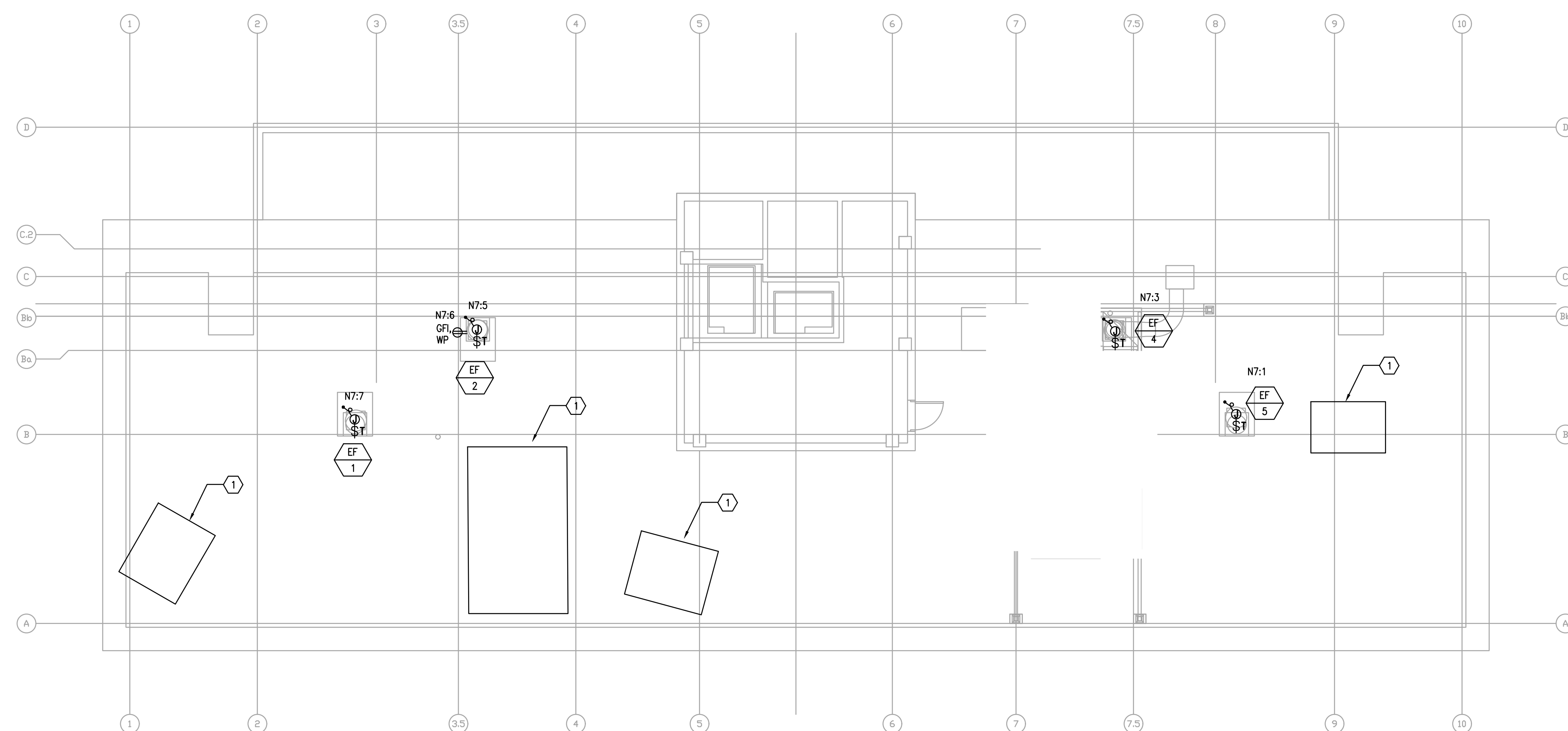




1 LOWER MACHINE ROOM FLOOR PLAN - NEW CONSTRUCTION
SCALE: 1/8" = 1'-0"

- KEYED NOTES:**
- EXISTING CELLULAR EQUIPMENT AND ALL ASSOCIATED ELECTRICAL INCLUDING CONDUITS, GROUNDING, AND DISCONNECT SWITCHES TO BE REMOVED AND REINSTALLED BY CELLULAR PROVIDER. COORDINATE ELECTRICAL WORK WITH CELLULAR PROVIDER.
 - MAINTAIN REQUIRED CLEARANCES. COORDINATE EXACT LOCATION OF NEW PANEL IN FIELD.

- CIRCUITING NOTES:**
- ALL CIRCUITS DENOTED BY "N7," SHALL BE WIRED TO PANEL "NLM7."



4 ROOF PLAN - NEW CONSTRUCTION
SCALE: 1/8" = 1'-0"

PERMIT NO. 100941810



**VIVIAN GORDON HARSH
APARTMENTS RENOVATION**

4227 S OAKENWALD AVENUE, CHICAGO, IL 60653

Application #: 100902815

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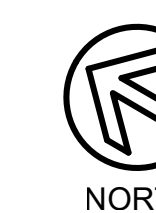
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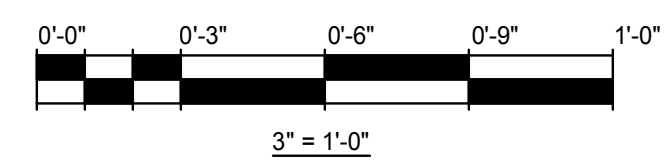
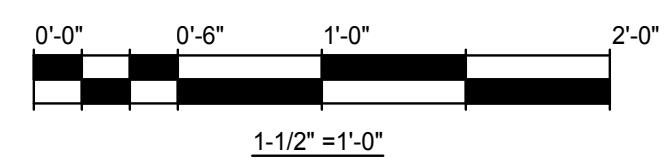
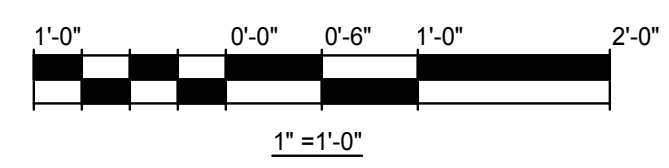
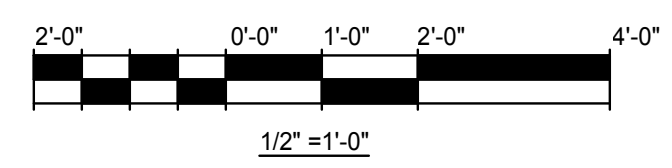
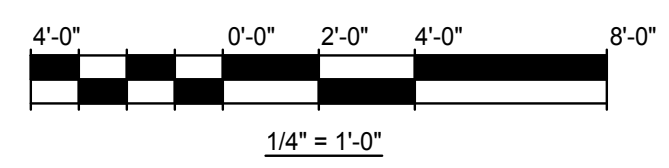
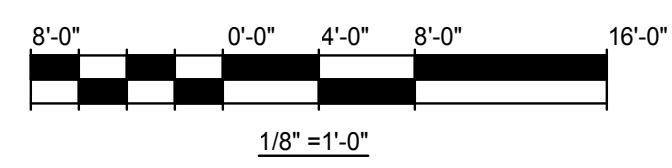
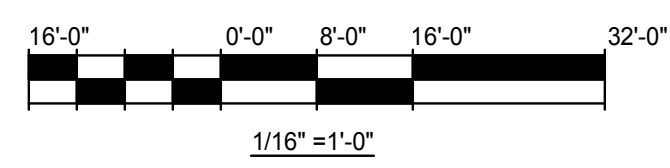
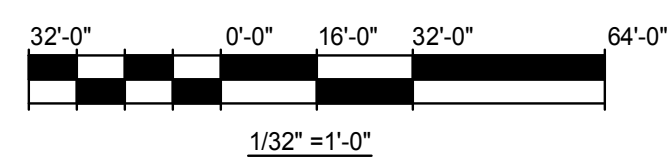
| # | DESCRIPTION | DATE |
|---|---------------------------------------|------------|
| | ISSUED FOR DESIGN DEVELOPMENT | 2020.04.01 |
| | ISSUED FOR 90% CD | 2020.07.21 |
| | ISSUED FOR 10% CD | 2020.08.11 |
| | ISSUED FOR 10% CD / ISSUED FOR PERMIT | 2020.12.18 |
| | ISSUED FOR PROCUREMENT | 2021.02.22 |
| | ISSUED FOR BID AND PERMIT PHASE 'A' | 2021.02.24 |
| | ISSUED PERMIT PHASE 'A' | 2021.03.01 |
| | ISSUED FOR BID AND PERMIT | 2021.11.04 |

CHA CONTRACT NO. 12015-054AD

TITLE
ELECTRICAL ROOF PLANS

SHEET
E2.04





PERMIT NO. 100941810



**VIVIAN GORDON HARSH
APARTMENTS RENOVATION**

4227 S OAKENWALD AVENUE, CHICAGO, IL 60653

| TAG | DESCRIPTION | MOTOREQUIPMENT WIRING SCHEDULE | | | | | | | | | | | | | | |
|------|-------------|--------------------------------|----|-----|-----|-------|----|---|--------|-------------------|------------------------|---------------|------|---------------------|-----|-------|
| | | ELECTRICAL RATING | | | | | | | | BRANCH CIRCUIT(1) | | CONTROLLER(1) | | LOCAL DISCONNECT(1) | | NOTES |
| | | HP | KW | FLA | MCA | VOLTS | PH | W | EM FWR | SOURCE | SIZE(2) | TYPE | TYPE | SIZE | | |
| EF-1 | EXHAUST FAN | 1/4 | | | | 120 | 1 | 2 | N | REFER TO PLANS | 2#12 & 1#12 GRD. -3/4" | N/R | YES | 1P-20A | 1,2 | |
| EF-2 | EXHAUST FAN | 1/4 | | | | 120 | 1 | 2 | N | REFER TO PLANS | 2#12 & 1#12 GRD. -3/4" | N/R | YES | 1P-20A | 1,2 | |
| EF-3 | EXHAUST FAN | 3/4 | | | | 120 | 1 | 2 | N | REFER TO PLANS | 2#12 & 1#12 GRD. -3/4" | N/R | YES | 1P-20A | 1,2 | |
| EF-4 | EXHAUST FAN | 3/4 | | | | 120 | 1 | 2 | N | REFER TO PLANS | 2#12 & 1#12 GRD. -3/4" | N/R | YES | 1P-20A | 1,2 | |
| EF-5 | EXHAUST FAN | 1/2 | | | | 120 | 1 | 2 | N | REFER TO PLANS | 2#12 & 1#12 GRD. -3/4" | N/R | YES | 1P-20A | 1,2 | |
| EF-6 | EXHAUST FAN | 1/2 | | | | 120 | 1 | 2 | N | REFER TO PLANS | 2#12 & 1#12 GRD. -3/4" | N/R | YES | 1P-20A | 1,2 | |
| DE-1 | EXHAUST FAN | 2 | | | | 208 | 3 | 4 | N | REFER TO PLANS | 4#12 & 1#12 GRD. -3/4" | FVNR | NFDS | 3P-30A | 1,2 | |

- NOTES
 1. OBTAIN SUPPLIERS SHOP DRAWINGS/WIRING DIAGRAMS TO VERIFY PRIOR TO ROUGH-IN. WIRE FOR A COMPLETE AND FULLY OPERATIONAL SYSTEM.
 2. FEEDER AND CONDUIT SIZE IS MINIMUM ONLY. FEEDERS SHALL BE UPSIZED BASED ON FEEDER LENGTH AS REQUIRED BY THE VOLTAGE DROP TABLE ON SHEET E0.00
 3. SEE PLANS FOR QUANTITIES

GENERAL NOTES:
 A. ALL VFD'S ARE FURNISHED BY DIV. 23, INSTALLED AND WIRED BY DIV. 26

| ABBREVIATIONS | |
|---------------|---|
| CP-F.W.E. | CONTROL PANEL - FURNISH WITH EQUIPMENT |
| FDS | FUSIBLE DISCONNECT SWITCH |
| FVNR | FULL VOLTAGE NON-REVERSING |
| F.W.E. | FURNISH WITH EQUIPMENT |
| NFDS | NON FUSIBLE DISCONNECT SWITCH |
| N/R | NOT REQUIRED |
| TES | THERMAL OVERLOAD SWITCH |
| VFD-F.W.E. | VARIABLE FREQUENCY DRIVE - FURNISH WITH EQUIPMENT |
| MCA | MINIMUM CIRCUIT AMPACITY |

REFER TO MECHANICAL, PLUMBING AND FIRE PROTECTION DRAWINGS FOR MOST CURRENT EQUIPMENT INFORMATION.

Application #: 100902815

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| | ISSUED FOR BID AND PERMIT | 2021.11.04 |

CHA CONTRACT NO. 12015-054AD
 TITLE

ELECTRICAL MOTOR
 EQUIPMENT SCHEDULE

SHEET

E6.01