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**JUDGE GREEN  
EXTERIOR  
IMPROVEMENTS**  
4030 S LAKE PARK AVE  
CHICAGO, IL 60653

ARCHITECT OF RECORD:  
CANOPY ARCHITECTURE + DESIGN, LLC  
180 W WASHINGTON STREET, SUITE 200  
CHICAGO, IL 60602

CIVIL & STRUCTURAL ENGINEERS:  
DAVID MASON + ASSOCIATES  
333 S DESPLAINES STREET, SUITE 200  
CHICAGO, IL 60661

LANDSCAPE ARCHITECT:  
MCKAY LANDSCAPE ARCHITECTS  
5215 N RAVENSWOOD AVENUE  
CHICAGO, IL 60640

MEP ENGINEER:  
dbhms  
303 ERIE STREET #510  
CHICAGO, IL 60654

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ISSUANCE		
MARK	DESCRIPTION	DATE
	BID & PERMIT	01.08.21

CHA CONTRACT NO: 12017-035AD  
TITLE

**DRAWING INDEX**

SHEET  
**G1.1**

# GENERAL NOTES

## PROJECT REQUIREMENTS

- THE NOTES ON THIS PAGE APPLY TO ALL ARCHITECTURAL DRAWING SHEETS, U.N.O. FOR NOTES APPLICABLE TO THE SCOPE OR WORK INDICATED ON INDIVIDUAL SHEETS. REFER TO SHEET NOTES AS APPLICABLE. REFER TO STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION DRAWINGS FOR ADDITIONAL NOTES, ABBREVIATIONS, AND SYMBOLS PERTINENT TO EACH DISCIPLINE.
- ALL SYMBOLS AND ABBREVIATIONS USED ON THE DRAWINGS ARE CONSIDERED TO BE CONSTRUCTION STANDARD. IF THE CONTRACTOR HAS QUESTIONS REGARDING ABBREVIATIONS OR THEIR EXACT MEANING, CONTRACTOR SHALL CONTACT THE ARCHITECT FOR CLARIFICATION.
- REFER TO TECHNICAL SPECIFICATIONS FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
- DRAWINGS AND SPECIFICATIONS ARE COMPLEMENTARY AND ARE INTENDED TO INCLUDE ALL ITEMS REQUIRED FOR THE EXECUTION AND COMPLETION OF THE WORK.
- IN THE EVENT THAT THERE IS A DISCREPANCY BETWEEN THE DRAWINGS, NOTES, AND/OR SPECIFICATIONS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT TO RESOLVE THE DISCREPANCY UPON DISCOVERY. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE CODES AND ORDINANCES. REFER TO CODE COMPLIANCE SHEET FOR ADDITIONAL INFORMATION.
- DIMENSIONS:
  - NUMERIC DIMENSIONS SHALL HAVE PREFERENCE OVER SCALE.
  - BLUEPRINTS OR COPIES SHALL NOT BE USED FOR SCALE MEASUREMENTS.
  - ALL INTERIOR DIMENSIONS ARE TO FACE OF FINISHED GYP BOARD, U.N.O.
  - ALL EXTERIOR DIMENSIONS ARE TO FACE OF SHEATHING, U.N.O.
- ALL ELEVATIONS INDICATED ON FLOOR PLANS ARE TOP OF STRUCTURAL SLAB, U.N.O. AND ALL ELEVATIONS INDICATED ON ROOF PLANS ARE TOP OF ROOF MEMBRANE, U.N.O.
- CONTRACTOR TO COORDINATE GRADING WITH ELEVATIONS INDICATED ON THE CIVIL DRAWINGS.
- CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY UNFORESEEN CONDITIONS UPON DISCOVERY AND PRIOR TO COMMENCING WORK IN THE AFFECTED AREA.
- CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY CONDITIONS REQUIRING MODIFICATION BEFORE PROCEEDING WITH THE WORK. ANY DETAILS, SYSTEMS, MATERIALS, ETC., WHICH ARE PROPOSED TO BE CHANGED MUST BE REVIEWED AND FOUND ACCEPTABLE BY THE ARCHITECT.
- CONTRACTOR SHALL PROVIDE ALL MATERIAL, EQUIPMENT, SERVICES, AND LABOR FOR ALL WORK SHOWN ON DRAWINGS SUCH THAT NO WORK SHALL BE LEFT IN AN UNFINISHED OR INCOMPLETE CONDITION.
- ALL MATERIAL TO BE PROVIDED NEW, U.N.O. MATERIALS AND PRODUCTS SHALL OPERATE FULLY AND SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S MOST RECENT PUBLISHED INSTRUCTIONS AND RECOMMENDATIONS.
- GENERAL CONTRACTOR AND EACH SUB-CONTRACTOR SHALL VISIT THE PROJECT SITE AND SHALL INVESTIGATE AND VERIFY EXISTING CONDITIONS AT THE SITE BEFORE SUBMITTING PROPOSAL. SUBMISSION OF PROPOSAL SHALL BE TAKEN AS EVIDENCE THAT SUCH INSPECTIONS HAVE BEEN MADE. CLAIMS FOR EXTRA COMPENSATION FOR WORK THAT COULD NOT HAVE BEEN FORESEEN BY SUCH INSPECTION, WHETHER SHOWN ON THE CONTRACT DOCUMENTS OR NOT, SHALL NOT BE ACCEPTED OR PAID.
- CONTRACTOR SHALL VERIFY SITE SURVEY AND DIMENSIONS AGAINST ACTUAL CONDITIONS IN FIELD BEFORE PROCEEDING WITH THE WORK.
- CONTRACTOR SHALL VERIFY LAYOUTS AS SHOWN ON DRAWINGS AGAINST EXISTING CONDITIONS BEFORE PROCEEDING WITH THE WORK.
- THE GENERAL CONTRACTOR AND EACH SUB-CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE BEFORE FABRICATING ANY MATERIALS. IF ANY DISCREPANCIES, CONFLICTING CONDITIONS OR DIMENSIONS ARE DISCOVERED, CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY.
- CONTRACTOR SHALL PROTECT ALL EXISTING SITE ELEMENTS FROM DAMAGE DUE TO DEMOLITION AND CONSTRUCTION OPERATIONS, AND WHERE EXISTING ELEMENTS ARE REMOVED, DAMAGED, OR OTHERWISE AFFECTED BY THE WORK, SUCH ELEMENTS SHALL BE REPAIRED, REPLACED OR EXTENDED AS REQUIRED TO PROVIDE A COMPLETE OPERATIONAL SYSTEM.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING ALL WORK DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGE, COLLAPSE, DISTORTION AND MISALIGNMENT, ACCORDING TO APPLICABLE CODES, STANDARDS AND INDUSTRY BEST PRACTICES.
- CONTRACTOR SHALL PROVIDE ALL SHORING AND/OR SUPPORT NECESSARY TO SUPPORT STRUCTURES UNTIL ALL NEW WORK IS IN PLACE.
- CONTRACTOR SHALL PROVIDE BARRICADES AND PROTECTIVE DEVICES NECESSARY FOR PUBLIC SAFETY.
- ALL MATERIALS, SUPPLIES AND EQUIPMENT TO BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS AND AS PER LOCAL CODE AND REQUIREMENTS.
- A 15 YEAR (MINIMUM) WARRANTY ON ALL EXTERIOR BUILDING ENVELOPE MATERIALS FOR LABOR AND MATERIALS SHALL BE PROVIDED INCLUDING BUT NOT LIMITED TO BUILDING ROOFING, FLASHING, PAINT, ETC.
- DETAILS SHOWN ARE INTENDED TO BE INDICATIVE OF THE PROFILES AND TYPE OF DETAILING REQUIRED FOR THE WORK. DETAILS NOT SHOWN ARE SIMILAR IN CHARACTER TO THOSE DETAILED WHERE SPECIFIC DIMENSIONS, DETAILS OR DESIGN INTENT CANNOT BE DETERMINED, CONSULT THE ARCHITECT.
- DO NOT DETERMINE DIMENSIONS AND SIZE OF THE GRAPHIC REPRESENTATIONS SHOWN ON THE DRAWINGS BY USING MEASURING DEVICES (DO NOT "SCALE"), RELY ON THE NUMERIC DIMENSIONS SHOWN ON THE DRAWINGS FOR MEASUREMENT.
- ANY DETAILS, SYSTEMS, MATERIALS, ETC., WHICH ARE PROPOSED TO BE CHANGED MUST BE REVIEWED AND FOUND ACCEPTABLE BY THE ARCHITECT.
- DETAILS SHOWN ARE INTENDED TO BE INDICATIVE OF THE PROFILES AND TYPE OF DETAILING REQUIRED FOR THE WORK. DETAILS NOT SHOWN ARE SIMILAR IN CHARACTER TO THOSE DETAILED WHERE SPECIFIC DIMENSIONS, DETAILS OR DESIGN INTENT CANNOT BE DETERMINED, CONSULT THE ARCHITECT.
- NOTES AND SHEETS FOR DIFFERENT SYSTEMS, MATERIALS AND PRODUCTS SHALL BE REVIEWED AND NOTES ON ANY ONE SHEET ARE TO BE APPLICABLE TO RELATED DRAWINGS AND DETAILS.
- ALL DISSIMILAR METALS SHALL BE EFFECTIVELY ISOLATED FROM EACH OTHER TO PREVENT MOLECULAR BREAKDOWN AND/OR ELECTROLYTIC ACTION.

- THE ARCHITECT SHALL NOT HAVE CONTROL OR CHARGE OF, AND SHALL NOT BE RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES; OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, OR FOR ACTS AND OMISSIONS OF THE CONTRACTOR, SUB-CONTRACTOR OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK.
- IT IS THE EXPRESS INTENT OF THE PARTIES HERETO THAT THE ARCHITECT IS ABSOLVED FROM ANY LIABILITY WHATSOEVER, OCCASIONED BY THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

## COORDINATION

- GENERAL CONTRACTOR / SUB-CONTRACTORS / OWNER SHALL BE FAMILIAR WITH ALL DRAWINGS FOR PROJECT INFORMATION FOR ALL TRADES APPEARING ON ALL SHEETS.
- DRAWINGS AND SPECIFICATIONS ARE COMPLEMENTARY AND ARE INTENDED TO INCLUDE ALL ITEMS REQUIRED FOR THE EXECUTION AND COMPLETION OF THE WORK.
- LOCATE ALL UTILITY SERVICE LINES IN THE FIELD AND PROTECT ALL DESIGNATED TO REMAIN THROUGHOUT THE CONSTRUCTION PERIOD. DO NOT RELY UPON DRAWINGS FOR COMPLETE UTILITY INFORMATION. THE GENERAL CONTRACTOR SHALL COORDINATE HIS WORK WITH THAT OF THE UTILITY COMPANIES, AND ALSO COORDINATE THE WORK OF ALL TRADES, PROVIDING ACCESS AS REQUIRED.
- CONTRACTOR SHALL COORDINATION BETWEEN ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION EQUIPMENT CONTRACTORS AND ANY SPECIALTY CONTRACTORS NECESSARY TO COMPLETE THE WORK REQUIRED BY THE THE CONTRACT DOCUMENTS, AND SHALL NOTIFY THE ARCHITECT OF ANY CONFLICTS AND/OR DISCREPANCIES.
- CONTRACTOR SHALL PROVIDE ALL REQUIRED CONCRETE EMBEDS, ANCHORAGE, AND DEVICES TO BE CAST-IN-PLACE IN THE STRUCTURE. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THE ACCURACY OF THE PLACEMENT OF EMBEDS, ANCHORAGE, AND DEVICES, PRIOR TO THE PLACEMENT OF POURED CONCRETE SLABS, WALLS, COLUMNS, ETC. THE CONTRACTOR SHALL INSPECT AND ACCEPT THE PLACEMENT OF ALL CAST-IN-PLACE ELEMENTS.

## WORKMANSHIP

- ALL WORK TO BE DONE IN COMPLIANCE WITH MANUFACTURERS RECOMMENDATIONS, INSTALLATION INSTRUCTIONS, INDUSTRY STANDARDS AND BEST PRACTICES. ALL WORK SHALL BE OF FIRST CLASS WORKMANSHIP IN ACCORDANCE WITH TRADE STANDARDS.
- ALL JOINTS, PENETRATIONS, AND SIMILAR OPENINGS THROUGH THE BUILDING ENVELOPE THAT ARE SOURCES OF AIR LEAKAGE MUST BE SEALED. REFER TO CONTRACT DOCUMENTS FOR SPECIFICATIONS AND DETAILS. IF CLARIFICATION IS REQUIRED FOR THE PRECISE TYPE USED ON A PENETRATION OR JOINT, THE CONTRACTOR WILL CONTACT THE ARCHITECT FOR CLARIFICATION PRIOR TO COMMENCING ANY RELATED WORK.
- SEAL ALL JOINTS AT PENETRATIONS IN WALLS AND FLOORING MADE BY PIPING, CONDUIT, ET CETERA, EXTERIOR JOINTS AROUND WINDOWS AND DOORS, AND JOINTS. ALL CAULK COLORS ARE TO MATCH THE MATERIAL BEING ADHERED TO.
- PROVIDE SEALER BACKER RODS AS NEEDED, OF COMPRESSIBLE ROD STOCK POLYETHYLENE FOAM, OR OTHER FLEXIBLE PERMANENT DURABLE NON-ADSORPTIVE MATERIAL AS RECOMMENDED FOR COMPATIBILITY WITH THE SEALANT.
- FILL JOINTS BETWEEN CONCRETE FOUNDATION AND SLABS WITH A BITUMINOUS AND FIBER JOINT FILLER.
- ALL DISSIMILAR METALS SHALL BE EFFECTIVELY ISOLATED FROM EACH OTHER TO PREVENT MOLECULAR BREAKDOWN AND/OR ELECTROLYTIC ACTION.
- ALL WOOD IN DIRECT CONTACT WITH CONCRETE TO BE PRESERVATIVE TREATED.
- UNLESS ACCEPTED BY ARCHITECT, ALL FASTENERS AND FASTENING DEVICES ARE TO BE CONCEALED IN ALL FINISHED SPACES.
- ALL WORK SHALL BE GUARANTEED AGAINST DEFECTIVE MATERIAL AND WORKMANSHIP FOR A PERIOD OF ONE (1) YEAR AFTER COMPLETION AND ACCEPTANCE, OR AS REQUIRED WARRANTED PER SPECIFICATION. THE CONTRACTOR SHALL REPAIR OR REPLACE AT THEIR OWN EXPENSE WHEN ORDERED TO DO SO, ALL WORK THAT MAY DEVELOP DEFECTS IN MATERIAL OR WORKMANSHIP WITHIN SAID PERIOD OF TIME.
- ALL VERTICAL SURFACES SHALL BE PLUMB OR CONSTRUCTED TO THE EXACT SLOPES OR ANGLES INDICATED.
- ALL CORNERS AND EDGES SHALL BE FINISHED CLEAN, STRAIGHT AND TRUE WITHOUT DENTS, WAVES, BULGES OR OTHER BLEMISHES.
- ALL JOINTS SHALL BE TIGHT, STRAIGHT, EVEN AND SMOOTH.
- FURNISH AND INSTALL NEW FLASHINGS, GUTTERS, SCUPPERS, DOWNSPOUTS, FASTENERS, TRIM AND SIMILAR WORK, TO COMPLY WITH STANDARD INDUSTRY DETAILS IN S.M.A.C.N.A. "ARCHITECTURAL SHEET METAL MANUAL." PROVIDE SOLDERED FLATLOCK SEAM, AND FOLD BACK METAL TO FORM HEM ON THE CONCEALED SIDE OF EXPOSED EDGES. COMPLY WITH THE METAL PRODUCERS' RECOMMENDATIONS FOR TINNING, SOLDERING AND CLEANING FLUX FROM METAL.
- FLASH AND COUNTER-FLASH ALL PIPES, ETC., PROJECTING THROUGH ROOF EXTENDING OUT ONTO ROOF NOT LESS THAN 6".

## REGULATORY REQUIREMENTS

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE CURRENT GOVERNING BUILDING CODE(S) AND ALL OTHER ASSOCIATED CODES. ALL BUILDINGS SHALL BE COMPLETED IN ACCORDANCE WITH THE LOCAL AND STATE CODES. REFER TO CODE COMPLIANCE SHEET FOR ADDITIONAL INFORMATION.

## FIRE PREVENTION

- ALL JOINTS OF ANY ELEMENT OF CONSTRUCTION WHICH IS REQUIRED TO HAVE A FIRE RESISTANCE RATING SHALL BE INSTALLED PER THE MANUFACTURERS' PUBLISHED TESTED ASSEMBLIES AND SHALL BE TIGHT AND PREVENT THE PASSAGE OF SMOKE OR FLAME.
- FLAME SPREAD RATING FOR ALL MATERIALS INCLUDING INSULATION AND FIRE SAFING SHALL COMPLY WITH LOCAL CODE REQUIREMENTS FOR FLAME SPREAD AND SMOKE DEVELOPMENT RATINGS.
- FIRE RATINGS SHALL BE MAINTAINED AT ALL JOINTS AND PENETRATIONS.
- ALL PIPE AND VENT PENETRATIONS TO BE FIRESTOPPED BY USING PIPE COVERING AND SEALANT AS PER UL # F-C-7007.

## EXTERIOR ELEVATIONS

- SEE WINDOW SCHEDULE FOR WINDOW SIZES AND MASONRY OPENING REQUIREMENTS, VERIFY ALL DIMENSIONS AND WINDOW OPENINGS IN FIELD, NOTIFY ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING.

## DEMOLITION

- THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR AND HAVE CONTROL OVER CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES FOR COORDINATING ALL PORTIONS OF THE WORK. GENERAL CONTRACTOR TO FOLLOW BEST PRACTICES AND/OR INDUSTRY STANDARDS.
- THE CONTRACTOR SHALL USE ADEQUATE PRECAUTIONS FOR SAFETY OF, AND SHALL PROVIDE REASONABLE PROTECTION TO PREVENT DAMAGE, INJURY, OR LOSS TO EXISTING CONDITIONS TO REMAIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VISITING THE SITE TO BECOME FAMILIAR WITH AND VERIFY THE EXISTING CONDITIONS. THE DEMOLITION DRAWINGS SHALL SERVE TO AID THE CONTRACTOR IN THEIR EVALUATION OF THE EXTENT OF DEMOLITION; BUT SHALL NOT BE HELD TO BE ALL INCLUSIVE.
- THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ALL DEMOLITION REQUIRED FOR THE INSTALLATION OF NEW CONSTRUCTION AND AS NECESSARY TO FULFILL THE PURPOSE AND INTENT OF THE FINISHED WORK, WHETHER OR NOT IT IS SPECIFICALLY SHOWN OR NOTED IN THESE DOCUMENTS.
- THE CONTRACTOR SHALL FIELD INSPECT ALL DEMOLITION WORK PRIOR TO ITS REMOVAL, TO INSURE SUCH REMOVAL DOES NOT IMPAIR THE STRUCTURAL INTEGRITY OF THE EXISTING BUILDING. IF THE INSPECTION INDICATES THAT THE STRUCTURAL INTEGRITY MAY BE IMPAIRED, NOTIFY THE ARCHITECT IMMEDIATELY.
- THE CONTRACTOR SHALL VERIFY IN FIELD THE EXISTING CONDITIONS AND RELATED DIMENSIONS INDICATED IN THE DESIGN DOCUMENTS PRIOR TO IMPLEMENTING THE WORK, INCLUDING ORDERING MATERIALS. ANY DISCREPANCIES THAT DIFFER FROM THAT INDICATED IN THE DESIGN DOCUMENTS SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW PRIOR TO IMPLEMENTING THE WORK.
- THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ALL REQUIRED MEANS OF EGRESS CONTINUOUSLY DURING CONSTRUCTION. IF ANY MEANS OF EGRESS WILL BE AFFECTED BY CONSTRUCTION THE CONTRACTOR IS TO SUBMIT A CONSTRUCTION PLAN TO THE ARCHITECT AND THE OWNER TO DEMONSTRATE THAT ALL MEANS OF EGRESS WILL BE MAINTAINED CONTINUOUSLY DURING CONSTRUCTION.
- ANY SITUATION THAT IN THE OPINION OF THE OWNER, THEIR STAFF, AND/OR REPRESENTATIVE OF THE OWNER, CONSTITUTES A HAZARD TO THE EXISTING OPERATION WHETHER IT BE NOISE, DUST, ODOR OR IN ANY WAY AFFECTS THE OWNERS OPERATIONS, WILL UPON REQUEST OF THE OWNER IMMEDIATELY CEASE UNTIL THE SITUATION IS RECTIFIED. NO ADDITIONAL COMPENSATION WILL BE PAID OR CONSIDERED IF WORK IS STOPPED FOR ANY OF THE ABOVE REASONS.
- UNLESS NOTED OTHERWISE ALL DEMOLITION AND EXCAVATED MATERIAL BECOMES THE PROPERTY OF THE CONTRACTORS AND IS TO BE REMOVED FROM THE PROPERTY, IN A LEGAL MANNER. NO STOCKPILING OF THESE MATERIALS WILL BE ALLOWED ON THE PROPERTY OR WITHIN THE PROJECT AREA. THE OWNER RESERVES THE RIGHT AND SHALL BE GIVEN THE OPPORTUNITY TO CLAIM ITEMS, WHETHER OR NOT THOSE ITEMS WERE SPECIFICALLY NOTED IN THE DRAWINGS.
- IN THE EVENT THAT UNEXPECTED REGULATED SUBSTANCES ARE ENCOUNTERED DURING THE WORK, THE CONTRACTOR SHALL COMPLY WITH APPLICABLE STATE AND LOCAL REGULATIONS/LAWS.
- PROTECT FROM DEMOLITION AND CONSTRUCTION WORK, ALL 'EXISTING TO REMAIN' FIXTURES AND EQUIPMENT REQUIRED TO REMAIN IN PLACE DURING CONSTRUCTION.
- WHEN ITEM(S)/SYSTEM(S) ARE INDICATED TO BE REMOVED/DEMOLISHED ALL COMPONENTS OF THE ITEM(S)/SYSTEM(S) (INCLUDED BUT NOT LIMITED TO ANCHORS, CLIPS, HANGERS, SUPPORT) ARE TO BE REMOVED/DEMOLISHED, CAP AS NECESSARY.
- ITEMS INDICATED IN LIGHTER TONES (HALF-TONE) ARE EXISTING TO REMAIN, U.N.O.
- MATERIAL THAT CAN BE RECYCLED, SHALL BE RECYCLED ACCORDING TO ALL LOCAL, STATE, AND NATIONAL CODES, BEST MANAGEMENT PRACTICES, AND INDUSTRY STANDARDS AS REQUIRED TO FULFILL LEED MATERIALS AND RESOURCES CREDIT 2.2 - CONSTRUCTION WASTE MANAGEMENT.
- GENERAL CONTRACTOR SHALL DISPOSE OF ALL REMOVED ITEMS LEGALLY OFF-SITE, ACCORDING TO LOCAL, STATES AND NATIONAL CODES AND GUIDELINES.
- FIELD DIMENSIONS MAY NOT MATCH DIMENSIONS AS SHOWN ON PLANS. GENERAL CONTRACTOR SHALL NOT RELY UPON DIMENSIONS SCALED FROM PLANS. GENERAL CONTRACTOR TO CONFIRM ANY AND ALL DIMENSIONS IN REGARDS TO ALL WORK. DISCREPANCIES ARE TO BE IMMEDIATELY BROUGHT TO THE ARCHITECT'S ATTENTION.
- CONTRACTOR SHALL VISIT THE SITE PRIOR TO SUBMITTING THEIR BID TO DETERMINE ACTUAL FIELD CONDITIONS PRESENTLY EXISTING AND IDENTIFY SUCH CONDITIONS WHICH MAY EFFECT THEIR BID.
- GENERAL CONTRACTOR SHALL VERIFY THE CONDITION OF ALL EXISTING UTILITIES. ALL UTILITIES NOT REQUIRED BY THE SCOPE OF WORK SHALL BE DISCONNECTED AND CAPPED IN ACCORDANCE WITH LOCAL, STATE AND NATIONAL CODE REQUIREMENTS, BEST PRACTICES AND STANDARDS.
- CONTRACTOR SHALL PROVIDE TEMPORARY BRACING AND SHORING AS REQUIRED FOR DEMOLITION AND REMOVAL. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING ALL WORK DURING DEMOLITION AGAINST DAMAGE, BREAKAGE, COLLAPSE, DISTORTION, AND MISALIGNMENT ACCORDING TO ALL GOVERNING CODES, STANDARDS AND BEST PRACTICES. STRUCTURAL INTEGRITY OF ANY BRACING AND SHORING, OR LACK THERE-OF, SHALL BE PROVEN ADEQUATE BY THE GENERAL CONTRACTOR AT THE REQUEST OF THE ARCHITECT.
- CONTRACTOR SHALL PROVIDE PROTECTION FROM INJURY AND IN THE CASE OF EXTERIOR WINDOWS, WEATHER INFILTRATION THROUGH THE OPENING, OVER OPENINGS WHERE WINDOWS ARE DESIGNATED TO BE REMOVED. ANY REMAINING WINDOWS SHALL BE PROTECTED FROM DAMAGE DURING WORK.
- GENERAL CONTRACTOR SHALL NOTIFY THE OWNER OF ANY DISCOVERED ENVIRONMENTALLY HAZARDOUS CONDITIONS BEFORE PROCEEDING.
- CONTRACTOR SHALL PROVIDE ANY AND ALL SAFETY GUARDS, RAILINGS, PROTECTION AND SIGNAGE REQUIRED BY THE WORK IN AREAS INCLUDING, BUT NOT LIMITED TO: REMOVAL OF WALLS, FLOOR SECTIONS AND STAIRS, TO MEET OSHA STANDARDS AND ITS REQUIREMENTS.
- PATCHING OF EXISTING ELEMENTS INCLUDING BUT NOT LIMITED TO FLOORS, WALLS, CEILINGS, BASE, ETC. NECESSITATED BY CONSTRUCTION OR DEMOLITION SHALL BE OF MATERIALS AND FINISH TO MATCH EXISTING. VERIFICATION IS TO BE DONE AT THE JOB SITE, SUBJECT TO THE APPROVAL OF THE ARCHITECT.
- ALL EXISTING EMERGENCY EXITS AND EGRESS DIRECTIONS SIGNS SHALL REMAIN IN PLACE AND IN WORKING ORDER FOR THE DURATION OF THE DEMOLITION WORK. TEMPORARY LIGHTING SHALL BE PROVIDED SUCH THAT EGRESS PATHWAYS ARE VISIBLE.



**JUDGE GREEN  
EXTERIOR  
IMPROVEMENTS**

4030 S LAKE PARK AVE  
CHICAGO, IL 60653

ARCHITECT OF RECORD:  
CANOPY ARCHITECTURE + DESIGN, LLC  
180 W WASHINGTON STREET, SUITE 200  
CHICAGO, IL 60602

CIVIL & STRUCTURAL ENGINEERS:  
DAVID MASON + ASSOCIATES  
333 S DESPLAINES STREET, SUITE 200  
CHICAGO, IL 60661

LANDSCAPE ARCHITECT:  
MCKAY LANDSCAPE ARCHITECTS  
5215 N RAVENSWOOD AVENUE  
CHICAGO, IL 60640

MEP ENGINEER:  
JBMMS  
303 ERIE STREET #510  
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ISSUANCE		
MARK	DESCRIPTION	DATE
	BID & PERMIT	01.08.21

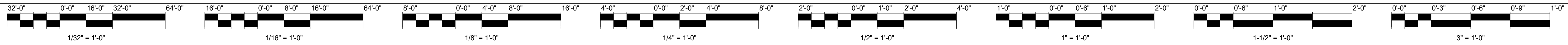
CHA CONTRACT NO: 12017-035AD

TITLE

**GENERAL NOTES**

SHEET

**G1.3**



## 2019 Chicago Building Code and Zoning Ordinance Matrix

**Project Name:** Judge Wendell Green Apartments  
**Project Address:** 4030 South Lake Park Avenue, Chicago, IL 60653  
**Project SF:** 97,905 SF  
**Number of Stories:** 14-stories (existing)  
**Number of Units:** 154 residential units; studio + one-bedrooms (existing)  
**Cook County Property Tax Pin Number:**

Item	Issue	Chapter / Article	Ordinance Requirement	Actual	Requirement	Location / Sheet No.	Comments
<b>ZONING REQUIREMENTS</b>							
1.01	Zoning District	CZO Title 17 / zoning map	n/a	RM-5	--	--	Existing
a)	Use of Property	--	n/a	Residential Senior Housing	--	--	Existing residential development owned and controlled by the Chicago Housing Authority
1.02	Landmark Building / Landmark District	CZO Title 17 / zoning map	n/a	No	--	--	--
1.03	Lakefront Protection District	CZO Title 17 / zoning map	n/a	No	--	--	--
1.04	Zoning Overlay	17-7	n/a	No	--	--	--
1.05	Pedestrian Street	CZO Title 17 / zoning map	n/a	No	--	--	--
1.06	Lot Area	--	--	58,777 sf	--	--	Existing, no change
1.07	Maximum Floor Area Ratio	CZO Title 17-2-0304	2 (117,554sf)	97,905 sf	complies	--	Existing, no change
	Minimum Lot Area per Unit	17-2-0303-A	400sq f./DU. (146 max)	154 (Existing)	Existing, no change	--	Existing, no change
1.08	Total Building Area	--	--	97,905 sf	--	--	--
1.09	Building Height	17-2-311	47'	14 stories / 105'-5" (115'-5" to elevator penthouse)	Existing, no change	--	Existing, no change
1.10	Setbacks	--	--	--	--	--	--
a)	Minimum Front Setback	17-2-0305	15'	Existing	--	--	Existing, no change
b)	Minimum Side Setback	17-2-0309	2' or 8%, 5' max	Existing	--	--	Existing, no change
c)	Minimum Rear Setback	17-2-0306	50'	Existing	--	--	Existing, no change
d)	Minimum Distance Between Buildings on Site	17-2-0310	26'	Existing	--	--	Existing, no change
1.11	Rear Yard Open Space	17-2-0307	36 /DU or 5.25% of lot	Existing	--	--	Existing, no change
1.12	Number of Dwelling Units	--	--	154 (Existing)	Existing, no change	--	Existing, no change
1.13	Off Street Parking	17-10-0201	33 spaces per unit (51)	28 (Existing)	Existing, no change	--	Existing, no change
1.14	Off Street Loading	17-10-1101	1 space (10x25')	Existing	Existing, no change	--	Existing, no change
1.15	Bicycle Parking	17-10-0207C	1 per 4 auto spaces	7	complies	--	Existing, no change
1.16	Landscaping	17-11	--	--	--	--	--
1.17	Trash Storage Area Screening	17-11-300	Screening within principal building or masonry secondary structure	Screening within masonry secondary structure	complies	--	Existing, no change
1.18	Townhouse Ordinance	17-2-0500	n/a	n/a	--	--	--
1.19	Open Space Impact Fee Worksheet if Applicable	--	--	--	--	--	--
1.19	Plat of Survey (Provided)	--	--	--	--	--	--

## APPLICABLE CODES, STANDARDS, AND ORDINANCES:

AHJ	CODE, STANDARD, OR ORDINANCE
1	2019 CHICAGO BUILDING CODE
2	2019 CHICAGO BUILDING REHABILITATION CODE
3	2019 CHICAGO ENERGY CONSERVATION CODE

## GENERAL INFORMATION:

**BUILDING IS FULLY SPRINKLERED**  
**AUTOMATIC SPRINKLER SYSTEM:** YES NFPA 13  
**FIRE ALARM SYSTEM:** YES NFPA 72  
**STANDPIPE SYSTEM:** YES NFPA 14

**OCCUPANCY:**  
**OCCUPANCY CLASSIFICATION:** R-2 RESIDENTIAL  
**PRIMARY USE:** MULTI-UNIT SENIOR

**CONSTRUCTION CLASSIFICATION:**  
**CONSTRUCTION TYPE:** 2019 CBC - TYPE IA

### BUILDING AREA:

EXISTING, NO CHANGE

### MEANS OF EGRESS:

EXISTING, NO CHANGE

### MAXIMUM TRAVEL DISTANCES:

EXISTING, NO CHANGE

### ALTERATIONS - LEVEL 2:

LEVEL 2 ALTERATIONS INCLUDE THE RECONFIGURATION OF SPACE, THE ADDITION OR ELIMINATION OF ANY DOOR OR WINDOW, THE RECONFIGURATION OR EXTENSION OF ANY SYSTEM, OR THE INSTALLATION OF ANY ADDITIONAL EQUIPMENT. (SECTION 603.1)

### ENERGY CONSERVATION:

### ROOF REPLACEMENT:

SHALL INCLUDE THE REMOVAL OF ALL EXISTING LAYERS OF ROOF COVERINGS DOWN TO THE ROOF DECK (SECTION 306.3)

ALTERATIONS SHALL CONFORM WITH CECC: ROOF REPLACEMENT = MIN. R-30CI, UNLESS LIMITED BY EXISTING PARAPET HEIGHTS (SECTION 707.1)

Item	Issue	Chapter / Article	Ordinance Requirement	Actual	Requirement	Location / Sheet No.	Comments
<b>2019 BUILDING CODE REQUIREMENTS</b>							
2.01	Building Address (House Number)	502.1	--	--	--	--	--
a)	Assignment of House Number	Municipal Code 10-4-050	n/a	4030 S. Lake Park Ave.	--	--	Existing, no change
b)	Alteration of House Number	Municipal Code 10-4-070	n/a	n/a	--	--	Existing, no change
c)	Trade Name, Historic Name, Vanity Address	Municipal Code 10-4-070(a)	n/a	Judge Wendell Green Apartments	--	--	Existing, no change
2.02	Occupancy Classification and Use	14B-Chapter 3	n/a	R-2, Residential	--	--	Existing, no change Nonseparated occupancies: A-3, Assembly and B, Business at ground floor
a)	Accessory Occupancies	14B-3-302.1	n/a	n/a	--	--	--
b)	Aggregate accessory occupancy area	14B-5-508.2.3	25% max per floor 5% max total area	n/a	--	--	--
2.03	General Building Height and Area	802.1	n/a	Type I-A	--	--	Existing, no change
a)	Construction Type	--	--	--	--	--	--
b)	Allowable Height in Feet	14B-5-Table 504.3	Unlimited	105'-5" (115'-5" to elevator penthouse)	compliant	--	Existing, no change
c)	Allowable # of Stories above grade	14B-5-Table 504.4	Unlimited	14	compliant	--	Existing, no change
d)	Allowable Area (Tabular area A)	14B-5-Table 506.2	Unlimited	97,905 sf	compliant	--	Existing, no change
e)	Frontage Increase	14B-5-508.3	--	--	--	--	--
i)	Percent of Frontage	14B-5-508.3.1	n/a	n/a	--	--	--
ii)	Length of Frontage in feet (F)	14B-5-508.3.2	n/a	n/a	--	--	--
iii)	Weighted average of frontage width (W)	14B-5-508.3.2	n/a	n/a	--	--	--
iv)	Increase Factor (IF)	14B-5-508.3.3	n/a	n/a	--	--	--
v)	Allowable Area (Aa)	14B-5-508.2	n/a	n/a	--	--	--
2.04	Sprinkler Requirements	14B-9-903.2.8 & 14R-803.2.1 OR 14R-804.1.1	Required throughout work area	Common areas are sprinklered	compliant	--	Existing, no change
a)	Fire Area Limits	14B-9-903.2 Exception 1	no more than 2 dwelling units /	n/a	Existing, no change	--	Existing, no change
b)	Additional Required Suppression Systems	14B-9-Table 903.2.11.8 & 403.3	High rise buildings	--	--	--	--
d)	Sprinkler Standard	14B-9-903.3.1	NFPA 13	--	--	--	--
2.05	Fire Rating Requirements (By Element)	--	--	--	--	--	--
b)	Primary Structural Frame	14B-6-Table 601	2hrs, **1hrs, **0hrs	n/a	Existing, no change	--	--
e)	Exterior Bearing Walls	14B-6-Table 601	2hrs	n/a	--	--	Existing, no change
d)	Interior Bearing Walls	14B-6-Table 601	2hrs, **1hrs	n/a	--	--	Existing, no change
e)	Exterior Non-bearing walls and Partitions	14B-6-Table 602	0hrs	n/a	--	--	Existing, no change
f)	Interior Non-bearing Walls and Partitions	14B-6-Table 601	0hrs	n/a	--	--	Reference other criteria for interior walls
g)	Floor Construction	14B-6-Table 601	2hrs	n/a	--	--	Existing, no change
h)	Roof Construction	14B-6-Table 601	1hrs, **0hrs	1hrs	compliant	--	--
i)	Shaft Enclosures	14B-403.2.1.2 & 713.4	2hrs, **1hrs	n/a	--	--	Existing, no change
j)	Shaft Enclosures not exceeding 9 sf	713.4 Exception	1hrs	n/a	--	--	Existing, no change
j)	Parapets	--	--	--	--	--	--
k)	Enclosures of Mechanical Rooms (Incidental Uses)	14B-Table 509	--	--	--	--	--
i)	Boiler Rooms	14B-Table 509	2hrs	n/a	--	--	Existing, no change
j)	Refrigerant Machinery Rooms	14B-Table 509	1hrs	n/a	--	--	Existing, no change
l)	Electrical Equipment Rooms	14B-707 & 711 & 14E-110.26	1hrs	n/a	--	--	Existing, no change
m)	Telecommunication Rooms over 50 sf	14B-Table 509	2hrs	n/a	--	--	Existing, no change
n)	Laundry Rooms over 100 sf	14B-Table 509	1hrs	n/a	--	--	Existing, no change
o)	Waste & Linen Collection Rooms over 100 sf (no chute access)	14B-Table 509 & 713.13	1hrs	n/a	--	--	Existing, no change
i)	Waste & Linen Chutes (Shafts)	14B-713.4	2hrs	n/a	--	--	Existing, no change
j)	Chute Access Rooms	14B-713.13.3	1hrs	n/a	--	--	Existing, no change
i)	Chute Discharge Rooms	14B-713.13.4	2hrs	n/a	--	--	Existing, no change
iv)	Sprinklers - Waste and Linen Chutes	14B-903.2.11.2	required	n/a	--	--	Existing, no change
p)	Storage Rooms over 100 sf	14B-Table 509	1hrs	n/a	--	--	Existing, no change
q)	Occupancy Separation - Incidental Uses	14B-Table 508.4	--	--	--	--	--
i)	Occupancy A from Occupancy R	14B-Table 508.4	1hrs	n/a	--	--	Sprinklered building
ii)	Occupancy A from Occupancy B	14B-Table 508.4	2hrs	n/a	--	--	Sprinklered building
iii)	Occupancy B from Occupancy R	14B-Table 508.4	3hrs	n/a	--	--	Sprinklered building
i)	Dwelling Unit Separation	14B-420 & 708.3 & 711.2.4.3	1hrs	n/a	--	--	Existing, no change
2.06	Rating Requirements (Life Safety)	--	--	--	--	--	--
a)	Exterior Wall Openings - Separation Distance	14B-7-Table 705.8(1)	30 ft or greater	Existing, no change	Existing, no change	--	--
b)	Exterior Wall Openings - Degree of Opening Protection	14B-7-Table 705.8(1)	UP-S	UP-S	Existing, no change	--	unprotected, sprinklered
c)	Exterior Wall Openings - Allowable Area	14B-7-Table 705.8(1)	No Limit	No Limit, Existing, no change	Existing, no change	--	--
d)	Fire Wall	14B-7-706.4	4 hrs minimum	n/a	--	--	--
f)	Fire Barrier - Interior Exit Stair/Ramp	14B-10-1023.2	2hrs	Existing, no change	Existing, no change	--	--
g)	Fire Barrier - Exit Passageway	14B-10-1024.3	2hrs	Existing, no change	Existing, no change	--	--
h)	Fire Barrier - Horizontal Exit	14B-10-1026.2	2hrs	Existing, no change	Existing, no change	--	--
j)	Fire Barrier - Atriums	14B-4-404.6	1hrs	n/a	--	--	--
j)	Fire Barrier - Fire Areas	14B-7-Table 707.3.10	2hrs	n/a	--	--	--
k)	Fire Partitions	14B-7-708.3	1 hr minimum	n/a	--	--	--
2.07	Accepted Engineering Practice Recognized Agencies	--	--	--	--	--	--
2.08	Means of Egress	--	--	--	--	--	--
a)	Occupant Load (Dictating Exiting Requirements)	14B-10-Table 1004.5	--	n/a	Existing, no change	--	--
b)	Doorways - Means of Egress Sizing	14B-10-1005.3.2 & 1010.1.1	0.2 in / occupant, 32 in min.	n/a	Existing, no change	--	--
i)	Increase Permitted	--	--	--	--	--	--
c)	Stairs - Means of Egress Sizing	14B-1005.3.1 & 1009.3.2	0.3 in / occupant, 44" min (36" min for less than 500)	Existing, no change	Existing, no change	--	--
i)	Increase Permitted	--	--	--	--	--	--
d)	Areas of Refuge	1009.3.3 Exception 5	not required in R-2 occupancies	Existing, no change	Existing, no change	--	--
e)	Corridors - Means of Egress Sizing	14B-10-1005.3.2 & Table 1020.2	0.2 in / occupant, 44 in Min	Existing, no change	Existing, no change	--	--
i)	Increase Permitted	--	--	--	--	--	--
f)	Number of Exits	14B-10-1006 Table 1006.3.2	2 Min	Existing, no change	Existing, no change	--	--
g)	Exit Access Travel Distance	14B-10-Table 1017.2	250 feet max	Existing, no change	Existing, no change	--	--
i)	Increase Permitted	--	--	--	--	--	--
ii)	Dead End Corridor	14B-1020.4	50ft	n/a	--	--	--
iii)	Spaces with One Exit	14B Table 1008.2.1	75ft	n/a	--	--	--
h)	Exit Configuration (Non-highrise)	14B-10-1007.1.1 Exception X	n/a	n/a	--	--	--
i)	Exit Configuration (Highrise)	14B-4-403.5.1	30ft min apart OR not less than 1/4 to the length of the max overall diagonal dim	Existing, no change	--	--	--
j)	Stairway Communication System	14B-403.5.3.1 & 1009.8	two-way communication system required at stairways & elevators	Existing, no change	Existing, no change	--	--
k)	Swing of Exit Doors	14B-1010.1.2.1	Direction of travel	Direction of travel	compliant	--	--
i)	Exception	--	--	--	--	--	--
l)	Door Hardware	14B-1010.1.10	--	n/a	Existing, no change	--	--
m)	Revolving Doors	14B-1010.1.4.1	n/a	n/a	--	--	--
n)	Handrails	14B-1014.8	--	Existing, no change	Existing, no change	--	--
o)	Headroom	14B-1003.2 & 1207.2	7'-6" Min	Existing, no change	Existing, no change	--	--
i)	Stairs	14B-1011.3	7ft min	Existing, no change	Existing, no change	--	--
ii)	Protruding Objects	14B-1003.3	50% ceiling area may be reduced to 80"	Existing, no change	Existing, no change	--	--
2.09	Interior Environment	--	--	--	--	--	--
a)	Units - Min Ceiling Heights	14B-1207.2	7'-0" Min	Existing, no change	Existing, no change	--	--
b)	Unit Bathrooms - Min Ceiling Heights	14B-1207.2	6'-8" Min	Existing, no change	Existing, no change	--	--
<b>2019 ENERGY CODE REQUIREMENTS</b>							
3.01	Climate Zone	14N-C301.1	5A	5A	--	--	--
3.02	Compliance Type/Paths	--	--	--	--	--	--
a)	Type	14N - Chapter 4 & 5	Commercial Prescriptive / Performance	--	--	--	Building is over 4 stories
a)	Path	14N - Chapter 4 & 5	--	--	--	--	--
3.03	Requirements	14N - Chapter 4	--	--	--	--	--
3.04	Existing Buildings Exceptions - Alterations	14N-C503	--	--	--	--	--
a)	Building Envelope	14N-C503.3	--	--	--	--	--
b)	Roof Replacement or Roof Recover	14N-503.3.1 & 14R-306.1 Exception 2	--	--	--	--	--



**JUDGE GREEN  
EXTERIOR  
IMPROVEMENTS**  
4030 S LAKE PARK AVE  
CHICAGO, IL 60653

ARCHITECT OF RECORD:  
CANOPY ARCHITECTURE + DESIGN, LLC  
180 W WASHINGTON STREET, SUITE 200  
CHICAGO, IL 60602

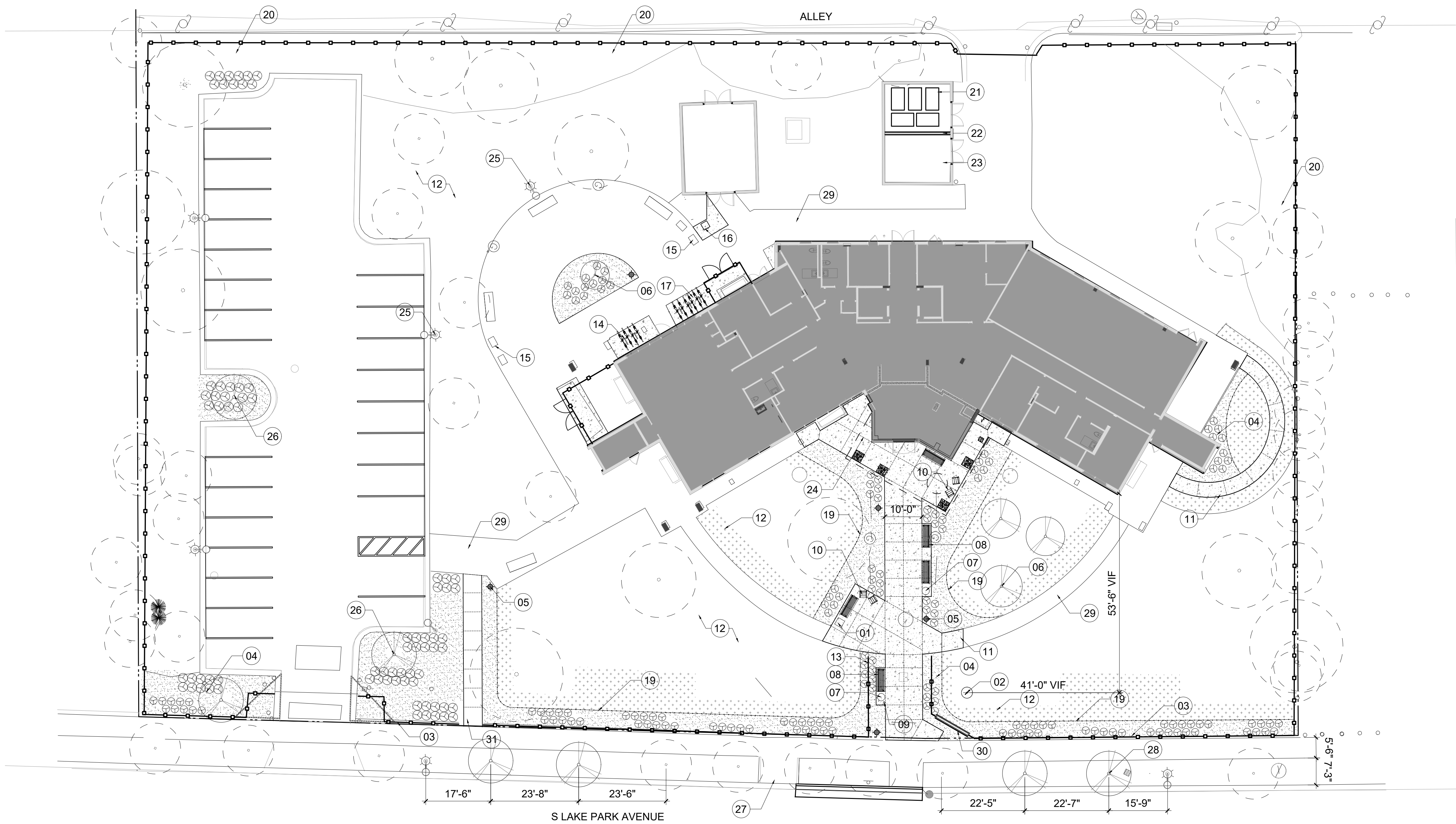
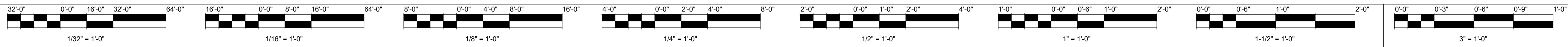
CIVIL & STRUCTURAL ENGINEERS:  
DAVID MASON + ASSOCIATES  
333 S DESPLAINES STREET, SUITE 200  
CHICAGO, IL 60661

LANDSCAPE ARCHITECT:  
MCKAY LANDSCAPE ARCHITECTS  
5215 N RAVENSWOOD AVENUE  
CHICAGO, IL 60640

MEP ENGINEER:  
cbHMS  
303 ERIE STREET #510  
CHICAGO, IL 60654

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ISSUANCE		
MARK	DESCRIPTION	DATE
	DESIGN DEVELOPMENT	



- KEYED NOTES - LANDSCAPE PLAN**
- 01 MEMORIAL SIGN, SEE 2-L2.3
  - 02 RELOCATED FLAGPOLE, REFER TO STRUCTURAL DWG
  - 03 SANDBLAST AND PAINT FENCE
  - 04 PERENNIAL AND SHRUB GROUNDCOVER, SEE 1-L1.2
  - 05 PEDESTRIAN LIGHT, SEE 2-L2.1
  - 06 NEW ORNAMENTAL TREES, SEE 1-L1.2
  - 07 LITTER, SEE 3-L2.0
  - 08 BENCH, SEE 1-L2.0
  - 09 ASH URN, SEE 2-L2.0
  - 10 CHAIR, 4-L2.0
  - 11 NEW CONCRETE WALK, VERIFY EXTENTS IN FIELD
  - 12 REPAIR SOD AS NECESSARY
  - 13 EXTEND FENCES ALONG WALK, MATCH EXISTING
  - 14 (5) BIKE RACK LOOPS (PARKS 2 BIKES PER RACK), 1-L2.3
  - 15 PERMANENT CHARCOAL BARBEQUE, 4-L2.3
  - 16 HOT ASH RECEPTACLE 3-L2.1
  - 17 EXTEND CONCRETE, 8" DEPTH WITH #5 REBAR FOR BIKE RACKS
  - 19 STEEL EDGING, 4-L2.2
  - 20 MAINTAIN EXISTING LANDSCAPE
  - 21 SPACE FOR (5) THREE YARD DUMPSTERS
  - 22 NEW MASONRY WALL, REFER TO ARCHITECTURAL DWG
  - 23 STORAGE
  - 24 SAWCUT CONTRACTION JOINTS
  - 25 UPGRADE EXISTING LIGHT FIXTURES TO LED BULBS, SEE ELECTRIC DWG
  - 26 NEW SHADE TREES, TYP
  - 27 UPDATED DROPOFF, SEE CIVIL DWG
  - 28 NEW STREET TREES, TYP.
  - 29 EXISTING PAVEMENT TO REMAIN
  - 30 NEW SIGN, SEE ARCH DWG
  - 31 NEW CONCRETE WALK, TEMPORARY RESIDENT ENTRANCE, ALIGN WALK WITH EXISTING FENCE SECTION. REPLACE FENCE SECTION FOLLOWING CONSTRUCTION.



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**1 LANDSCAPE PLAN**  
1/16" = 1'-0"

**PLAN KEY**

- EXISTING TREE TO REMAIN
- EXISTING SHRUBS TO REMAIN
- EXISTING TREE TO BE REMOVED
- PROPOSED TREE
- PROPOSED SHRUBS
- PERENNIAL PLANTING AREA
- POTENTIAL SOD REPAIR. ALL DISTURBED SOD TO BE REPAIRED.
- PEDESTRIAN LIGHT
- EXISTING FENCE TO REMAIN
- PROPOSED FENCE
- SIGHT TRIANGLE, 12' X 12'

**NOTE:**  
OVERGROWN TREES AND SHRUBS TO BE HORTICULTURALLY PRUNED. SITE TO BE CLEANED OF WEEDS AND DEAD PLANT MATERIAL.

**VEHICLE USE AREA CALCULATIONS**  
VUA: 8,255 SF  
INTERNAL LANDSCAPE AREA: 620 SF  
REQUIRED, 1828 SF PROVIDED  
INTERNAL TREES: 5 REQUIRED, 5 PROVIDED

**Statements By Owner**  
Commits to the protection and replacement of required landscaping in the following form: "existing parkway and on-site interior trees are to be protected while project is under construction and will be replaced by current and subsequent owner if damaged."

Signed \_\_\_\_\_ Date \_\_\_\_\_

Commits to the maintenance of required landscaping in the following form: "The undersigned acknowledges that the landscape planting plan shown on this sheet for the property at 4030 S Lake Park Avenue in Chicago, IL, has, to the best of the undersigned applicant's knowledge, been designed and will be installed, maintained, and replaced as required, by current and subsequent owners in accordance with the requirements of Title 10, Chapter 32 of the Chicago Municipal Code, the landscaping standards of the Chicago Zoning Ordinance, and the *Guide to the Chicago Landscape Ordinance*."

Signed \_\_\_\_\_ Date \_\_\_\_\_

**Statement By Registered Landscape Architect**  
Commits to the preparation of the landscape plan in the following form: "The undersigned landscape architect, registered in the State of Illinois, acknowledges that the landscape planting plan and construction details shown on this sheet for the property at 4030 S Lake Park Avenue in Chicago, IL, have been designed in accordance with the requirements of Title 10, Chapter 32 of the Chicago Municipal Code, the landscaping standards of the Chicago Zoning Ordinance, and the *Guide to the Chicago Landscape Ordinance*."

Signed Michele McKay Date **01/08/2021**

Michele McKay, Landscape Architect #157-000778 expires 8/31/2021

**ESTIMATED PLANTING DATE : DEC. 15, 2022**

ARCHITECT OF RECORD:  
CANOPY ARCHITECTURE + DESIGN, LLC  
180 W WASHINGTON STREET, SUITE 200  
CHICAGO, IL 60602

CIVIL & STRUCTURAL ENGINEERS:  
DAVID MASON + ASSOCIATES  
464 N MILWAUKEE AVENUE  
CHICAGO, IL 60654

LANDSCAPE ARCHITECT:  
MCKAY LANDSCAPE ARCHITECTS  
5215 N RAVENSWOOD AVENUE  
CHICAGO, IL 60640

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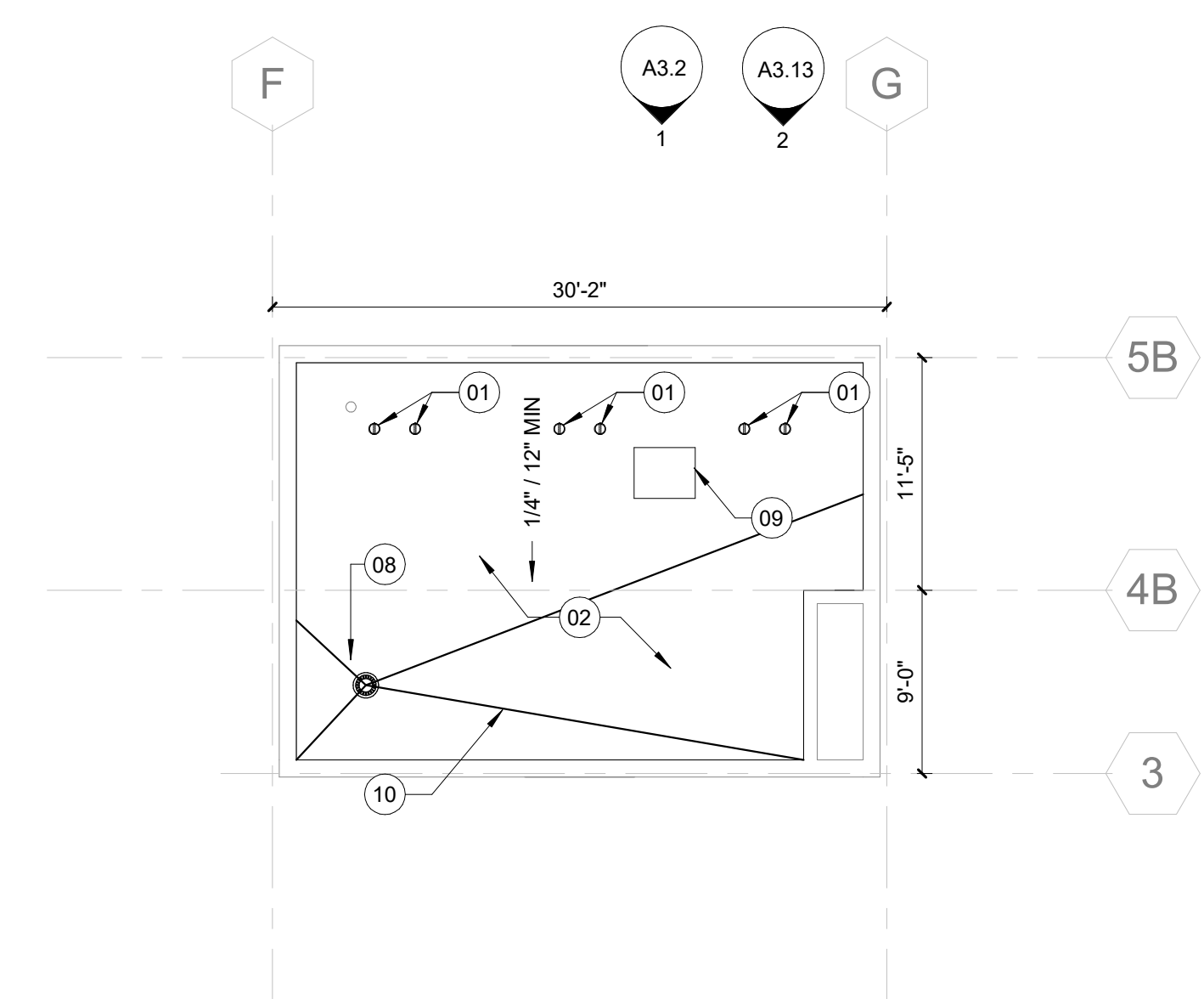
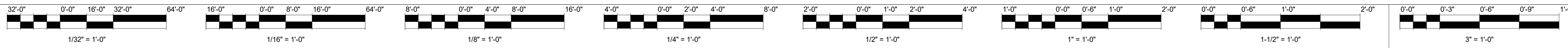
ISSUANCE

MARK	DESCRIPTION	DATE
	BID & PERMIT	01.08.21

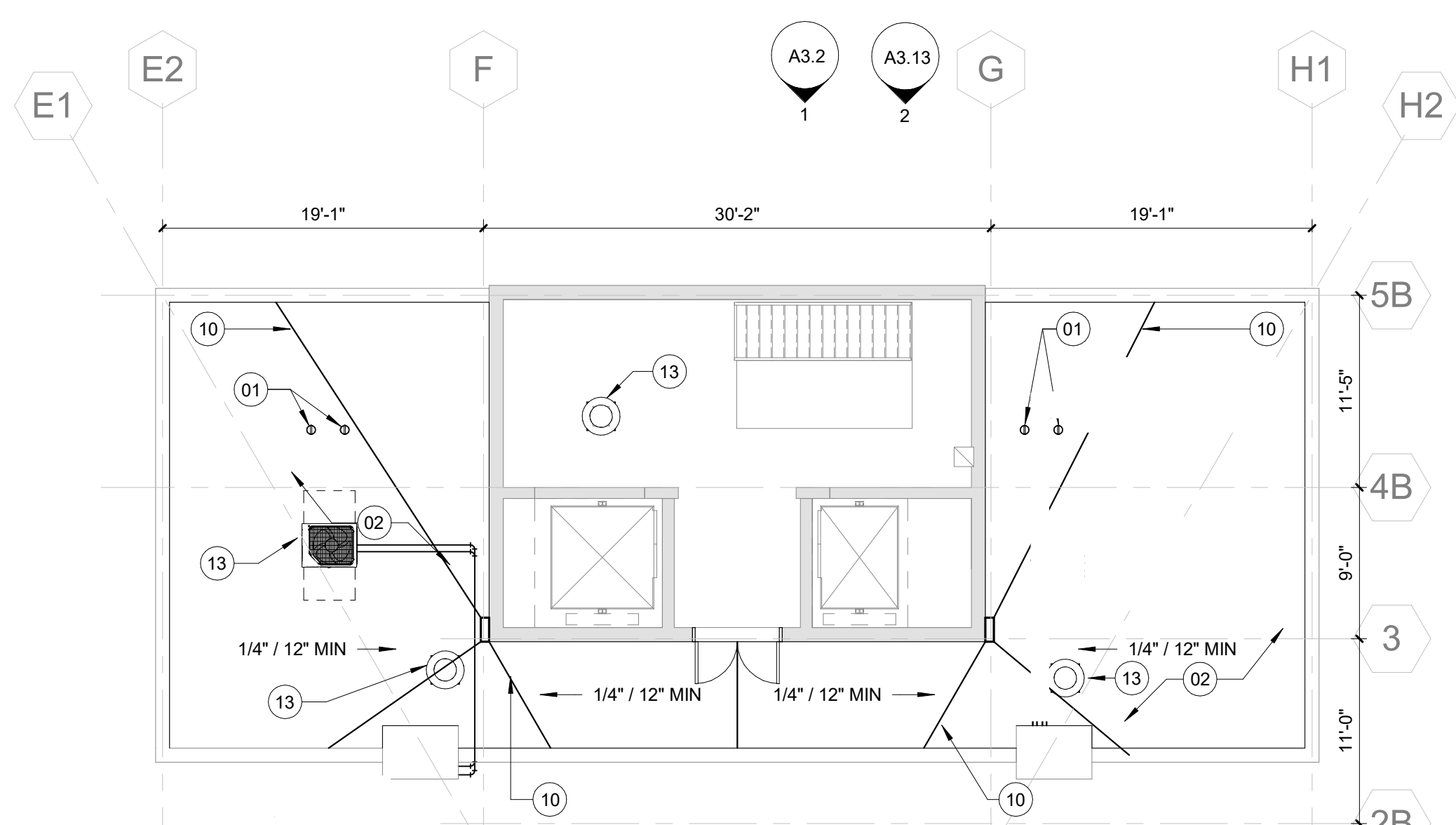
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TITLE

**SITE PLAN**

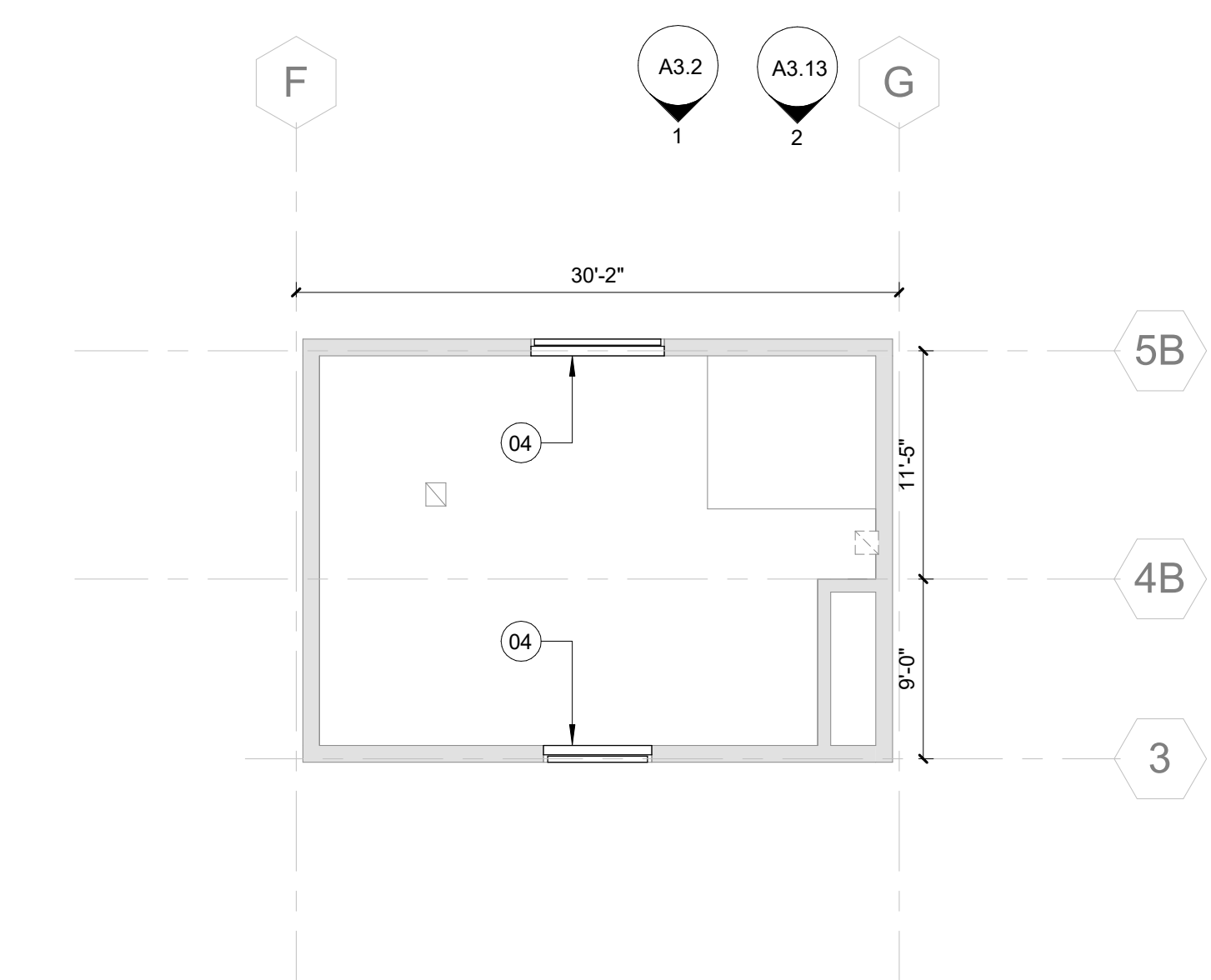
SHEET  
**L1.1**



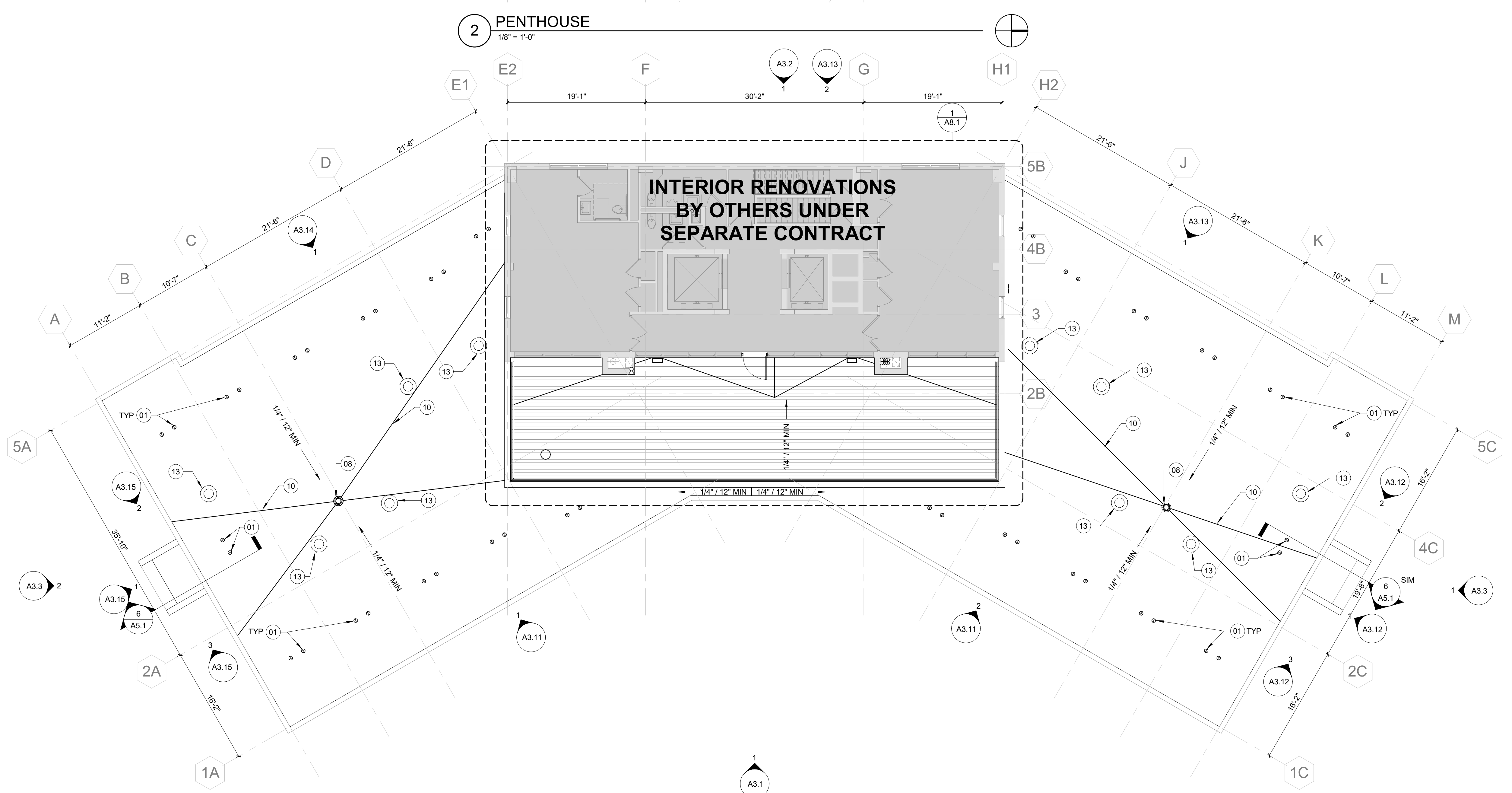
**4 PENTHOUSE ROOF**  
1/8" = 1'-0"



**2 PENTHOUSE**  
1/8" = 1'-0"



**3 ELEV MACHINE ROOM**  
1/8" = 1'-0"



**1 LEVEL 13**  
1/8" = 1'-0"

**KEYED NOTES - CONSTRUCTION PLAN** (XX)

- 01 NEW, PERMANENT SAFETY ANCHOR POINT FASTENED TO CONCRETE ROOF STRUCTURE AS REQUIRED - COORDINATE WITH STRUCTURAL
- 02 NEW MOD-BIT ROOF MEMBRANE, OVER NEW UNDERLAYMENT, AS REQUIRED, AND BUILT-UP INSULATION (R-30 MIN) AT ENTIRE EXTENT OF ROOF.
- 03 NEW FULLY-ADHERED, WALKABLE PRINTED VINYL ROOFING MEMBRANE SYSTEM, SEE FINISH SCHEDULE
- 04 INFILL SECTION OF EXTERIOR WALL AT LOCATION OF DEMOLISHED LOUVER AND FRAME. SEE DETAILS
- 05 NEW REINFORCED CONCRETE PAVEMENT, SEE CIVIL
- 06 EXISTING AREAWELL WITH METAL GRATE TO REMAIN
- 07 NEW BIKE RACKS THIS AREA, SEE LANDSCAPE
- 08 TIE IN NEW ROOFING SYSTEMS TO EXISTING ROOF DRAINS, VIF
- 09 PROVIDE NEW ROOF HATCH/ SCUTTLE WITH SAFETY HANDRAILS
- 10 TAPER INSULATION TO PROVIDE POSITIVE SLOPE TO DRAIN
- 11 RE-INSTALL SALVAGED GUARD RAIL. SCRAPE, PRIME AND PAINT PRIOR TO INSTALLATION; GUARD RAIL TO RESIST A SIMULTANEOUS VERTICAL AND HORIZONTAL THRUST OF 50LBS/FT APPLIED AT THE TOP OF THE RAILING OR A CONCENTRATED LOAD OF 200 LBS/FT IN ANY DIRECTION, WHICHEVER PRODUCES THE GREATEST STRESS
- 13 NEW ROOFTOP MEP EQUIPMENT
- 14 WORK BY OTHERS UNDER SEPARATE CONTRACT



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MEP ENGINEER:  
db+hms  
303 ERIE STREET #510  
CHICAGO, IL 60654

**GENERAL NOTES - FLOOR PLANS**

- A. V.I.F. ALL DIMENSIONS AT EXISTING CONDITIONS.

**FLOOR PLAN LEGEND**

- NEW CONC SLAB
- AREA NOT IN CONTRACT
- WALKABLE VINYL ROOFING, SEE FINISH SCHEDULE

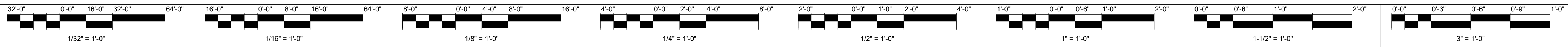
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ISSUANCE

MARK	DESCRIPTION	DATE
	BID & PERMIT	01.08.21

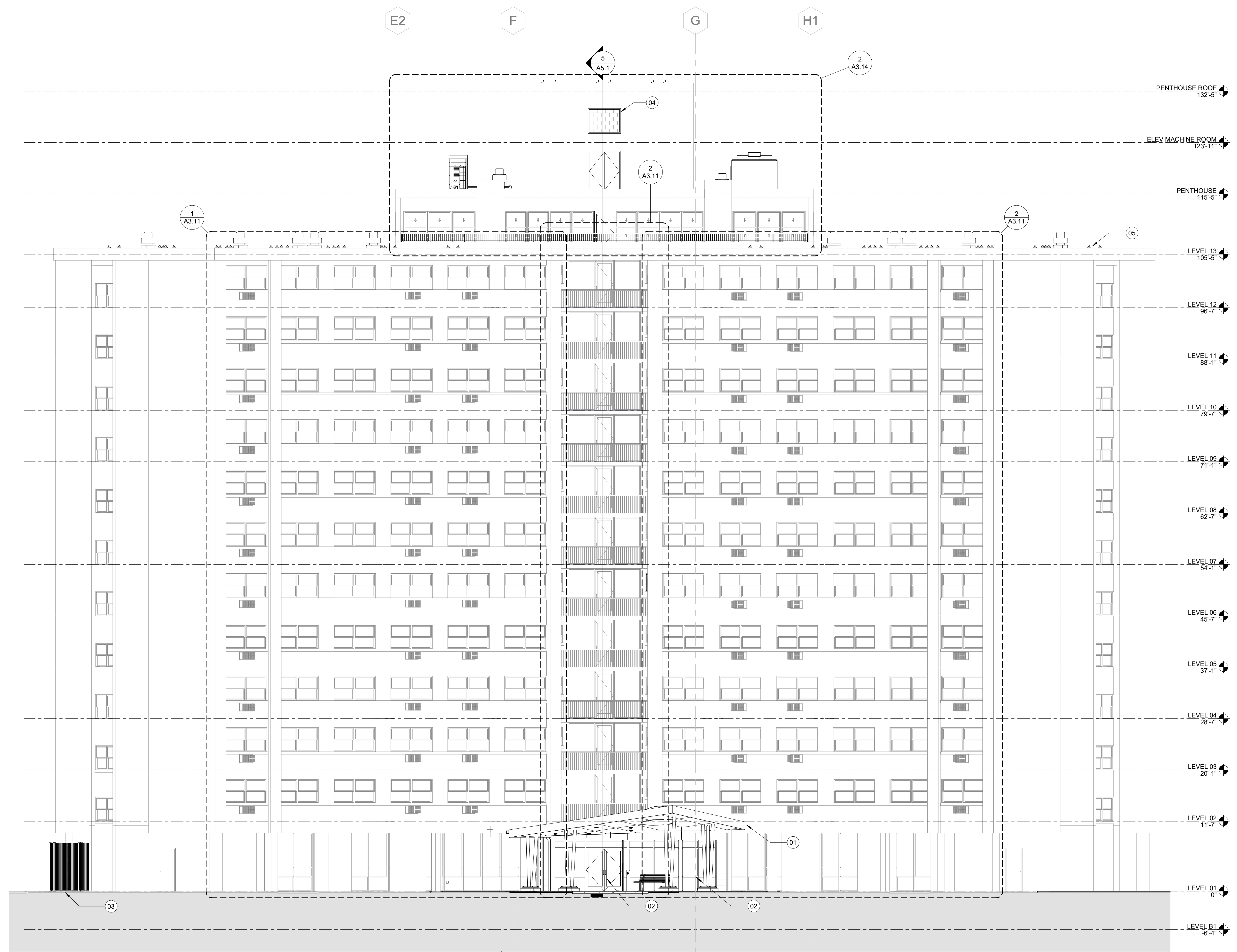
CHA CONTRACT NO: 12017-035AD  
TITLE  
**FLOOR PLAN LEVEL 13 - PENTHOUSE**

SHEET  
**A1.13**



**KEYED NOTES - EXTERIOR ELEVATIONS**

- 04 NEW INFILL AT EXISTING WALL OPENING
- 05 NEW ROOFTOP SAVETY DAVITS, SEE STRUCTURAL



**JUDGE GREEN  
EXTERIOR  
IMPROVEMENTS**  
 4030 S LAKE PARK AVE  
 CHICAGO, IL 60653

ARCHITECT OF RECORD:  
CANOPY ARCHITECTURE + DESIGN, LLC  
180 W WASHINGTON STREET, SUITE 200  
CHICAGO, IL 60602

CIVIL & STRUCTURAL ENGINEERS:  
DAVID MASON + ASSOCIATES  
333 S DESPLAINES STREET, SUITE 200  
CHICAGO, IL 60661

LANDSCAPE ARCHITECT:  
MCKAY LANDSCAPE ARCHITECTS  
5215 N RAVENSWOOD AVENUE  
CHICAGO, IL 60640

MEP ENGINEER:  
dbHMS  
303 ERIE STREET #510  
CHICAGO, IL 60654

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CHA CONTRACT NO: 12017-035AD  
TITLE

**EXTERIOR ELEVATIONS**

SHEET

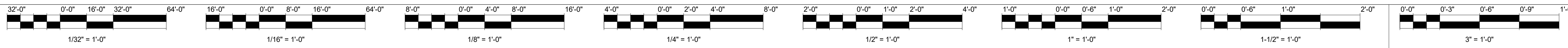
**A3.1**

**GENERAL NOTES - EXTERIOR ELEVATIONS**

- A. REFER TO FACADE REPAIR ELEVATIONS FOR REPAIR SCOPE
- B. PAINT ALL EXPOSED CONCRETE

**1 EXTERIOR ELEVATION - EAST OVERALL**  
1/8" = 1'-0"

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**KEYED NOTES - EXTERIOR ELEVATIONS**

- 04 NEW INFILL AT EXISTING WALL OPENING
- 05 NEW ROOFTOP SAFETY DAVITS, SEE STRUCTURAL



**JUDGE GREEN  
EXTERIOR  
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4030 S LAKE PARK AVE  
CHICAGO, IL 60653

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JBMMS  
303 ERIE STREET #510  
CHICAGO, IL 60654

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**EXTERIOR ELEVATIONS**

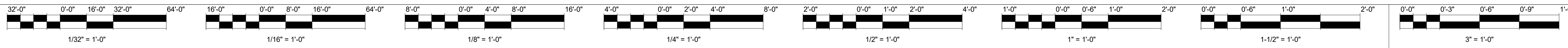
SHEET

**A3.2**

**GENERAL NOTES - EXTERIOR ELEVATIONS**

- A. REFER TO FACADE REPAIR ELEVATIONS FOR REPAIR SCOPE
- B. PAINT ALL EXPOSED CONCRETE

**1 EXTERIOR ELEVATION - WEST OVERALL**  
1/8" = 1'-0"



**KEYED NOTES - EXTERIOR ELEVATIONS**

- 01 NEW CANOPY (WORK BY OTHERS, UNDER SEPARATE CONTRACT)
- 02 NEW STOREFRONT (WORK BY OTHERS, UNDER SEPARATE CONTRACT)
- 04 NEW INFILL AT EXISTING WALL OPENING
- 05 NEW ROOFTOP SAFETY DAVITS, SEE STRUCTURAL



**JUDGE GREEN  
EXTERIOR  
IMPROVEMENTS**  
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TITLE

**EXTERIOR ELEVATIONS**

SHEET

**A3.3**

**GENERAL NOTES - EXTERIOR ELEVATIONS**

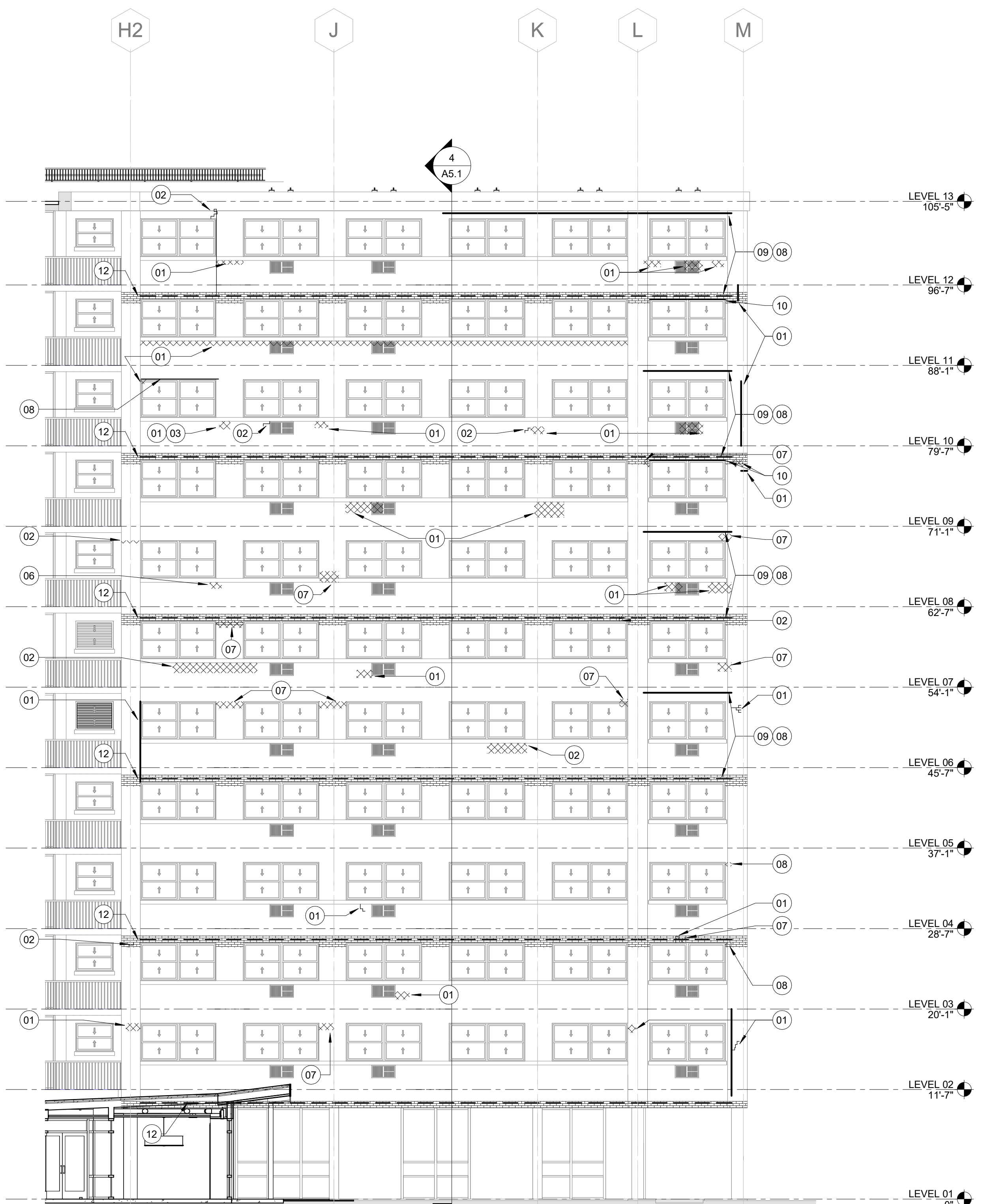
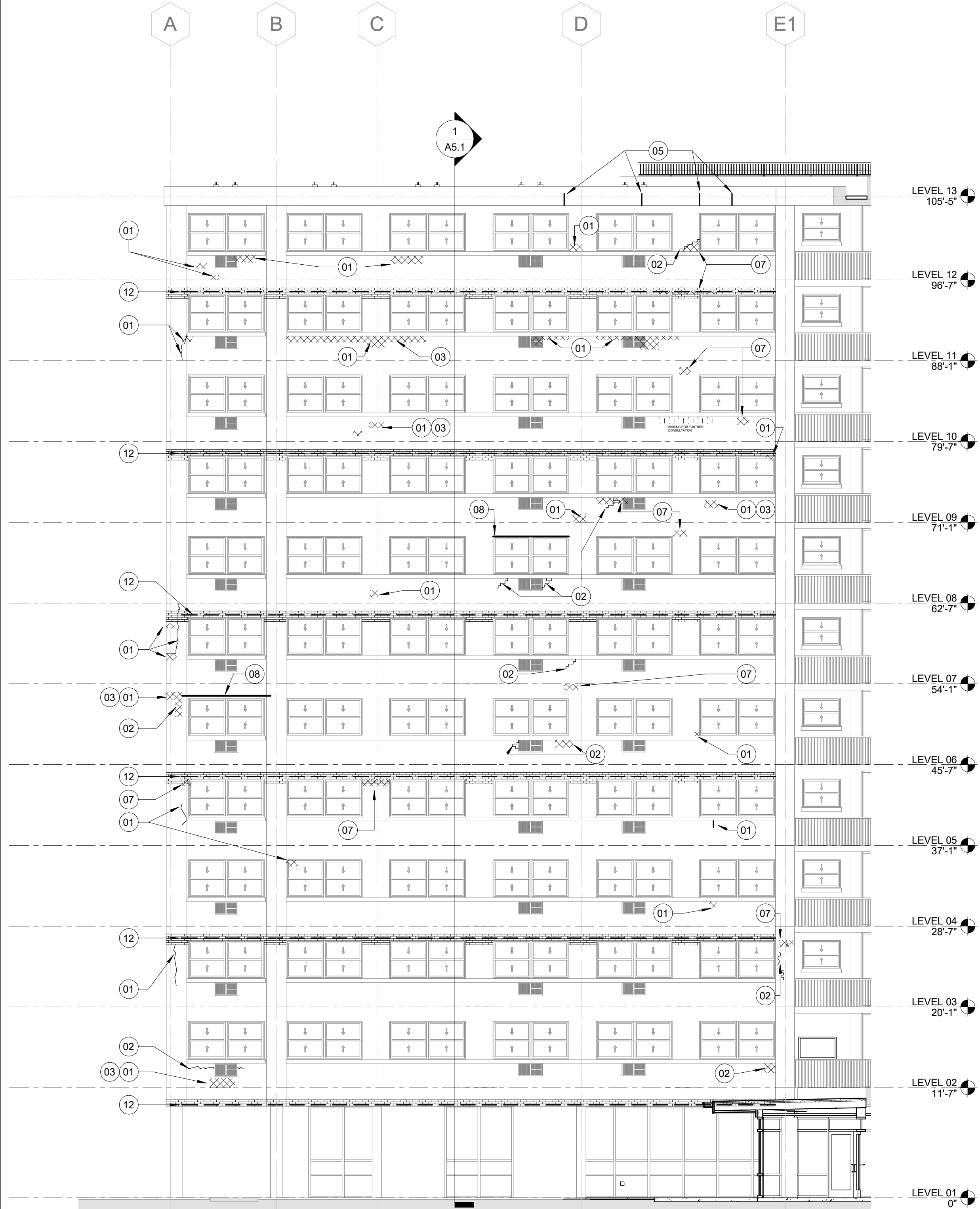
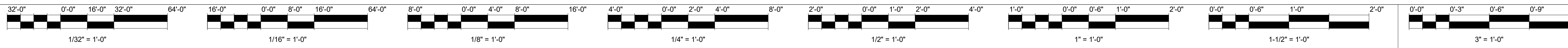
- A. REFER TO FACADE REPAIR ELEVATIONS FOR REPAIR SCOPE
- B. PAINT ALL EXPOSED CONCRETE

**2** EXTERIOR ELEVATION - SOUTH OVERALL  
1/8" = 1'-0"

**1** EXTERIOR ELEVATION - NORTH OVERALL  
1/8" = 1'-0"

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**KEYED NOTES - FACADE REPAIR ELEVATIONS**

- 01 REMOVE EXISTING DAMAGED BRICK AND ADJACENT MORTAR; REPLACE WITH BRK-1 AND M-1. REFER TO GENERAL NOTE B.
- 02 REPAIR DAMAGED MORTAR JOINT WITH M-1
- 03 REMOVED IN FIELD
- 04 REPAIR SPALLED CONCRETE, SEE DETAILS ON SHEET A6.5
- 05 REPAIR CRACKED CONCRETE, SEE DETAILS ON SHEET A6.3
- 06 REPLACE MISSING BRICK
- 07 REMOVE AND RE-SET EXISTING DISPLACED, BULGING, OR LOOSE BRICK
- 08 REPLACE CORRODED SHELF ANGLE AND BOLTS
- 09 REMOVE EXISTING DAMAGED FLASHING. REPLACE EXISTING WITH FLASH-1
- 10 REPAIR AREAS OF CORROSION: EXPOSE CORRODED STEEL, APPLY ANTI-RUST TREATMENT AND REFINISH TO MATCH EXISTING; IF CORROSION IS SEVERE, CUT AND REMOVE DAMAGED STEEL AND INSTALL NEW SPLICE, SEE STRUCTURAL
- 11 REMOVE EXISTING DAMAGED CAULK, APPLY PRIMER PRIOR TO RE-CAULKING, THEN INSTALL NEW CAULK (CLK-1)
- 12 REPLACE SHELF ANGLES, EVERY OTHER FLOOR U.N.O., WITH NEW GALVANIZED STEEL ANGLES - SEE DETAILS ON SHEET A6.4, COORDINATE WITH STRUCTURAL
- 13 CLEAN, PATCH, AND REPAIR EXISTING EXTERIOR CONCRETE WALLS AS NEEDED FOR NEW PAINT; REPAINT ENTIRE EXTERIOR OF ELEVATOR PENTHOUSE PT-2, SEE FINISH SCHEDULE

**GENERAL NOTES - FACADE REPAIR ELEVATIONS**

- A. COORDINATE ALL MASONRY REPAIR WORK WITH REPAIR OF SHELF ANGLES. REFER TO STRUCTURAL DRAWINGS.
- B. REPLACE ALL DAMAGED BRICKS, AS INDICATED ON THE EXTERIOR ELEVATIONS. DAMAGED BRICKS INCLUDE ALL BRICKS THAT ARE SPALLED, CRACKED, OR OTHERWISE DETERIORATED.
- C. REPLACE ALL DAMAGED CAULK AS INDICATED ON THE EXTERIOR ELEVATIONS. DAMAGED CAULK INCLUDES ALL CAULK THAT IS BULGING OR DETERIORATED.
- D. REPLACE OR REPAIR ALL DAMAGED MORTAR AS INDICATED ON THE EXTERIOR ELEVATIONS. DAMAGED MORTAR INCLUDES ALL MORTAR THAT IS CRACKED, LOOSE, OR OTHERWISE DETERIORATED.
- E. REMOVE AND REPLACE CAULK WITH CLK-1 AT ALL EXISTING AIR CONDITIONER UNITS, UNO.
- F. PAINT ALL EXPOSED CONCRETE

**ELEVATION LEGEND**

- HATCH INDICATES APPROXIMATE EXTENT OF MASONRY WORK REQUIRED, VIF. REFER TO KEYED NOTES FOR TYPE OF WORK.
- HATCH INDICATES APPROXIMATE EXTENT OF EXISTING MASONRY ABOVE AND BELOW EXISTING SHELF ANGLE TO BE REMOVED FOR REPAIR OF EXISTING SHELF ANGLE. SALVAGE BRICK FOR REINSTALLATION ABOVE WINDOWS, UNO. REFER TO A-400 SERIES FOR ENLARGED ELEVATIONS AND DETAILS.
- REMOVE EXISTING MORTAR AT SIDES OF CAST STONE SILL. REPLACE WITH CLK-1. REFER TO A-400 SERIES FOR ENLARGED ELEVATIONS AND DETAILS
- EXISTING AIR CONDITIONING UNIT TO REMAIN. REFER TO GENERAL NOTE E.

**MATERIALS**

- BRK-1 MODULAR BRICK, MATCH EXISTING
- CLK-1 CAULK JOINT, MATCH EXISTING
- FLASH-1 MEMBRANE FLASHING WITH STAINLESS STEEL DRIP EDGE
- M-1 MORTAR, MATCH EXISTING
- PNT-1 SHELF ANGLE/LINTEL PAINT, COLOR TBD



**JUDGE GREEN EXTERIOR IMPROVEMENTS**  
4030 S LAKE PARK AVE  
CHICAGO, IL 60653

ARCHITECT OF RECORD:  
CANOPY ARCHITECTURE + DESIGN, LLC  
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CIVIL & STRUCTURAL ENGINEERS:  
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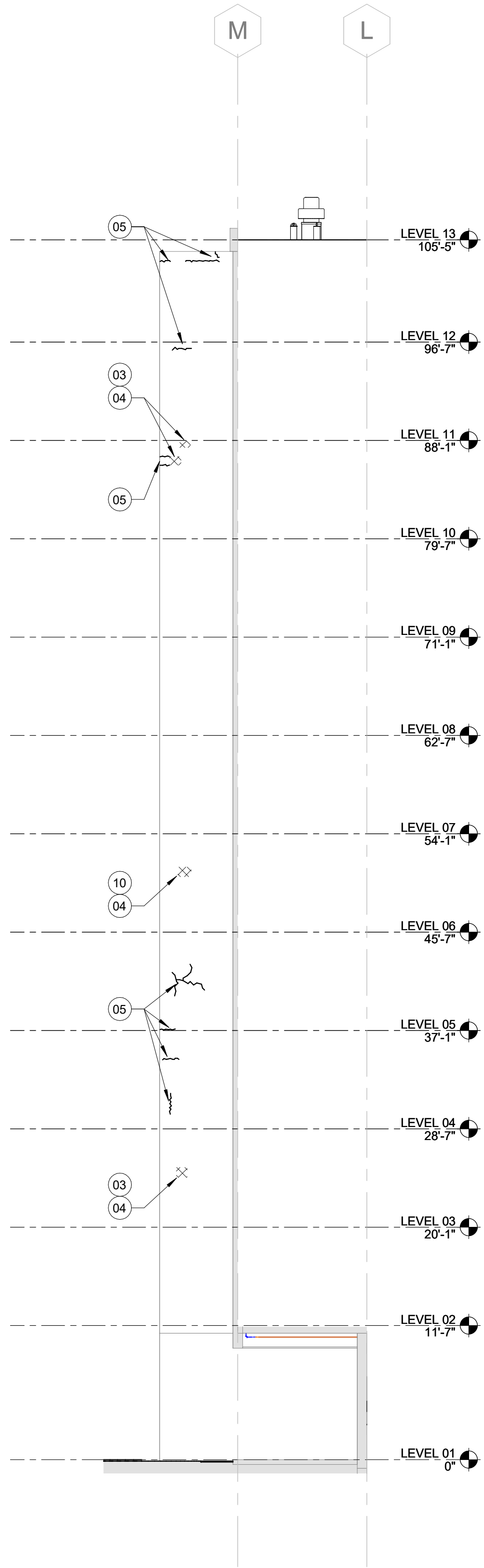
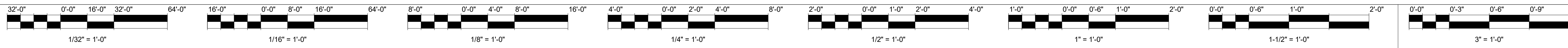
**FACADE REPAIR ELEVATIONS**

SHEET

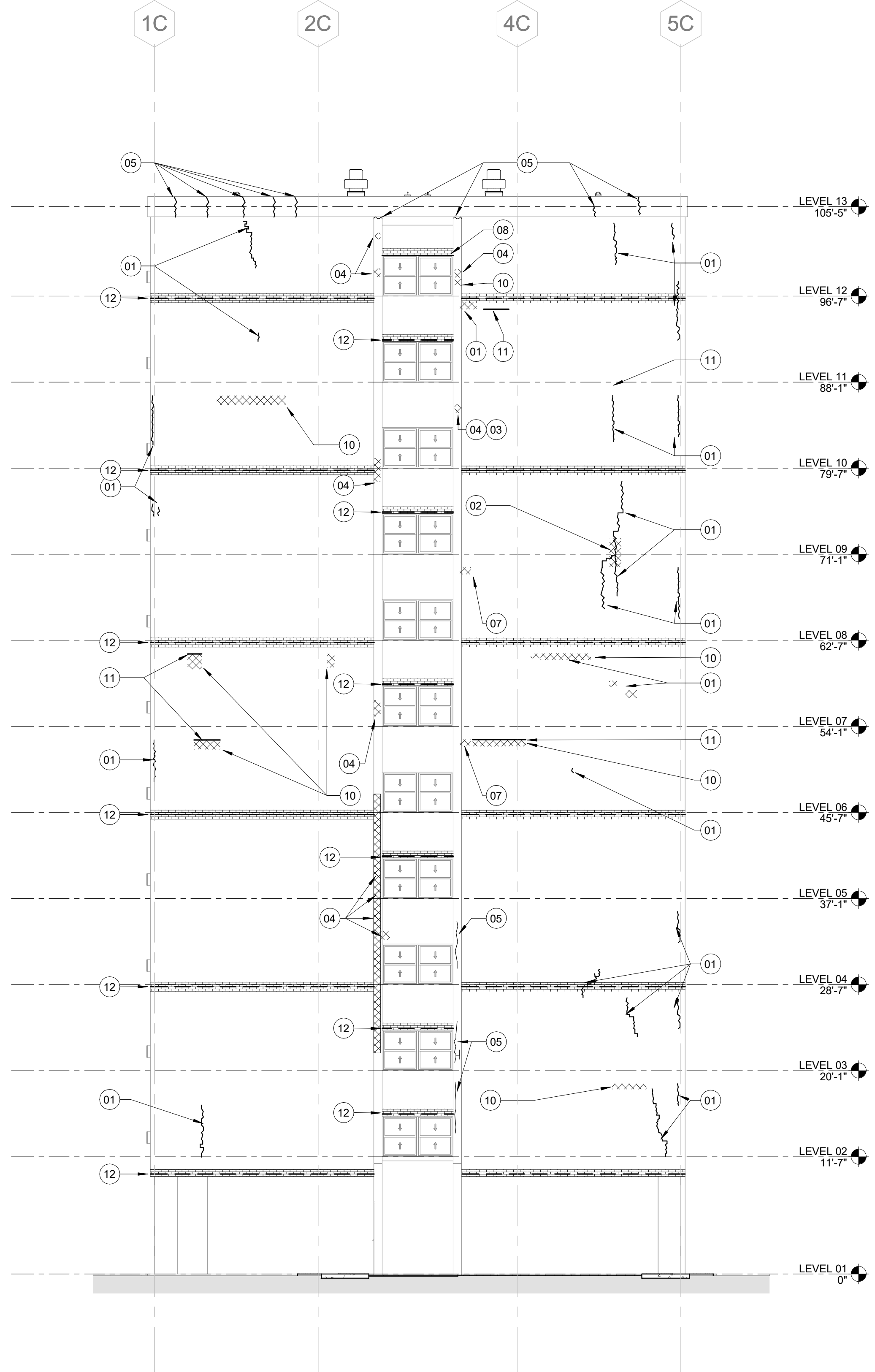
**A3.11**

**1 EXTERIOR ELEVATION - EAST A**  
1/8" = 1'-0"

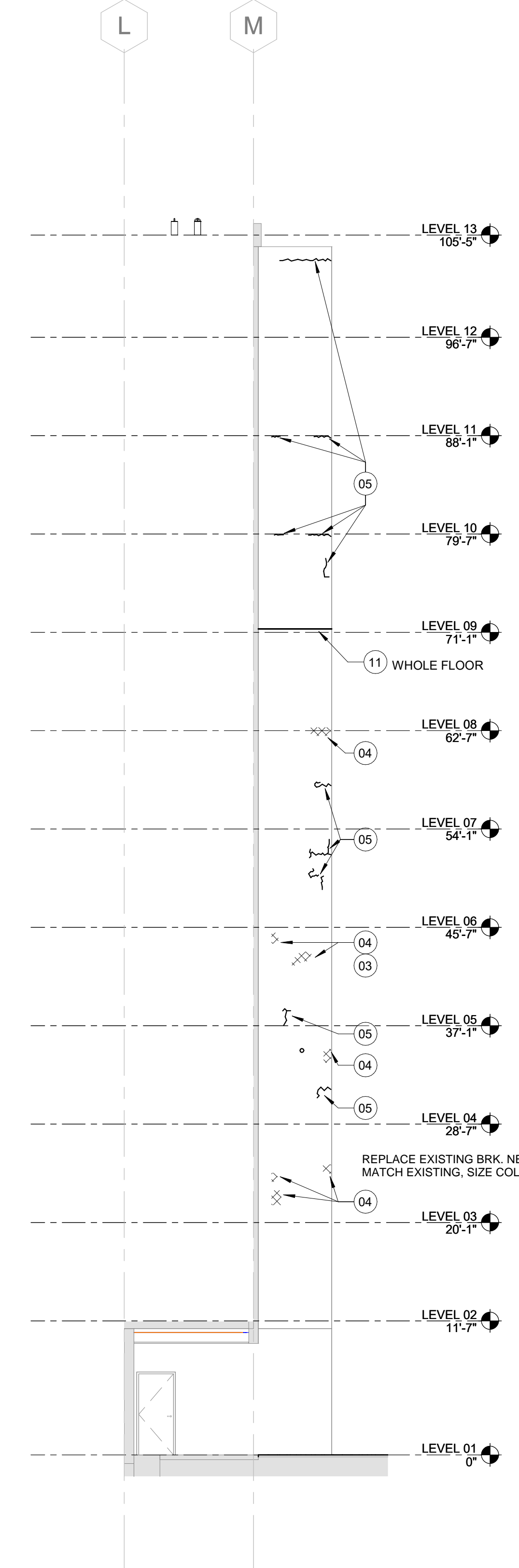
**2 EXTERIOR ELEVATION - EAST B**  
1/8" = 1'-0"



**2** EXTERIOR ELEVATION - NORTH A LEFT  
1/8" = 1'-0"



**1** EXTERIOR ELEVATION - NORTH A  
1/8" = 1'-0"



**3** EXTERIOR ELEVATION - NORTH A RIGHT  
1/8" = 1'-0"

**KEYED NOTES - FACADE REPAIR ELEVATIONS**

- 01 REMOVE EXISTING DAMAGED BRICK AND ADJACENT MORTAR; REPLACE WITH WITH BRK-1, AND M-1. REFER TO GENERAL NOTE B.
- 02 REPAIR DAMAGED MORTAR JOINT WITH M-1 REMOVED IN FIELD
- 03 REPAIR SPALLED CONCRETE, SEE DETAILS ON SHEET A6.5
- 04 REPAIR CRACKED CONCRETE, SEE DETAILS ON SHEET A6.3
- 05 REPLACE MISSING BRICK
- 06 REMOVE AND RE-SET EXISTING DISPLACED, BULGING, OR LOOSE BRICK
- 07 REPLACE CORRODED SHELF ANGLE AND BOLTS
- 08 REMOVE EXISTING DAMAGED FLASHING. REPLACE EXISTING WITH FLASH-1
- 09 REPAIR AREAS OF CORROSION; EXPOSE CORRODED STEEL. APPLY ANTI-RUST TREATMENT AND REFINISH TO MATCH EXISTING; IF CORROSION IS SEVERE, CUT AND REMOVE DAMAGED STEEL AND INSTALL NEW SPLICE, SEE STRUCTURAL.
- 10 REMOVE EXISTING DAMAGED CAULK, APPLY PRIMER PRIOR TO RE-CAULKING, THEN INSTALL NEW CAULK (CLK-1)
- 11 REPLACE SHELF ANGLES, EVERY OTHER FLOOR U.N.O., WITH NEW GALVANIZED STEEL ANGLES - SEE DETAILS ON SHEET A6.4, COORDINATE WITH STRUCTURAL
- 12 CLEAN, PATCH, AND REPAIR EXISTING EXTERIOR CONCRETE WALLS AS NEEDED FOR NEW PAINT; REPAINT ENTIRE EXTERIOR OF ELEVATOR PENTHOUSE PT-2. SEE FINISH SCHEDULE

**GENERAL NOTES - FACADE REPAIR ELEVATIONS**

- A. COORDINATE ALL MASONRY REPAIR WORK WITH REPAIR OF SHELF ANGLES. REFER TO STRUCTURAL DRAWINGS.
- B. REPLACE ALL DAMAGED BRICKS, AS INDICATED ON THE EXTERIOR ELEVATIONS. DAMAGED BRICKS INCLUDE ALL BRICKS THAT ARE SPALLED, CRACKED, OR OTHERWISE DETERIORATED.
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- E. REMOVE AND REPLACE CAULK WITH CLK-1 AT ALL EXISTING AIR CONDITIONER UNITS, UNO.

**ELEVATION LEGEND**

- HATCH INDICATES APPROXIMATE EXTENT OF MASONRY WORK REQUIRED, V.I.F. REFER TO KEYED NOTES FOR TYPE OF WORK.
- HATCH INDICATES APPROXIMATE EXTENT OF EXISTING MASONRY ABOVE AND BELOW EXISTING SHELF ANGLE TO BE REMOVED FOR REPAIR OF EXISTING SHELF ANGLE.  
REPLACE EXIST. BRICK W/ NEW BRICK. NEW BRICK SHALL BE SW & MATCH EXISTING SIZE, COLOR, & TEXTURE. REFER TO A-400 SERIES FOR ENLARGED ELEVATIONS AND DETAILS.
- REMOVE EXISTING MORTAR AT SIDES OF CAST STONE SILL. REPLACE WITH CLK-1. REFER TO A-400 SERIES FOR ENLARGED ELEVATIONS AND DETAILS
- EXISTING AIR CONDITIONING UNIT TO REMAIN. REFER TO GENERAL NOTE E.

**MATERIALS**

- BRK-1 MODULAR BRICK, MATCH EXISTING
- CLK-1 CAULK JOINT, MATCH EXISTING
- FLASH-1 MEMBRANE FLASHING WITH STAINLESS STEEL DRIP EDGE
- M-1 MORTAR, MATCH EXISTING
- PNT-1 SHELF ANGLE/LINTEL PAINT, COLOR TBD



**JUDGE GREEN  
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CHICAGO, IL 60653

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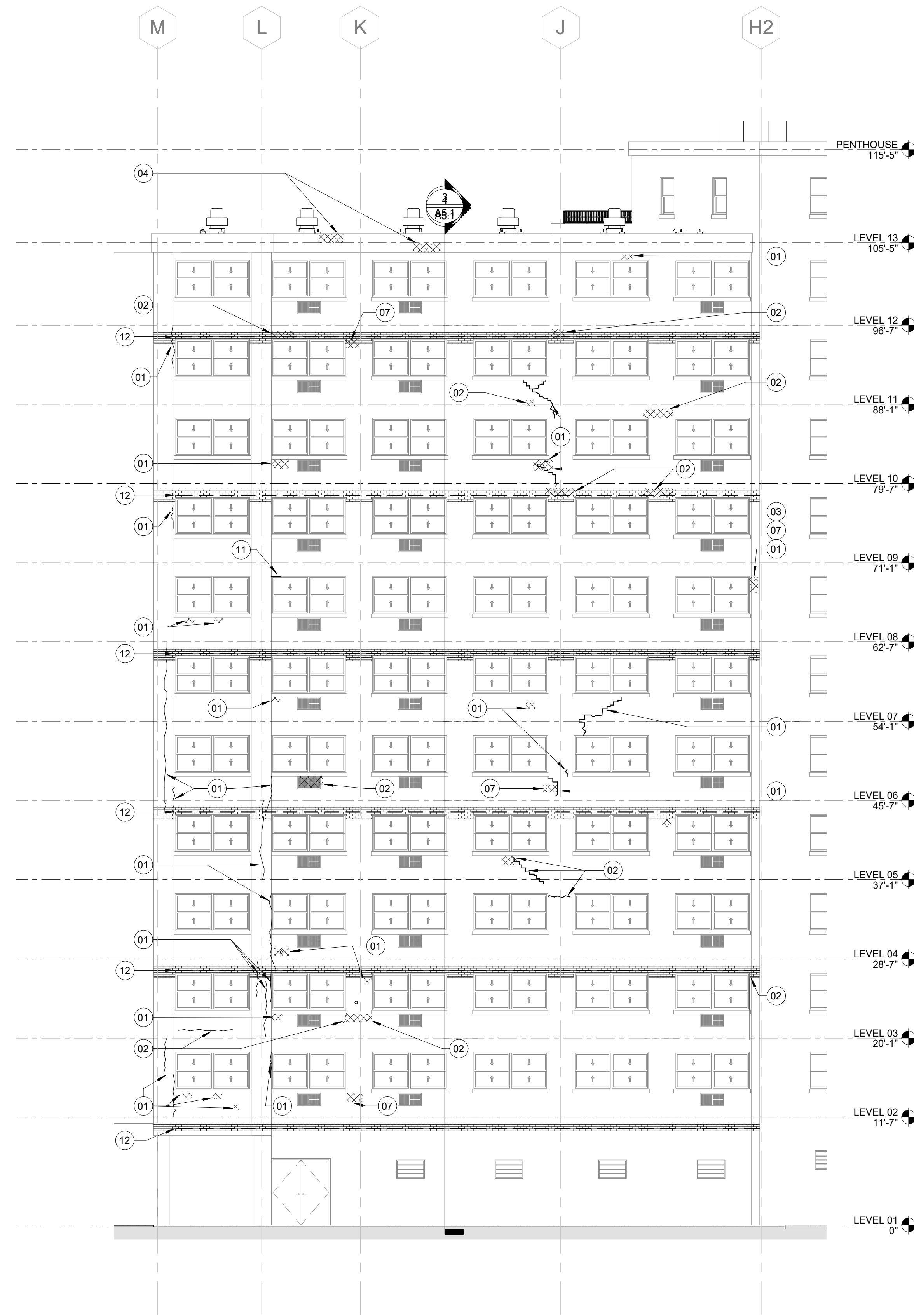
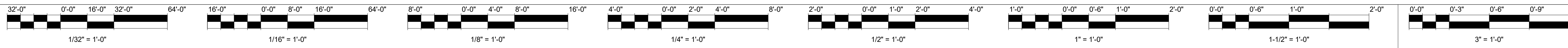
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CHA CONTRACT NO: 12017-035AD

**FACADE REPAIR ELEVATIONS**

SHEET

**A3.12**



**1** EXTERIOR ELEVATION - WEST A  
1/8" = 1'-0"



**2** EXTERIOR ELEVATION - WEST B  
1/8" = 1'-0"

**KEYED NOTES - FACADE REPAIR ELEVATIONS**

- 01 REMOVE EXISTING DAMAGED BRICK AND ADJACENT MORTAR; REPLACE WITH BRK-1 AND M-1. REFER TO GENERAL NOTE B.
- 02 REPAIR DAMAGED MORTAR JOINT WITH M-1
- 03 REMOVED IN FIELD
- 04 REPAIR SPALLED CONCRETE, SEE DETAILS ON SHEET A6.5
- 05 REPAIR CRACKED CONCRETE, SEE DETAILS ON SHEET A6.3
- 06 REPLACE MISSING BRICK
- 07 REMOVE AND RE-SET EXISTING DISPLACED, BULGING, OR LOOSE BRICK
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- 13 CLEAN, PATCH, AND REPAIR EXISTING EXTERIOR CONCRETE WALLS AS NEEDED FOR NEW PAINT; REPAINT ENTIRE EXTERIOR OF ELEVATOR PENTHOUSE PT-2, SEE FINISH SCHEDULE
- 14 REMOVE & REPLACE SEALANT @ EXISTING EXPANSION JOINT. INSTALL BOND BREAKER ROD, SEALANT PRIMER, & SEALANT
- 15 PAINT ALL EXPOSED CONCRETE

**GENERAL NOTES - FACADE REPAIR ELEVATIONS**

- A. COORDINATE ALL MASONRY REPAIR WORK WITH REPAIR OF SHELF ANGLES. REFER TO STRUCTURAL DRAWINGS.
- B. REPLACE ALL DAMAGED BRICKS, AS INDICATED ON THE EXTERIOR ELEVATIONS. DAMAGED BRICKS INCLUDE ALL BRICKS THAT ARE SPALLED, CRACKED, OR OTHERWISE DETERIORATED.
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**ELEVATION LEGEND**

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- HATCH INDICATES APPROXIMATE EXTENT OF EXISTING MASONRY ABOVE AND BELOW EXISTING SHELF ANGLE TO BE REMOVED FOR REPAIR OF EXISTING SHELF ANGLE. SALVAGE BRICK FOR REINSTALLATION ABOVE WINDOWS, UNO. REFER TO A-400 SERIES FOR ENLARGED ELEVATIONS AND DETAILS.
- REMOVE EXISTING MORTAR AT SIDES OF CAST STONE SILL. REPLACE WITH CLK-1. REFER TO A-400 SERIES FOR ENLARGED ELEVATIONS AND DETAILS
- EXISTING AIR CONDITIONING UNIT TO REMAIN. REFER TO GENERAL NOTE E.

**MATERIALS**

- BRK-1 MODULAR BRICK, MATCH EXISTING
- CLK-1 CAULK JOINT, MATCH EXISTING
- FLASH-1 MEMBRANE FLASHING WITH STAINLESS STEEL DRIP EDGE
- M-1 MORTAR, MATCH EXISTING
- PNT-1 SHELF ANGLE/LINTEL PAINT, COLOR TBD



**JUDGE GREEN  
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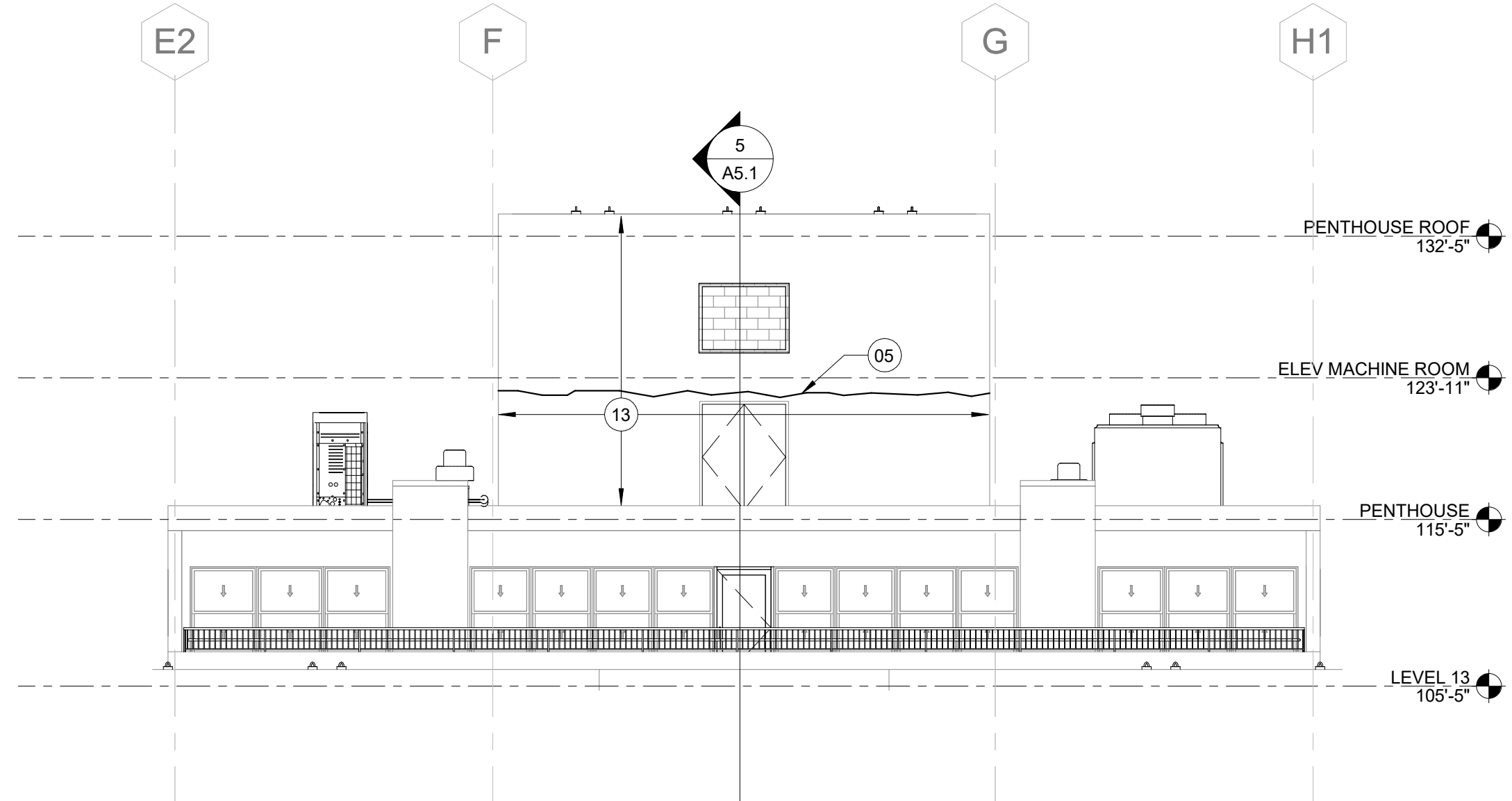
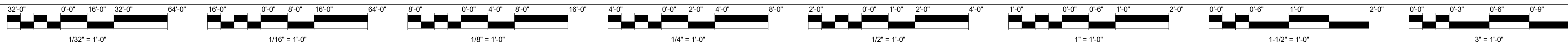
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CHA CONTRACT NO: 12017-035AD

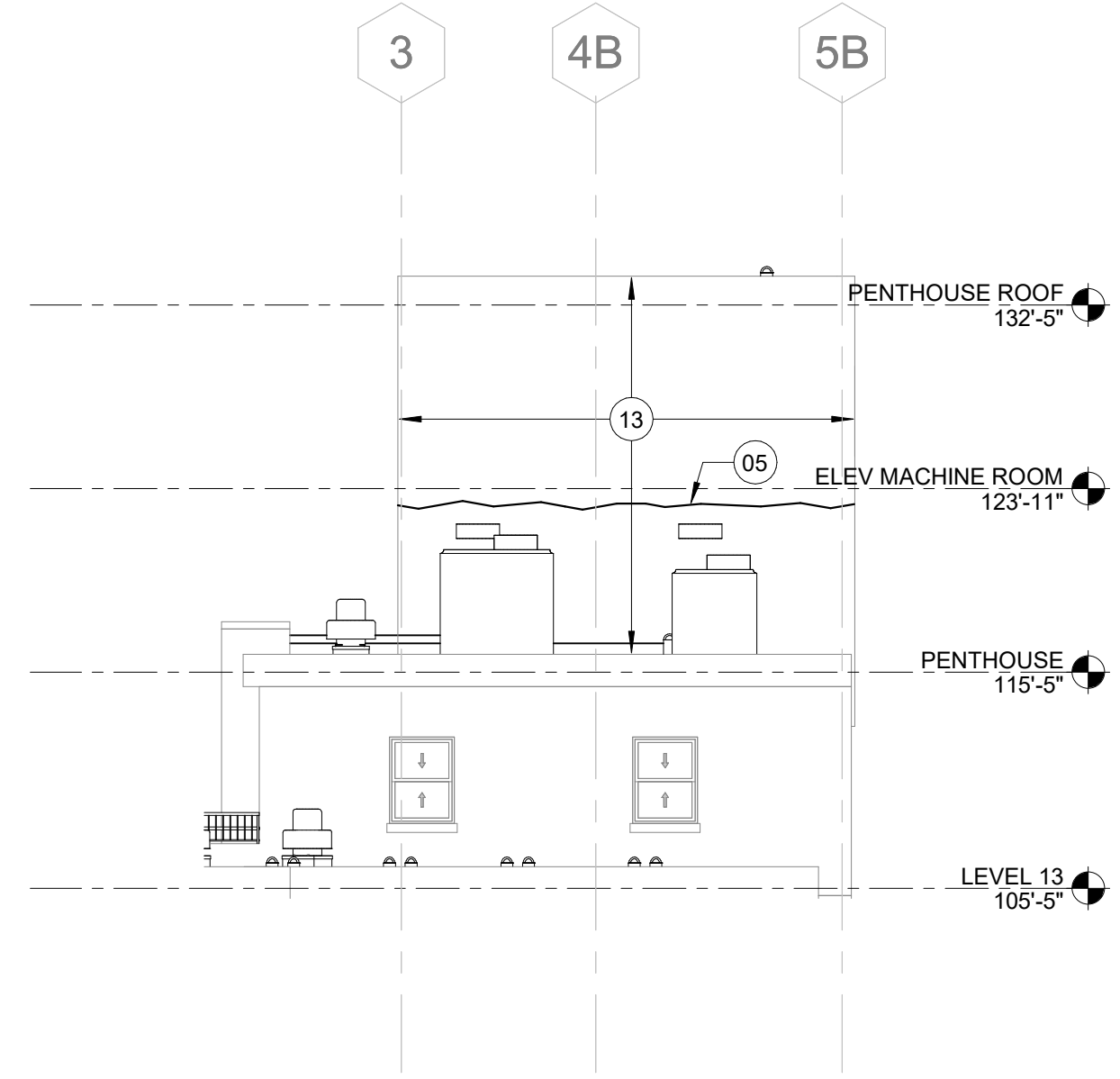
**FACADE REPAIR ELEVATIONS**

SHEET

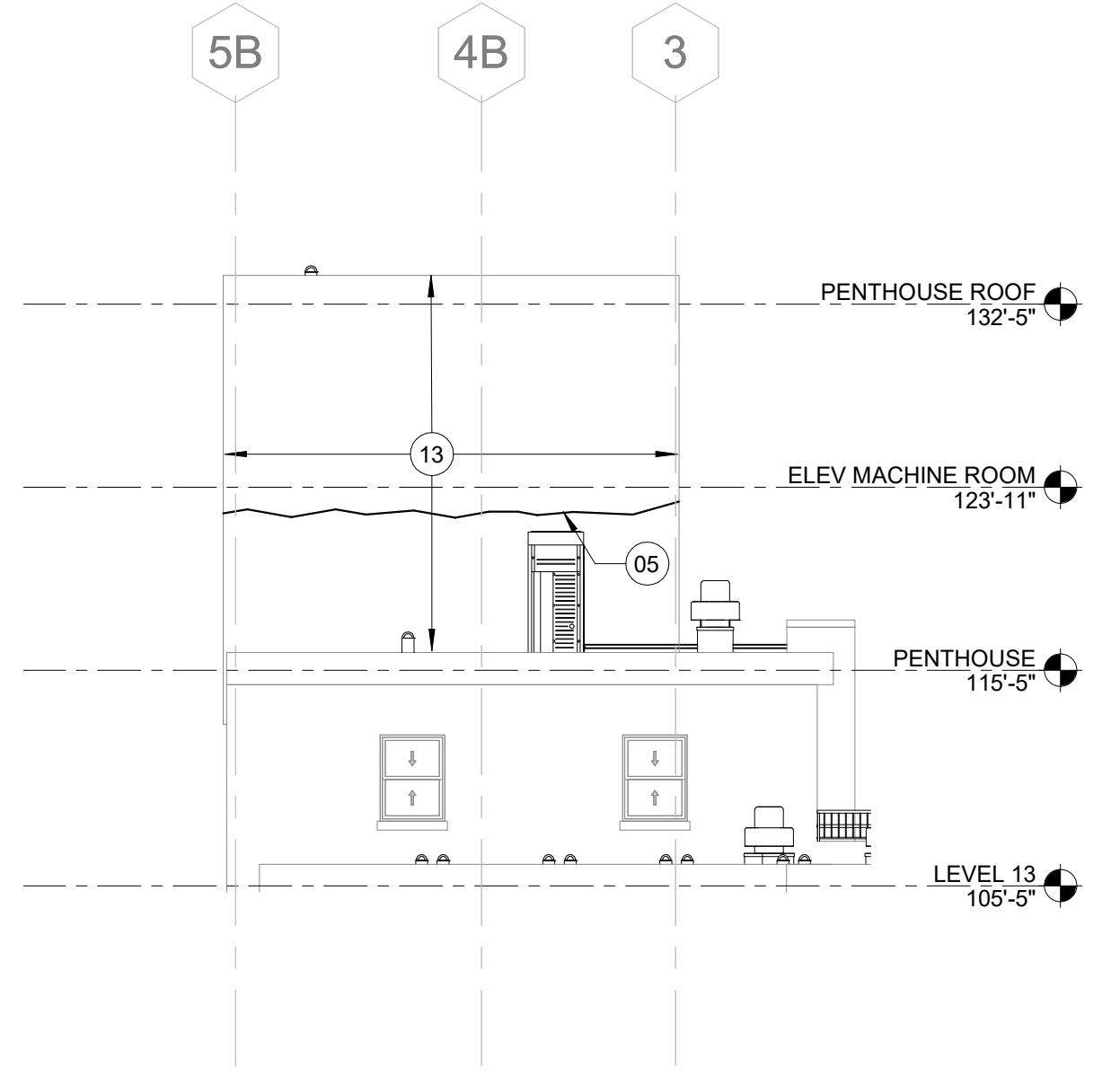
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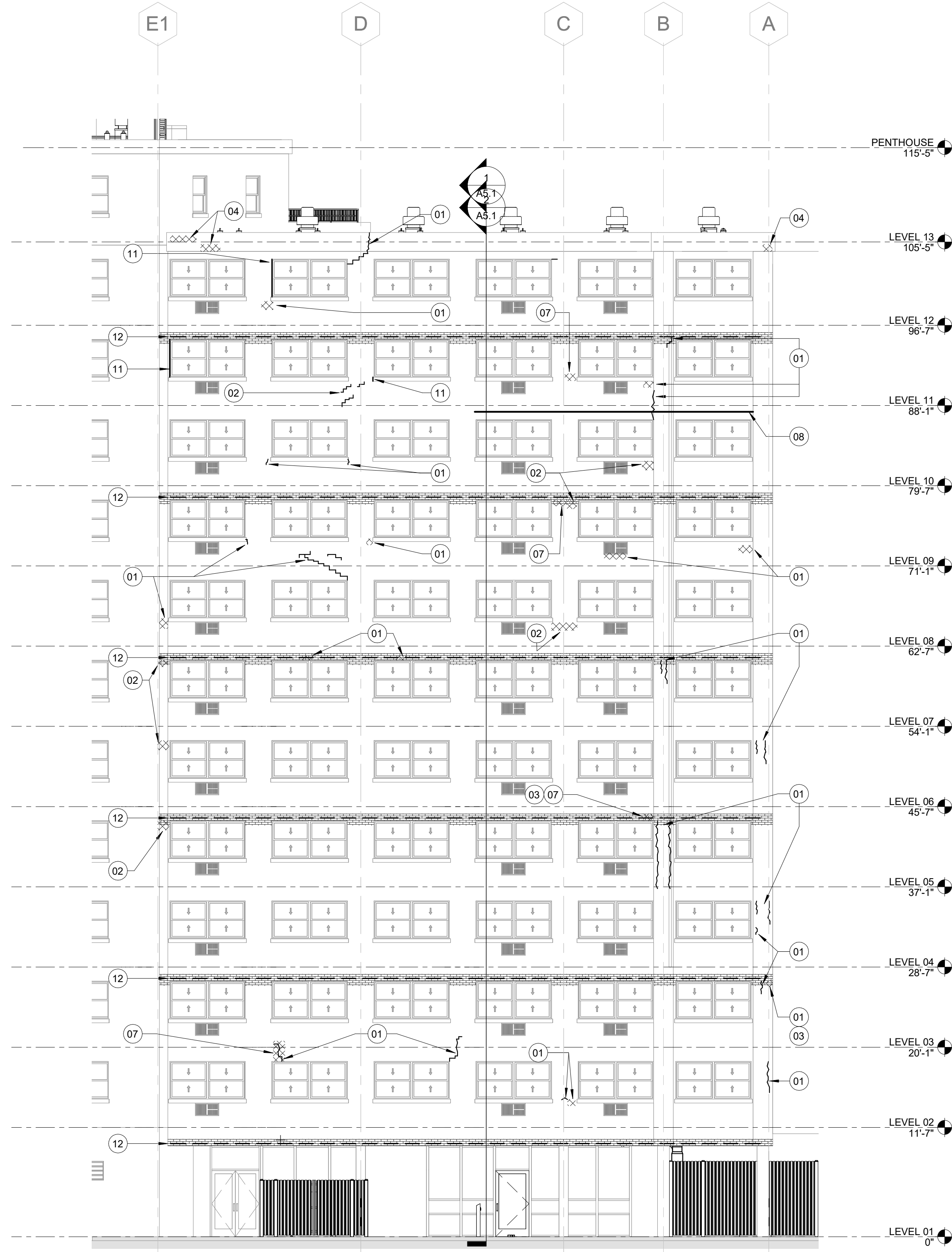
**2 EXTERIOR ELEVATION - EAST PENTHOUSE FACADE REPAIR**  
1/8" = 1'-0"



**3 EXTERIOR ELEVATION - NORTH PENTHOUSE FACADE REPAIR**  
1/8" = 1'-0"



**4 EXTERIOR ELEVATION - SOUTH PENTHOUSE FACADE REPAIR**  
1/8" = 1'-0"



**1 EXTERIOR ELEVATION - WEST C**  
1/8" = 1'-0"

**KEYED NOTES - FACADE REPAIR ELEVATIONS**

- 01 REMOVE EXISTING DAMAGED BRICK AND ADJACENT MORTAR; REPLACE WITH WITH BRK-1 AND M-1. REFER TO GENERAL NOTE B.
- 02 REPAIR DAMAGED MORTAR JOINT WITH M-1
- 03 REMOVED IN FIELD
- 04 REPAIR SPALLED CONCRETE, SEE DETAILS ON SHEET A6.5
- 05 REPAIR CRACKED CONCRETE, SEE DETAILS ON SHEET A6.3
- 06 REPLACE MISSING BRICK
- 07 REMOVE AND RE-SET EXISTING DISPLACED, BULGING, OR LOOSE BRICK
- 08 REPLACE CORRODED SHELF ANGLE AND BOLTS
- 09 REMOVE EXISTING DAMAGED FLASHING. REPLACE EXISTING WITH FLASH-1
- 10 REPAIR AREAS OF CORROSION: EXPOSE CORRODED STEEL, APPLY ANTI-RUST TREATMENT AND REFINISH TO MATCH EXISTING; IF CORROSION IS SEVERE, CUT AND REMOVE DAMAGED STEEL AND INSTALL NEW SPLICE, SEE STRUCTURAL
- 11 REMOVE EXISTING DAMGED CAULK, APPLY PRIMER PRIOR TO RE-CAULKING, THEN INSTALL NEW CAULK (CLK-1)
- 12 REPLACE SHELF ANGLES, EVERY OTHER FLOOR U.N.O., WITH NEW GALVANIZED STEEL ANGLES - SEE DETAILS ON SHEET A6.4, COORDINATE WITH STRUCTURAL
- 13 CLEAN, PATCH, AND REPAIR EXISTING EXTERIOR CONCRETE WALLS AS NEEDED FOR NEW PAINT; REPAINT ENTIRE EXTERIOR OF ELEVATOR PENTHOUSE PT-2, SEE FINISH SCHEDULE
- 14 REMOVE & REPLACE SEALANT @ EXISTING EXPANSION JOINT. INSTALL BOND BREAKER ROD, SEALANT PRIMER, & SEALANT
15. PAINT ALL EXPOSED CONCRETE

**GENERAL NOTES - FACADE REPAIR ELEVATIONS**

- A. COORDINATE ALL MASONRY REPAIR WORK WITH REPAIR OF SHELF ANGLES. REFER TO STRUCTURAL DRAWINGS.
- B. REPLACE ALL DAMAGED BRICKS, AS INDICATED ON THE EXTERIOR ELEVATIONS. DAMAGED BRICKS INCLUDE ALL BRICKS THAT ARE SPALLED, CRACKED, OR OTHERWISE DETERIORATED.
- C. REPLACE ALL DAMAGED CAULK AS INDICATED ON THE EXTERIOR ELEVATIONS. DAMAGED CAULK INCLUDES ALL CAULK THAT IS BULGING OR DETERIORATED.
- D. REPLACE OR REPAIR ALL DAMAGED MORTAR AS INDICATED ON THE EXTERIOR ELEVATIONS. DAMAGED MORTAR INCLUDES ALL MORTAR THAT IS CRACKED, LOOSE, OR OTHERWISE DETERIORATED.
- E. REMOVE AND REPLACE CAULK WITH CLK-1 AT ALL EXISTING AIR CONDITIONER UNITS, UNO.

**ELEVATION LEGEND**

- HATCH INDICATES APPROXIMATE EXTENT OF MASONRY WORK REQUIRED, V.P. REFER TO KEYED NOTES FOR TYPE OF WORK.
- HATCH INDICATES APPROXIMATE EXTENT OF EXISTING MASONRY ABOVE AND BELOW EXISTING SHELF ANGLE TO BE REMOVED FOR REPAIR OF EXISTING SHELF ANGLE. SALVAGE BRICK FOR REINSTALLATION ABOVE WINDOWS, UNO. REFER TO A-400 SERIES FOR ENLARGED ELEVATIONS AND DETAILS.
- REMOVE EXISTING MORTAR AT SIDES OF CAST STONE SILL. REPLACE WITH CLK-1. REFER TO A-400 SERIES FOR ENLARGED ELEVATIONS AND DETAILS
- EXISTING AIR CONDITIONING UNIT TO REMAIN. REFER TO GENERAL NOTE E.

**MATERIALS**

- BRK-1 MODULAR BRICK, MATCH EXISTING
- CLK-1 CAULK JOINT, MATCH EXISTING
- FLASH-1 MEMBRANE FLASHING WITH STAINLESS STEEL DRIP EDGE
- M-1 MORTAR, MATCH EXISTING
- PNT-1 SHELF ANGLE/LINTEL PAINT, COLOR TBD



**JUDGE GREEN EXTERIOR IMPROVEMENTS**  
4030 S LAKE PARK AVE  
CHICAGO, IL 60653

ARCHITECT OF RECORD:  
CANOPY ARCHITECTURE + DESIGN, LLC  
180 W WASHINGTON STREET, SUITE 200  
CHICAGO, IL 60602

CIVIL & STRUCTURAL ENGINEERS:  
DAVID MASON + ASSOCIATES  
333 S DESPLAINES STREET, SUITE 200  
CHICAGO, IL 60661

LANDSCAPE ARCHITECT:  
MCKAY LANDSCAPE ARCHITECTS  
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CHICAGO, IL 60640

MEP ENGINEER:  
dbHMS  
303 ERIE STREET #510  
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ISSUANCE

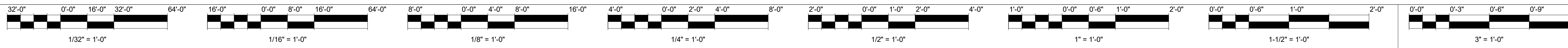
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**FACADE REPAIR ELEVATIONS**

SHEET

**A3.14**



**KEYED NOTES - FACADE REPAIR ELEVATIONS**

- 01 REMOVE EXISTING DAMAGED BRICK AND ADJACENT MORTAR; REPLACE WITH WITH BRK-1, AND M-1. REFER TO GENERAL NOTE B.
- 02 REPAIR DAMAGED MORTAR JOINT WITH M-1
- 03 REMOVED IN FIELD
- 04 REPAIR SPALLED CONCRETE. SEE DETAILS ON SHEET A6.5
- 05 REPAIR CRACKED CONCRETE. SEE DETAILS ON SHEET A6.3
- 06 REPLACE MISSING BRICK
- 07 REMOVE AND RE-SET EXISTING DISPLACED, BULGING, OR LOOSE BRICK
- 08 REPLACE CORRODED SHELF ANGLE AND BOLTS
- 09 REMOVE EXISTING DAMAGED FLASHING. REPLACE EXISTING WITH FLASH-1
- 10 REPAIR AREAS OF CORROSION: EXPOSE CORRODED STEEL, APPLY ANTI-RUST TREATMENT AND REFINISH TO MATCH EXISTING; IF CORROSION IS SEVERE, CUT AND REMOVE DAMAGED STEEL AND INSTALL NEW SPLICE, SEE STRUCTURAL
- 11 REMOVE EXISTING DAMAGED CAULK. APPLY PRIMER PRIOR TO RE-CAULKING, THEN INSTALL NEW CAULK (CLK-1)
- 12 REPLACE SHELF ANGLES, EVERY OTHER FLOOR U.N.O., WITH NEW GALVANIZED STEEL ANGLES - SEE DETAILS ON SHEET A6.4, COORDINATE WITH STRUCTURAL
- 13 CLEAN, PATCH, AND REPAIR EXISTING EXTERIOR CONCRETE WALLS AS NEEDED FOR NEW PAINT; REPAINT ENTIRE EXTERIOR OF ELEVATOR PENTHOUSE PT-2, SEE FINISH SCHEDULE

**GENERAL NOTES - FACADE REPAIR ELEVATIONS**

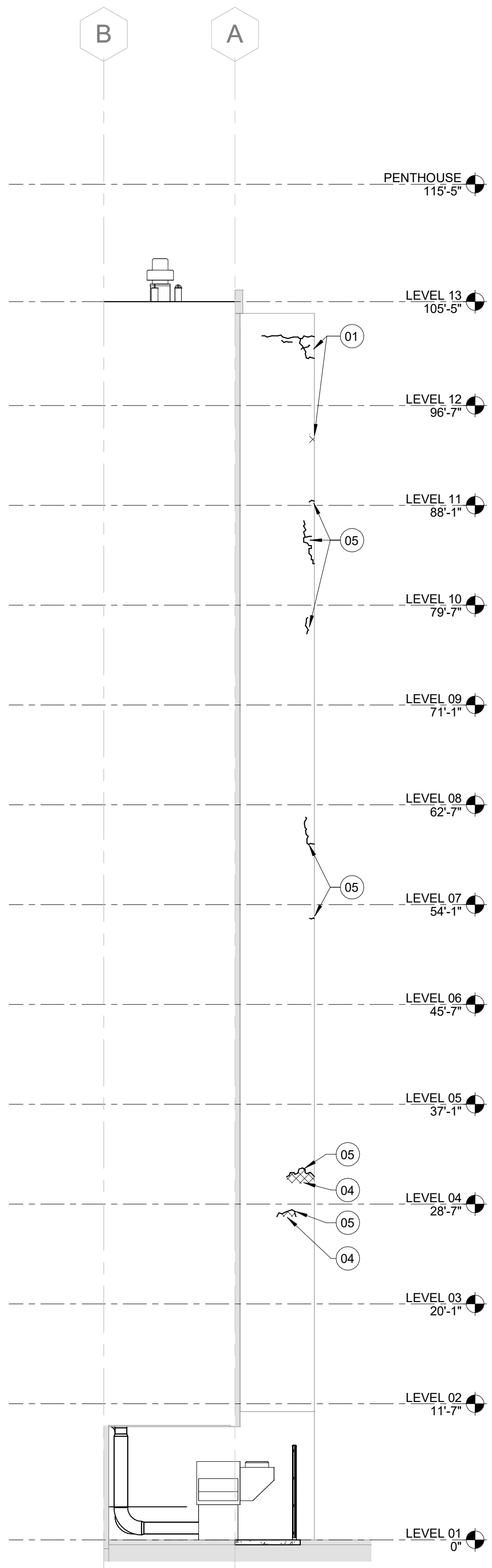
- A. COORDINATE ALL MASONRY REPAIR WORK WITH REPAIR OF SHELF ANGLES. REFER TO STRUCTURAL DRAWINGS.
- B. REPLACE ALL DAMAGED BRICKS, AS INDICATED ON THE EXTERIOR ELEVATIONS. DAMAGED BRICKS INCLUDE ALL BRICKS THAT ARE SPALLED, CRACKED, OR OTHERWISE DETERIORATED.
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- E. REMOVE AND REPLACE CAULK WITH CLK-1 AT ALL EXISTING AIR CONDITIONER UNITS, UNO.

**ELEVATION LEGEND**

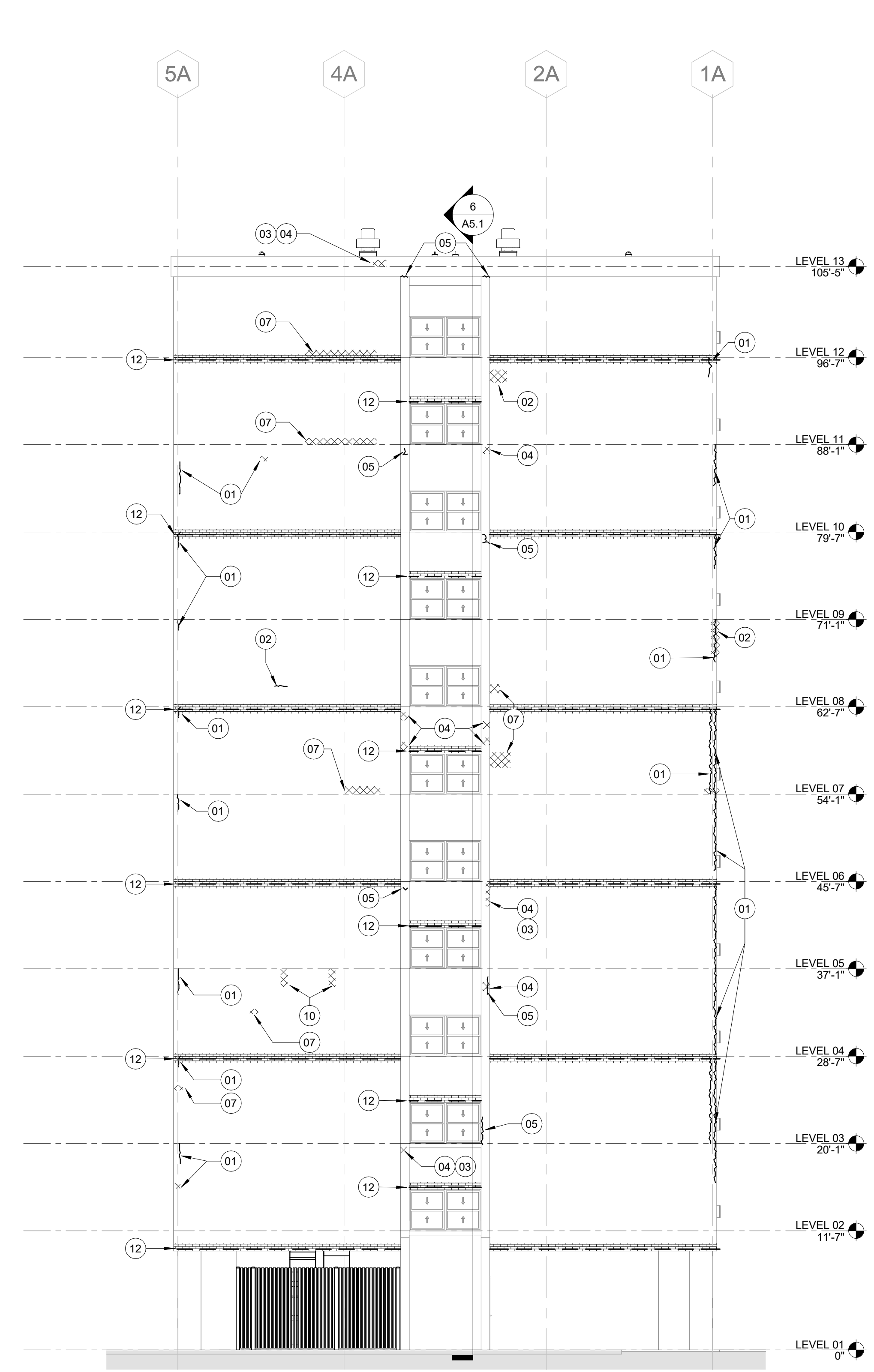
- HATCH INDICATES APPROXIMATE EXTENT OF MASONRY WORK REQUIRED. V.F. REFER TO KEYED NOTES FOR TYPE OF WORK.
- HATCH INDICATES APPROXIMATE EXTENT OF EXISTING MASONRY ABOVE AND BELOW EXISTING SHELF ANGLE TO BE REMOVED FOR REPAIR OF EXISTING SHELF ANGLE. SALVAGE BRICK FOR REINSTALLATION ABOVE WINDOWS, UNO. REFER TO A-400 SERIES FOR ENLARGED ELEVATIONS AND DETAILS.
- REMOVE EXISTING MORTAR AT SIDES OF CAST STONE SILL. REPLACE WITH CLK-1. REFER TO A-400 SERIES FOR ENLARGED ELEVATIONS AND DETAILS
- EXISTING AIR CONDITIONING UNIT TO REMAIN. REFER TO GENERAL NOTE E.

**MATERIALS**

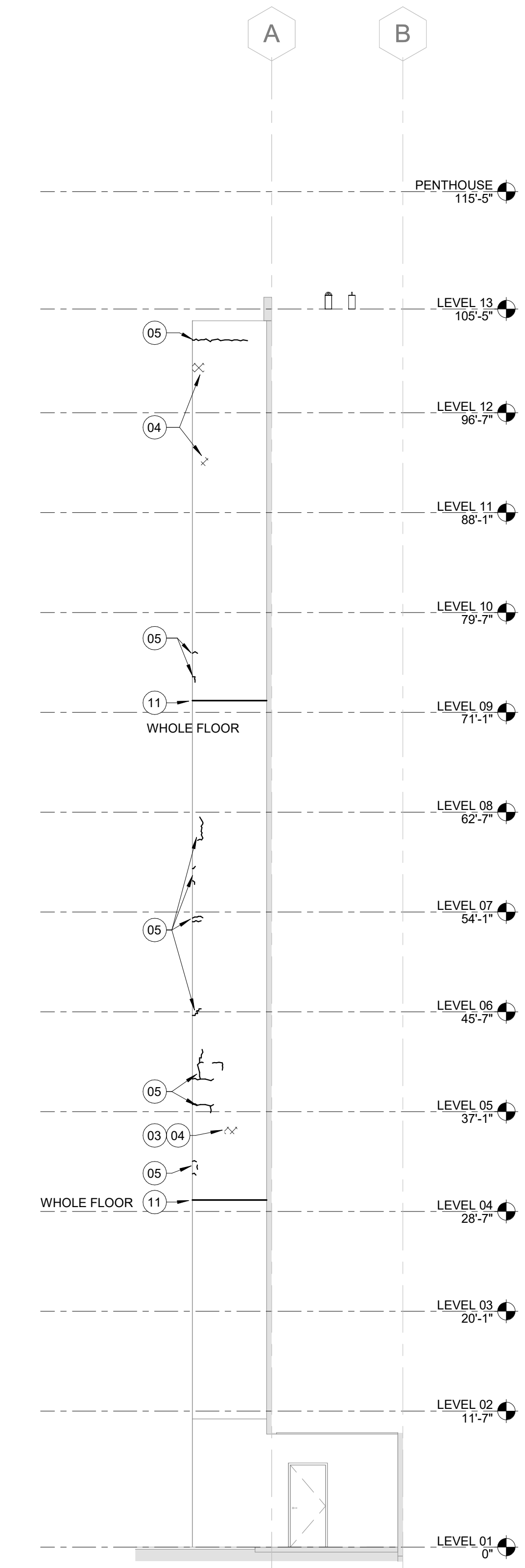
- BRK-1 MODULAR BRICK, MATCH EXISTING
- CLK-1 CAULK JOINT, MATCH EXISTING
- FLASH-1 MEMBRANE FLASHING WITH STAINLESS STEEL DRIP EDGE
- M-1 MORTAR, MATCH EXISTING
- PNT-1 SHELF ANGLE/LINTEL PAINT, COLOR TBD



**2 EXTERIOR ELEVATION - SOUTH A LEFT**  
1/8" = 1'-0"



**1 EXTERIOR ELEVATION - SOUTH A**  
1/8" = 1'-0"



**3 EXTERIOR ELEVATION - SOUTH A RIGHT**  
1/8" = 1'-0"



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CHICAGO, IL 60602

CIVIL & STRUCTURAL ENGINEERS:  
DAVID MASON + ASSOCIATES  
333 S DESPLAINES STREET, SUITE 200  
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LANDSCAPE ARCHITECT:  
MCKAY LANDSCAPE ARCHITECTS  
5215 N RAVENSWOOD AVENUE  
CHICAGO, IL 60640

MEP ENGINEER:  
JBM-HMS  
303 ERIE STREET #510  
CHICAGO, IL 60654

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ISSUANCE

MARK	DESCRIPTION	DATE
	BID & PERMIT	01.08.21

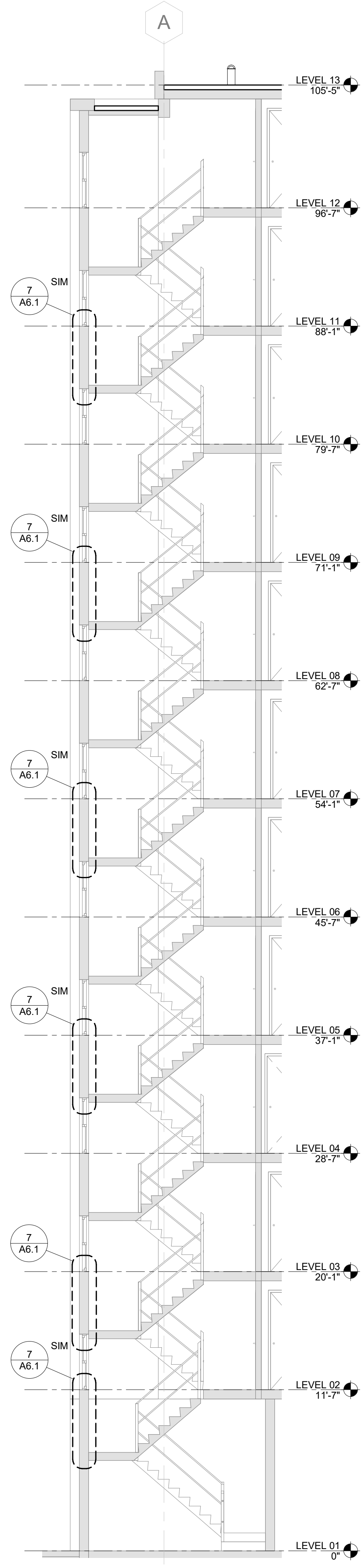
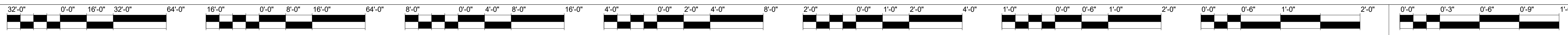
CHA CONTRACT NO: 12017-035AD

**FACADE REPAIR ELEVATIONS**

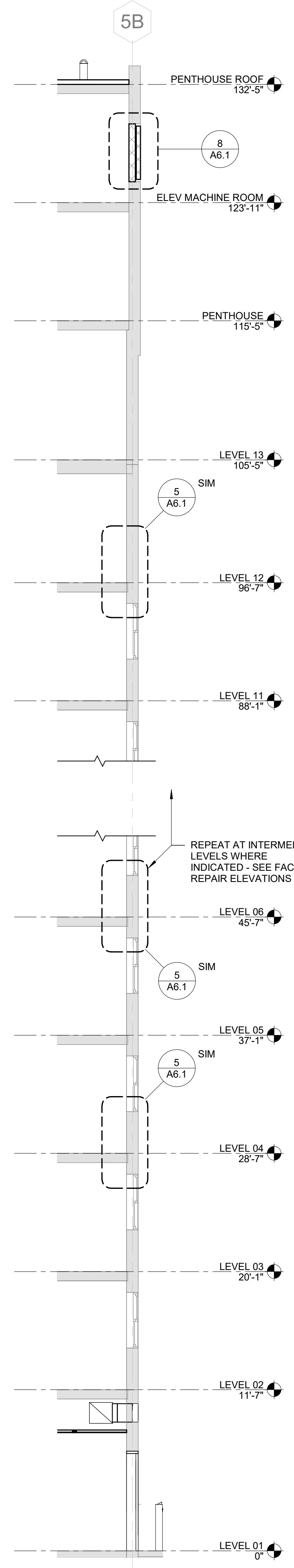
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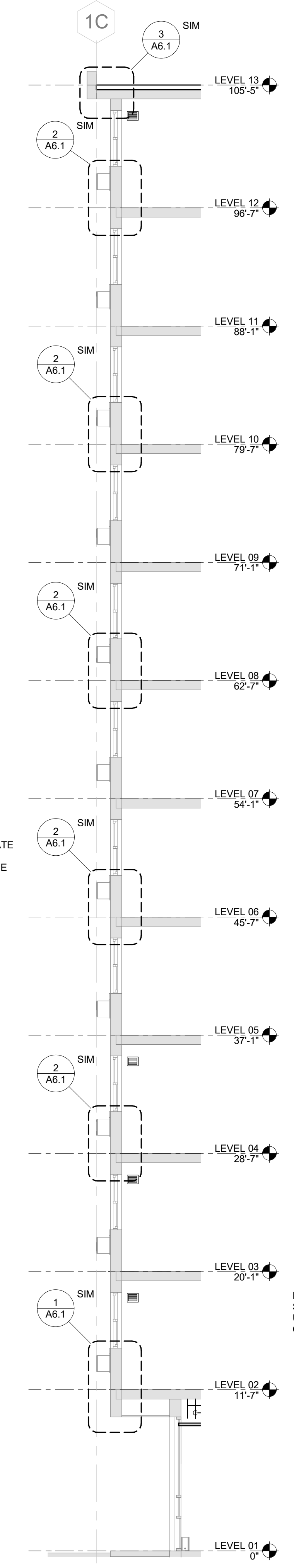
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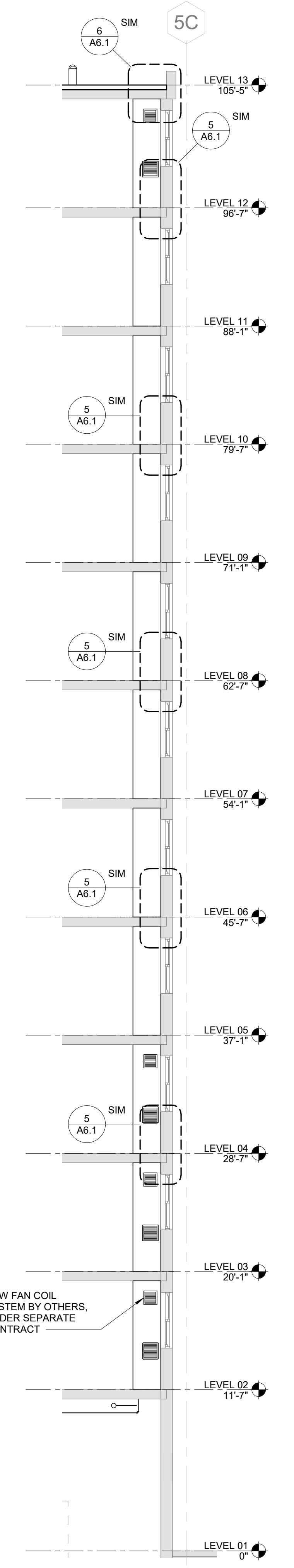
6 SOUTH WING - STAIR SECTION (NORTH SIM)  
3/16" = 1'-0"



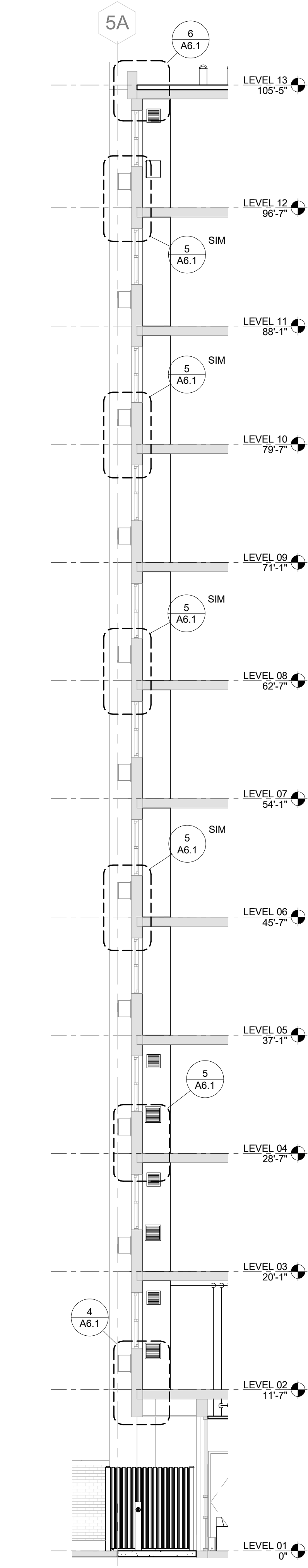
5 CENTER - WALL SECTION  
3/16" = 1'-0"



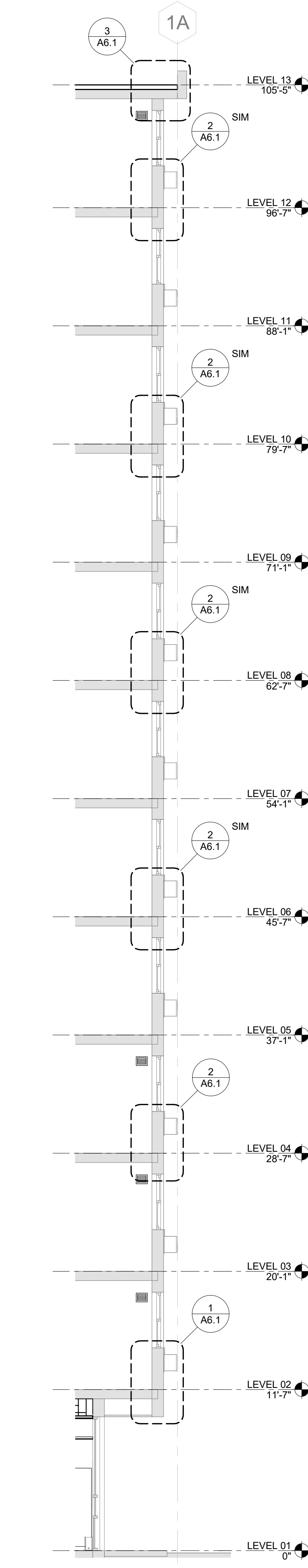
4 NORTH WING - WALL SECTION 2  
3/16" = 1'-0"



3 NORTH WING - WALL SECTION 1  
3/16" = 1'-0"



2 SOUTH WING - WALL SECTION 2  
3/16" = 1'-0"



1 SOUTH WING - WALL SECTION 1  
3/16" = 1'-0"

REPEAT AT INTERMEDIATE LEVELS WHERE INDICATED - SEE FACADE REPAIR ELEVATIONS

NEW FAN COIL SYSTEM BY OTHERS, UNDER SEPARATE CONTRACT



# JUDGE GREEN EXTERIOR IMPROVEMENTS

4030 S LAKE PARK AVE  
CHICAGO, IL 60653

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DAVID MASON + ASSOCIATES  
333 S DESPLAINES STREET, SUITE 200  
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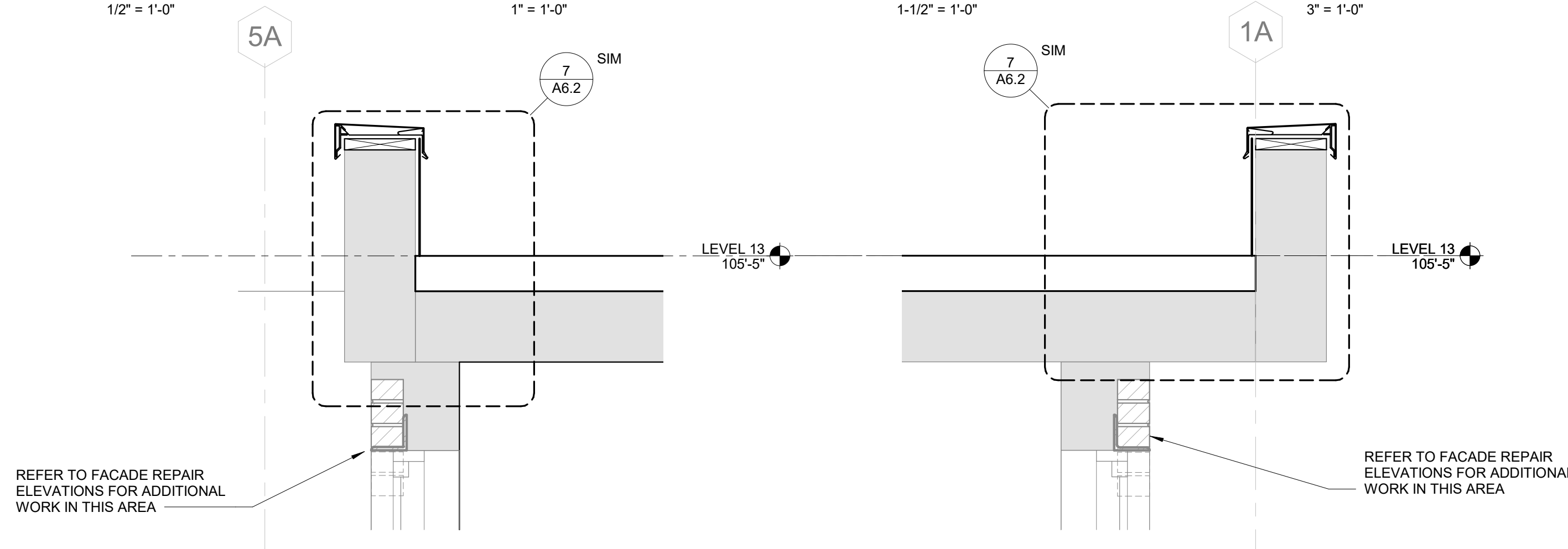
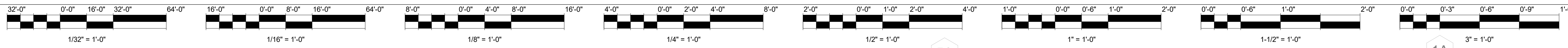
ISSUANCE		
MARK	DESCRIPTION	DATE
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TITLE  
**WALL SECTIONS**

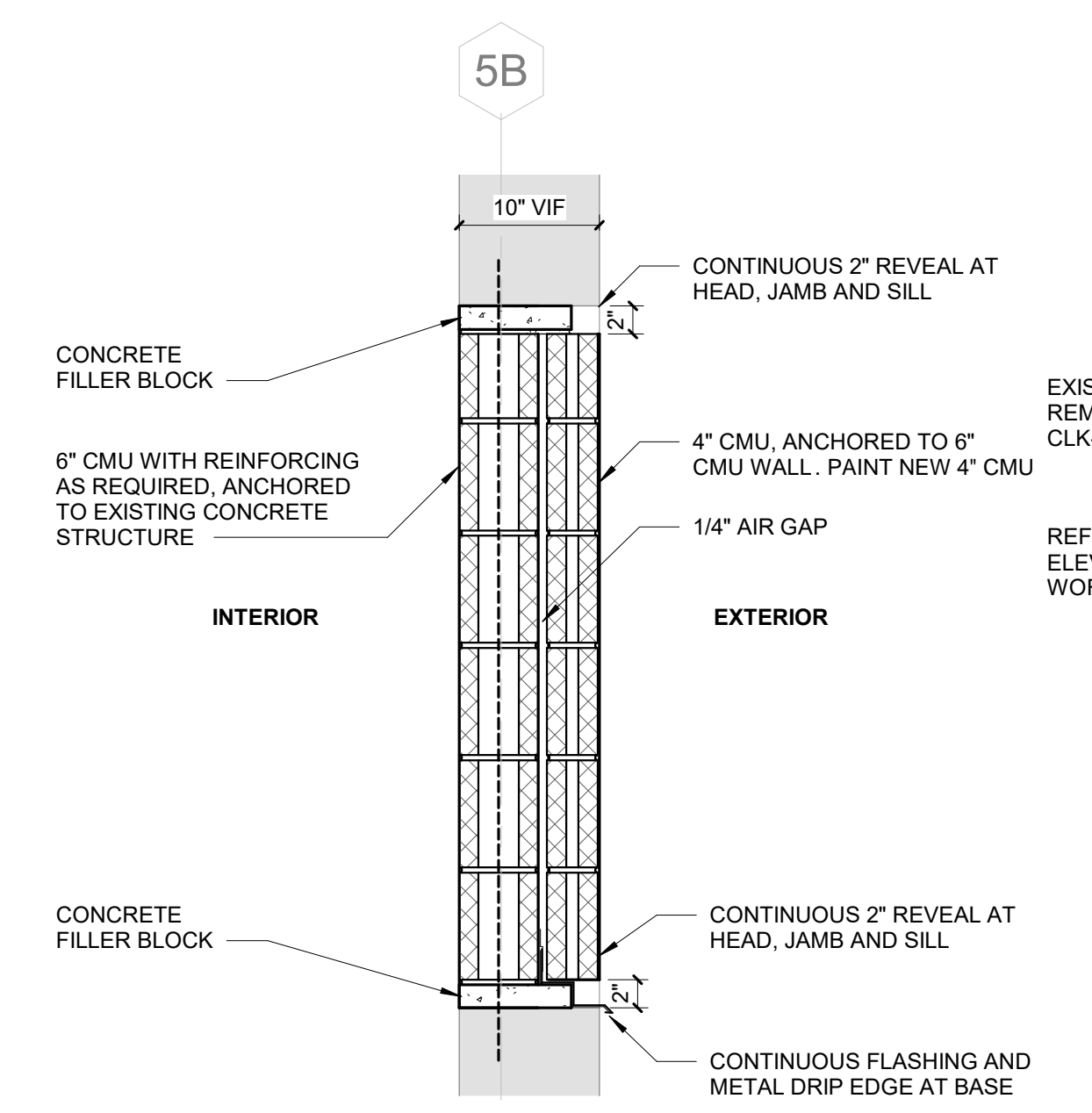
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**A5.1**

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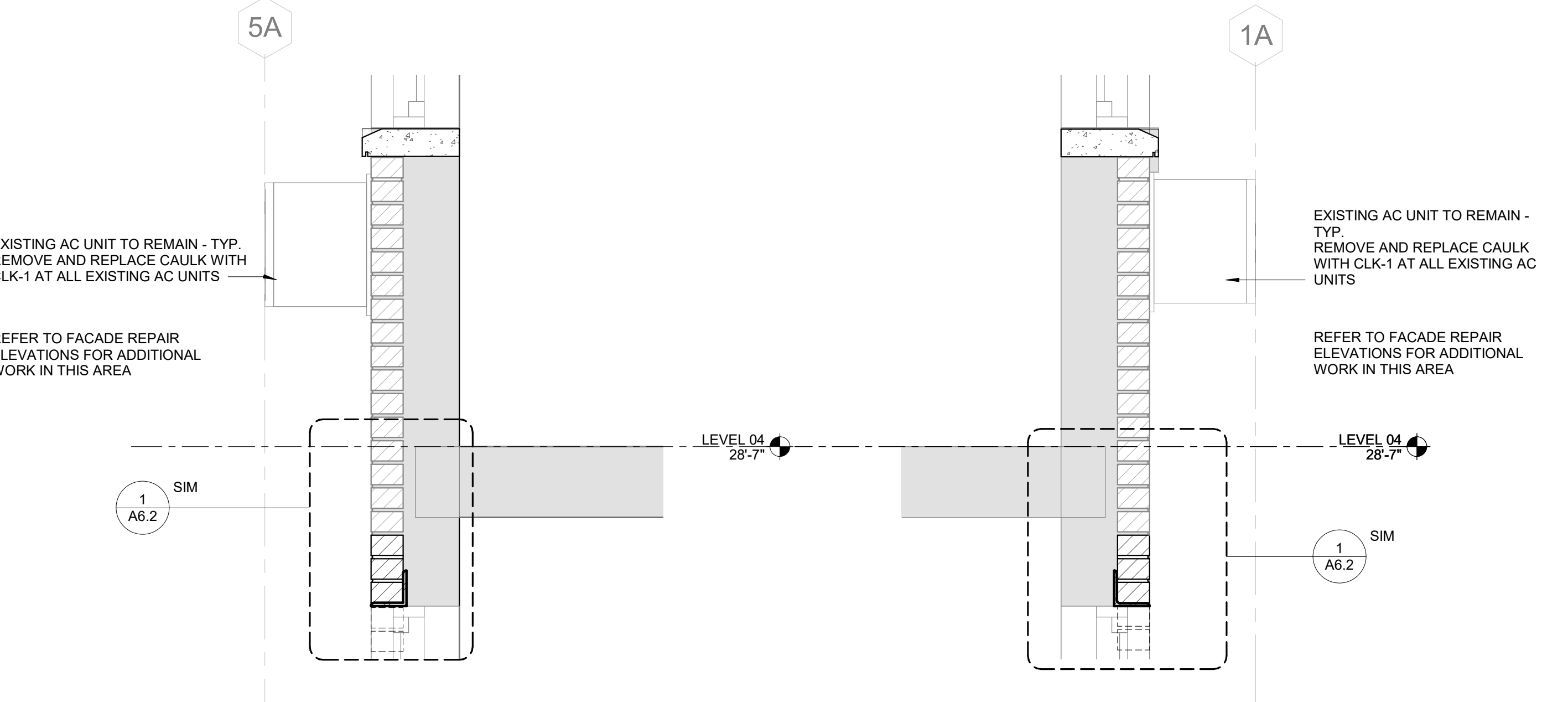


6 WALL SECTION DETAIL 6  
1" = 1'-0"

3 WALL SECTION DETAIL 3  
1" = 1'-0"

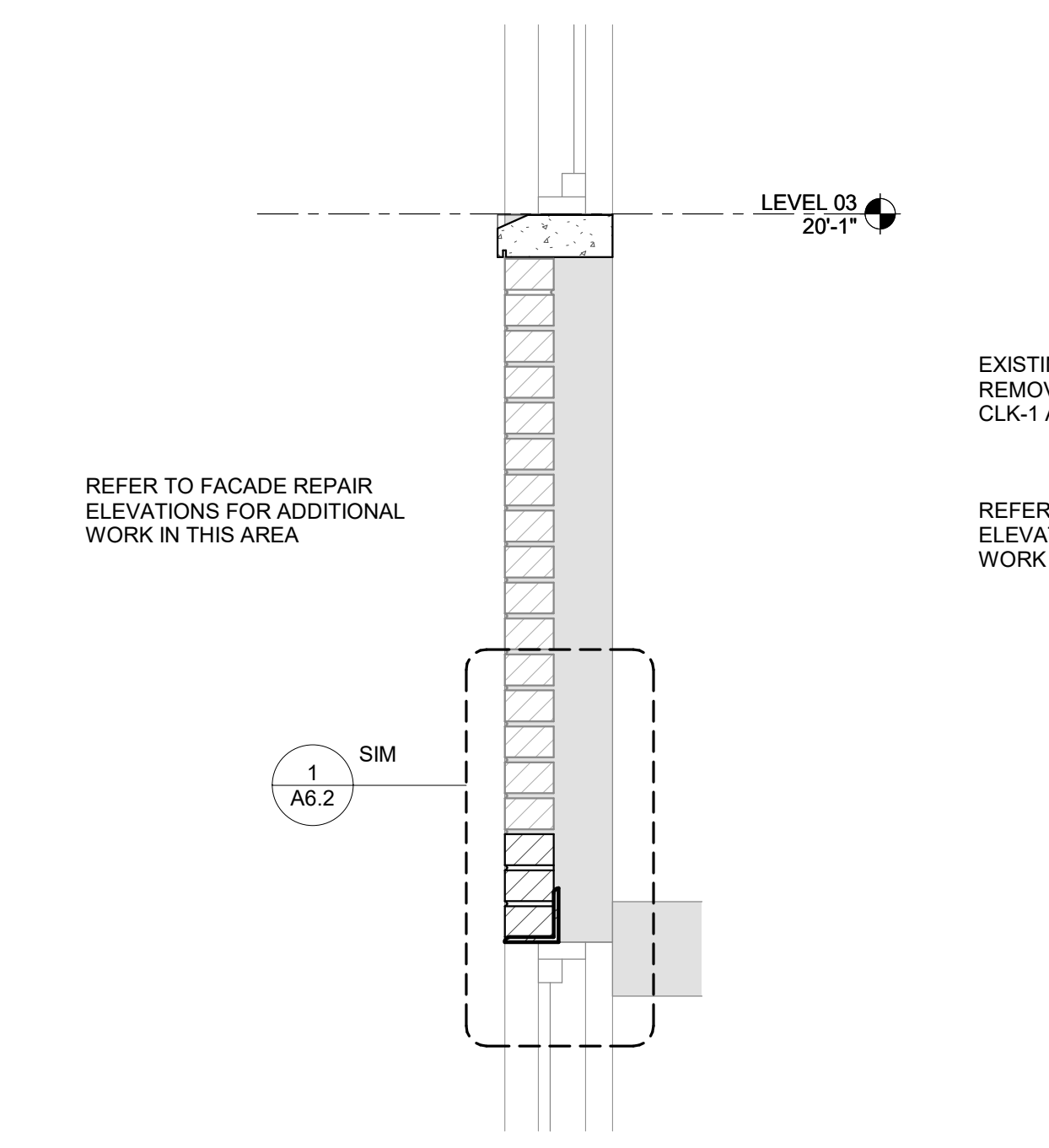


8 WALL SECTION INFILL DETAIL  
1" = 1'-0"

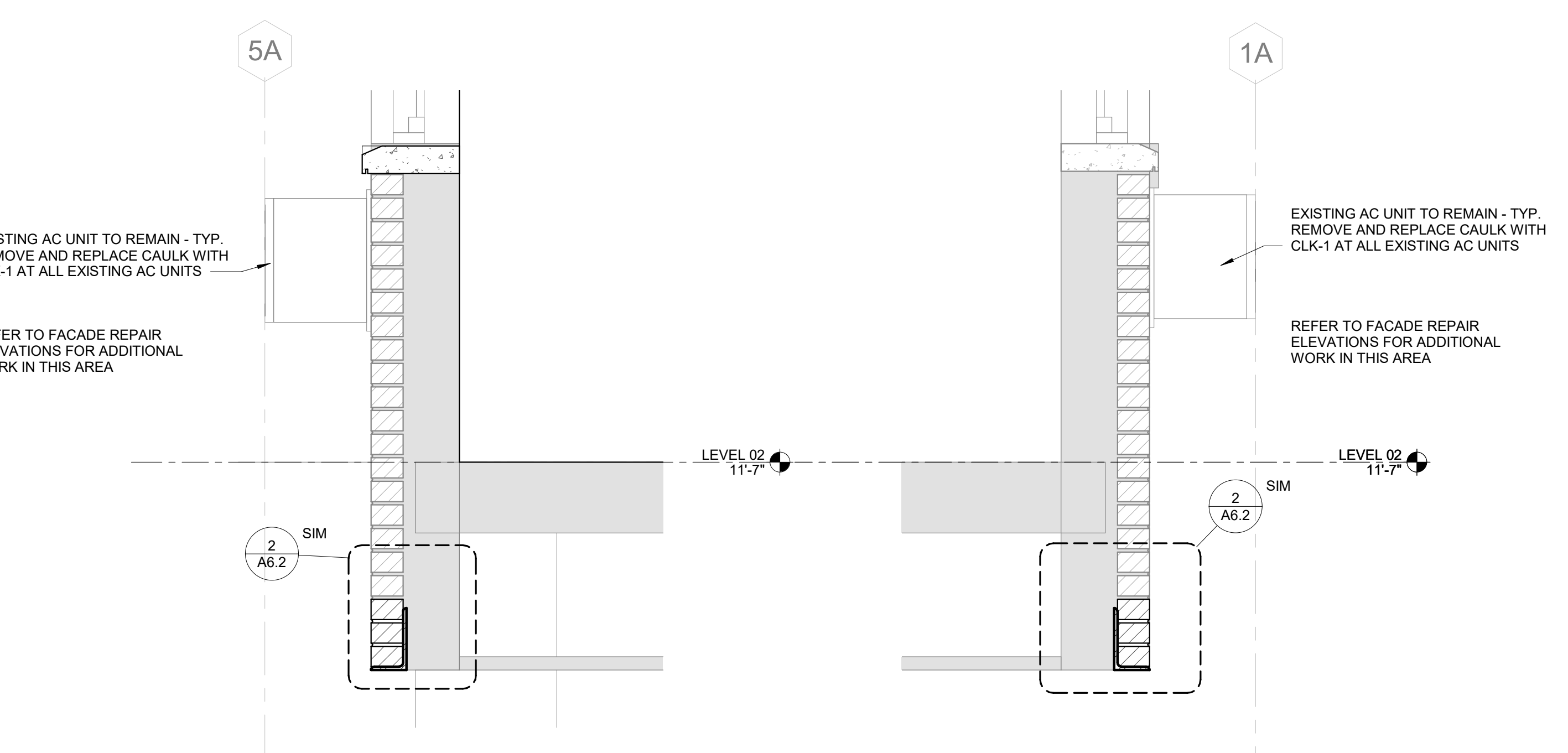


5 WALL SECTION DETAIL 5  
1" = 1'-0"

2 WALL SECTION DETAIL 2  
1" = 1'-0"



7 WALL SECTION DETAIL 7  
1" = 1'-0"



4 WALL SECTION DETAIL 4  
1" = 1'-0"

1 WALL SECTION DETAIL 1  
1" = 1'-0"



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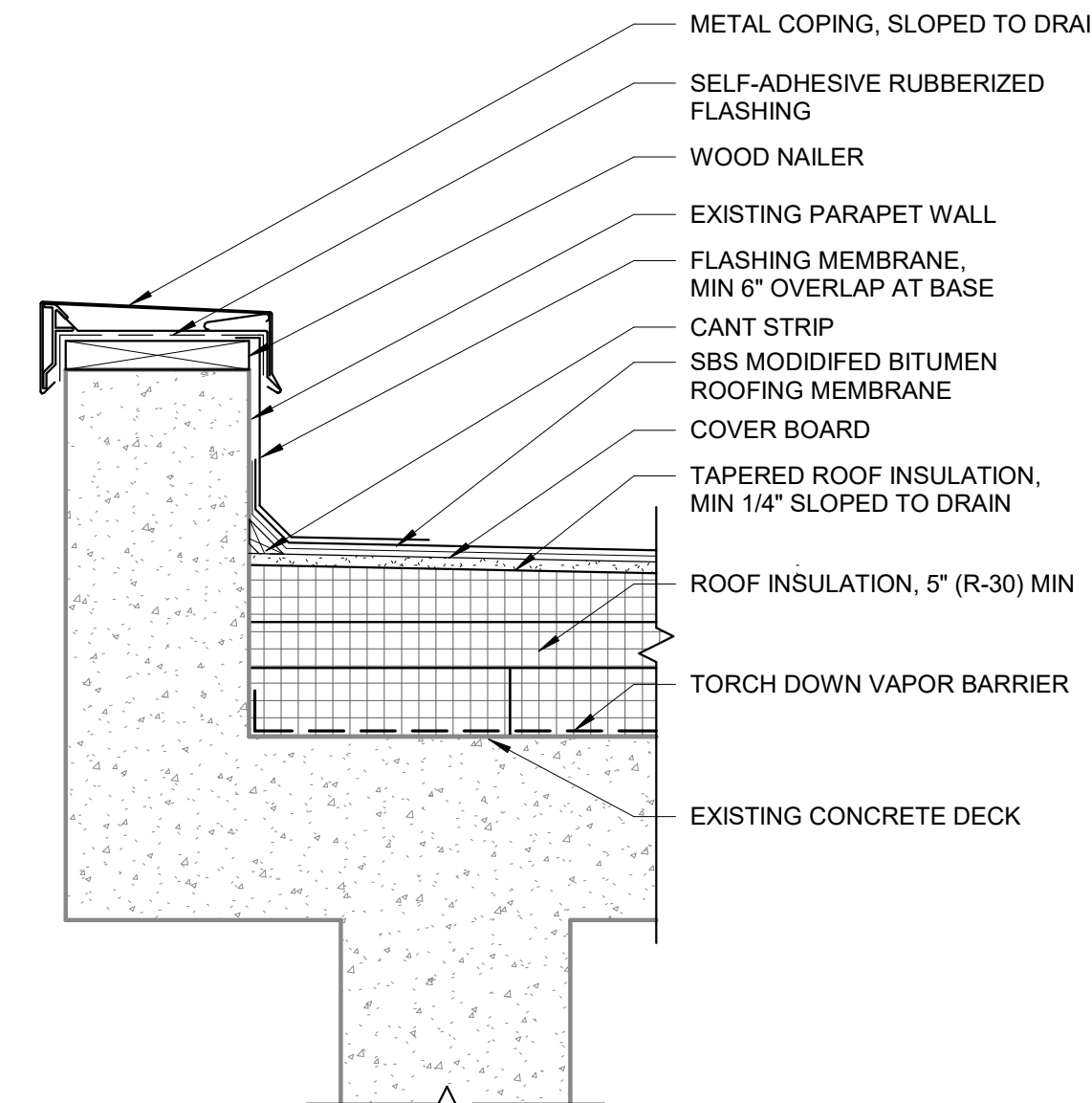
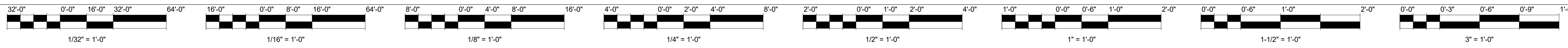
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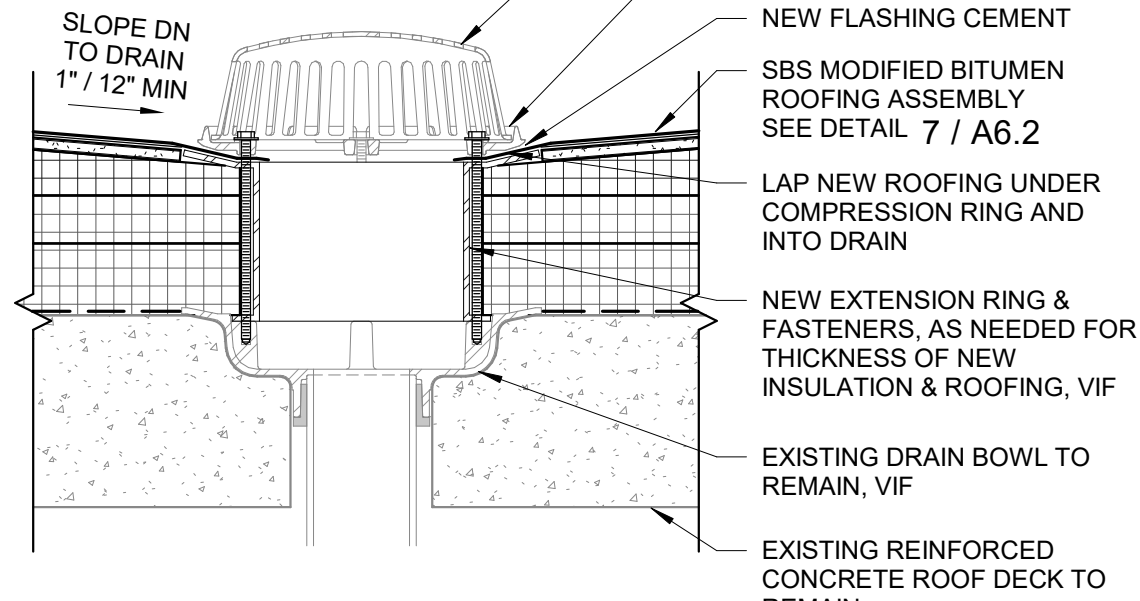
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**ENLARGED BUILDING  
DETAILS**

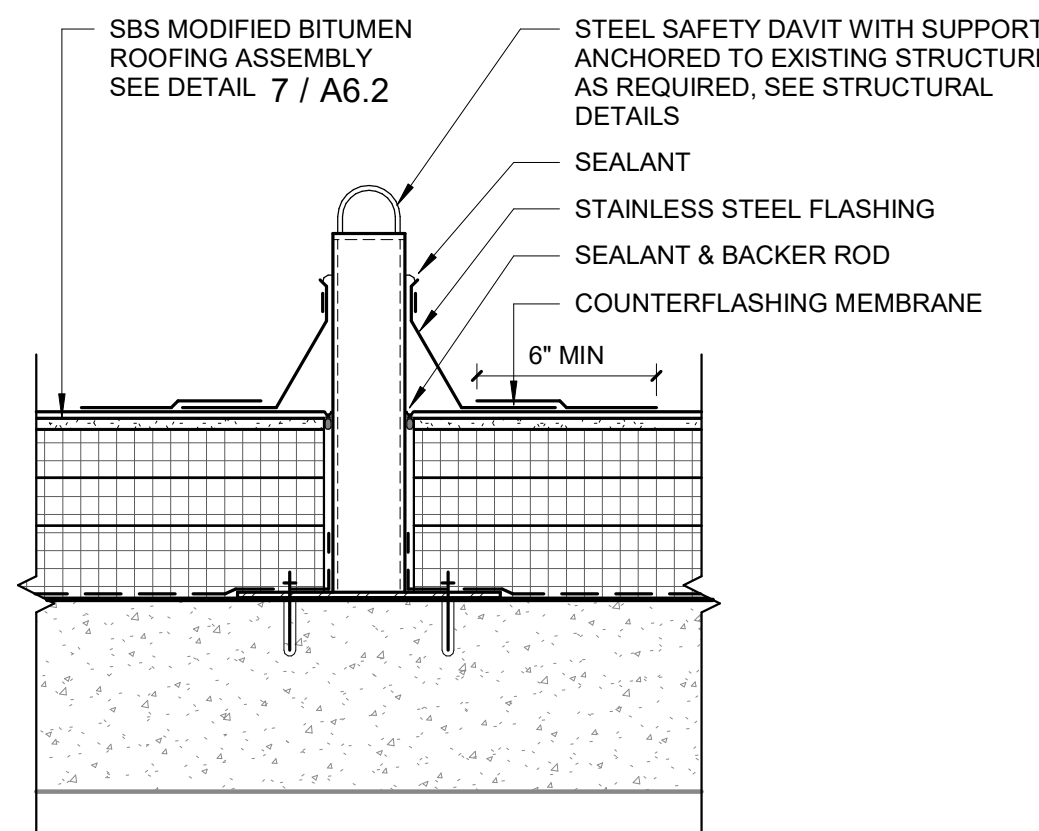
SHEET  
**A6.1**



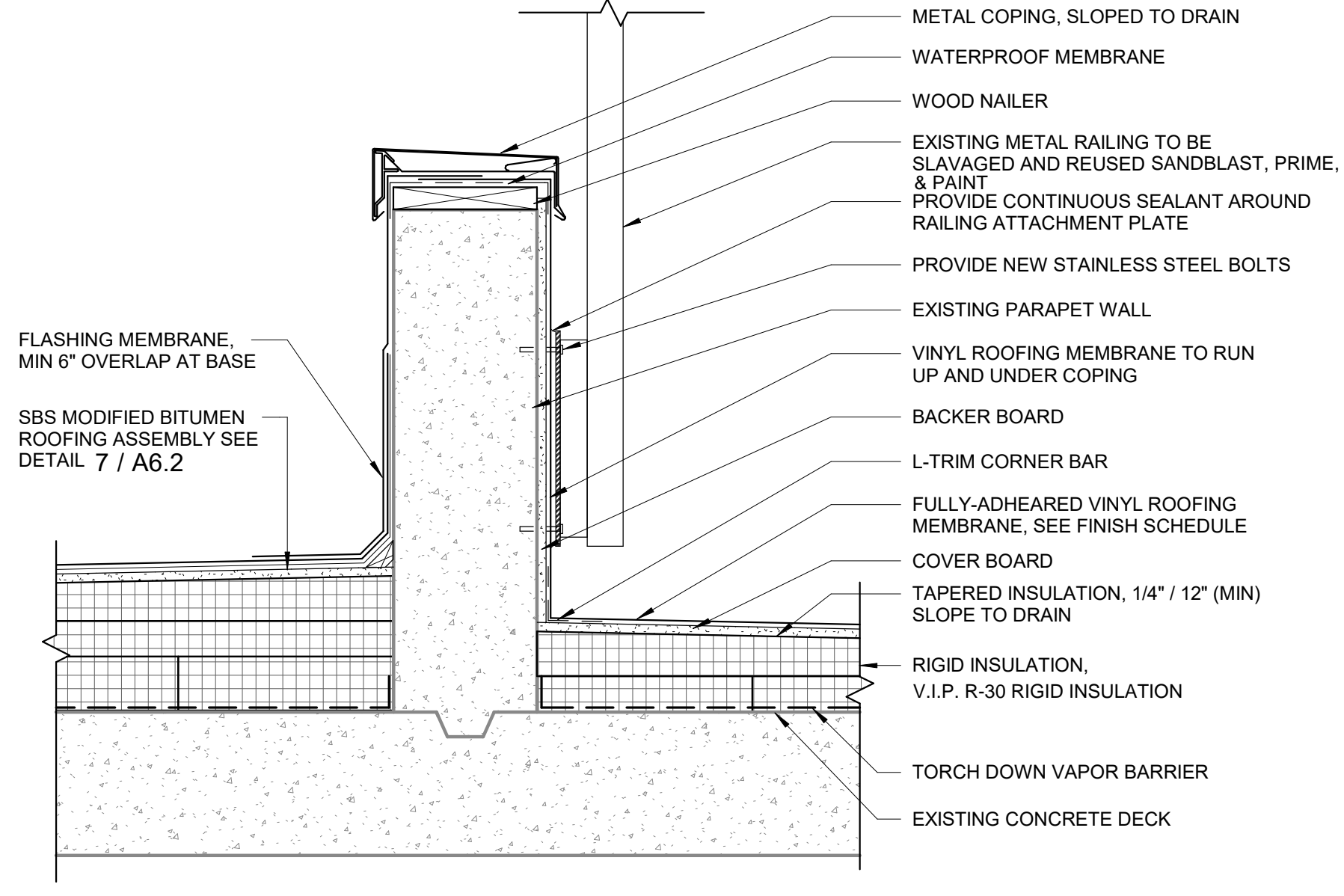
**7** ROOF ASSEMBLY - TYPICAL PARAPET  
1 1/2" = 1'-0"



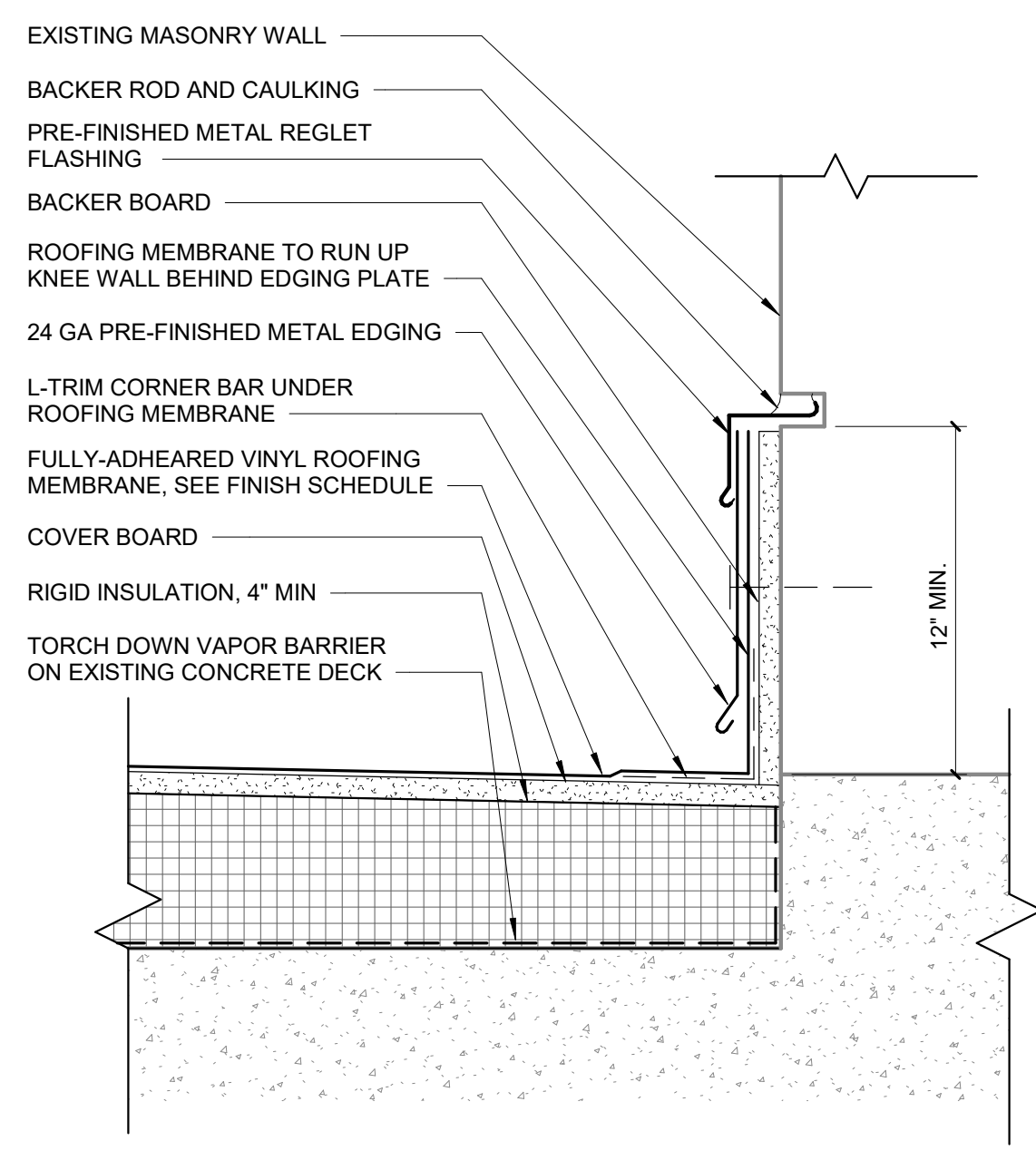
**8** TYPICAL ROOF DRAIN  
1 1/2" = 1'-0"



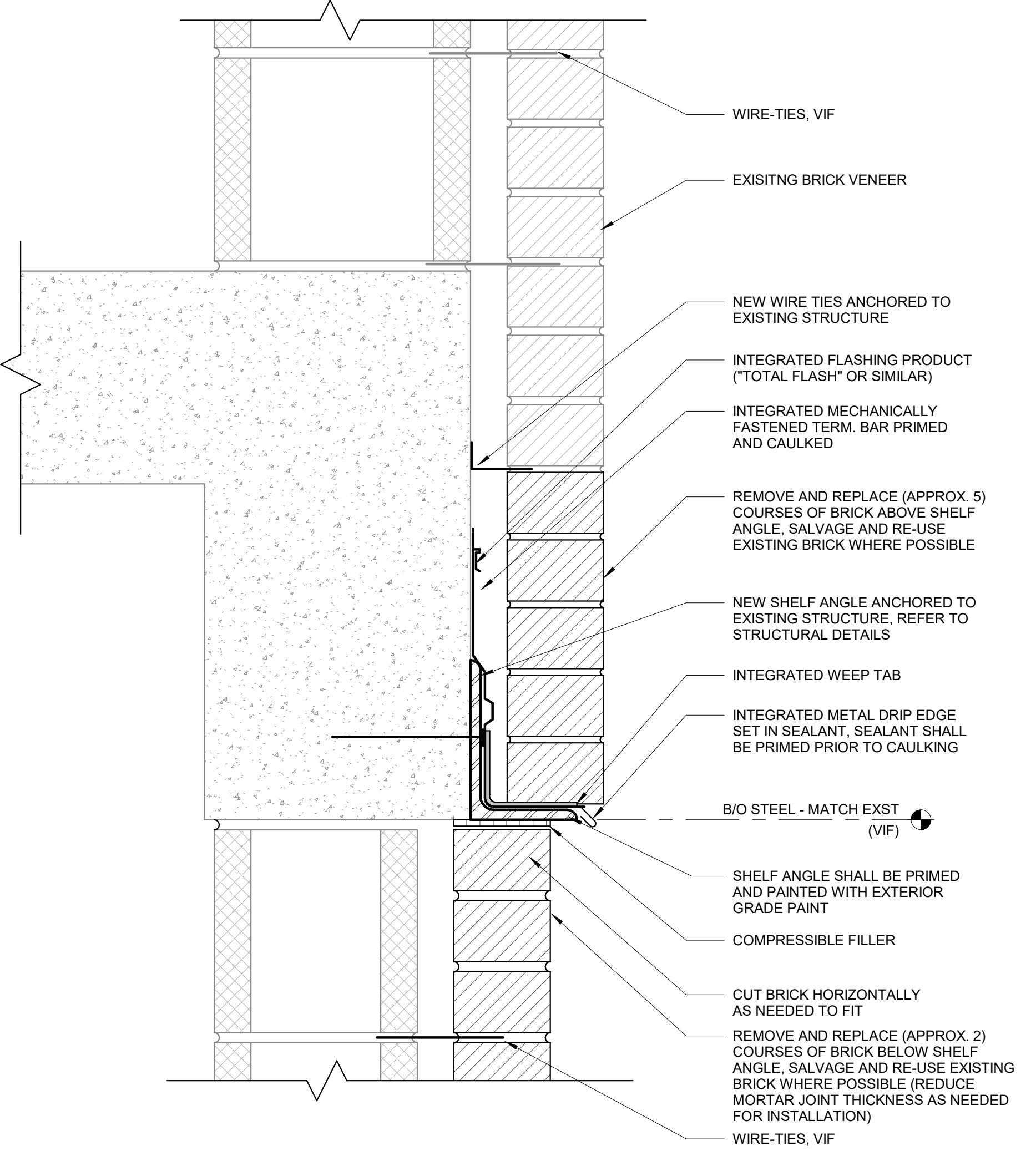
**6** TYPICAL SAFETY DAVIT  
1 1/2" = 1'-0"



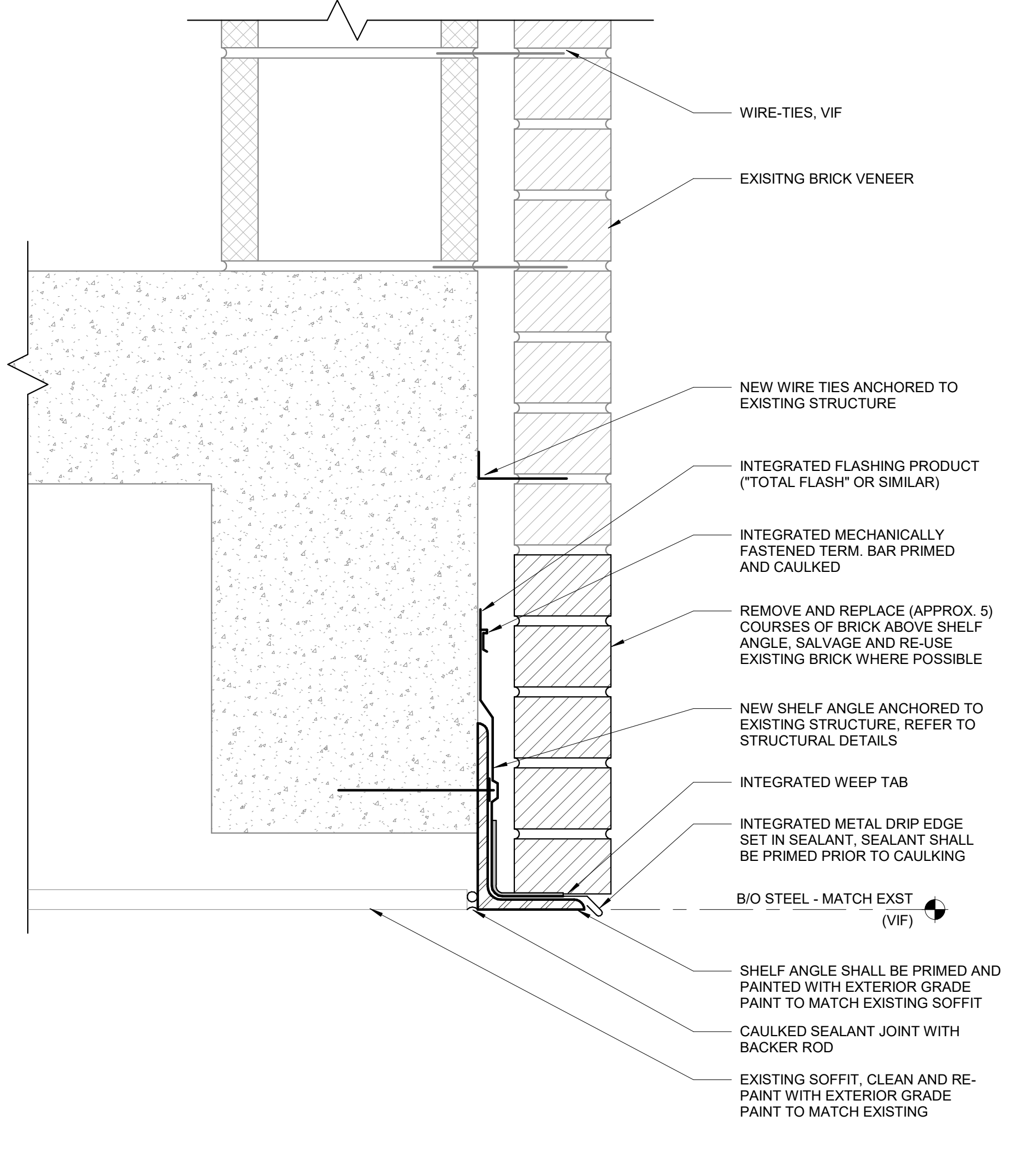
**5** ROOF ASSEMBLY - ROOFTOP PATIO PARAPET  
1 1/2" = 1'-0"



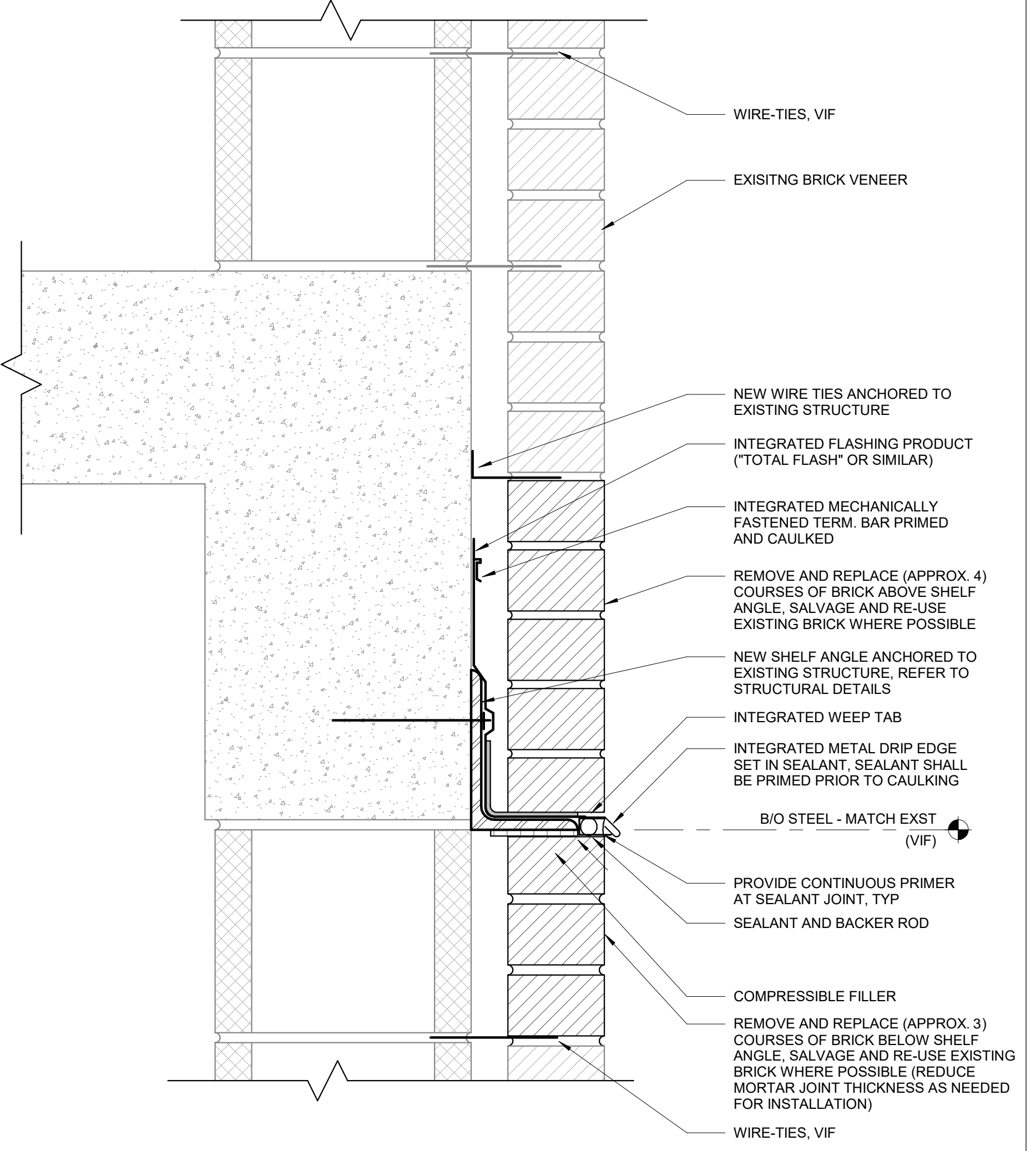
**4** ROOF ASSEMBLY - ROOFTOP PATIO  
3" = 1'-0"



**3** SHELF ANGLE REPLACEMENT - OVERHANG  
3" = 1'-0"



**2** SHELF ANGLE REPLACEMENT @ EXTERIOR SOFFIT  
3" = 1'-0"



**1** SHELF ANGLE REPLACEMENT - TYPICAL  
3" = 1'-0"



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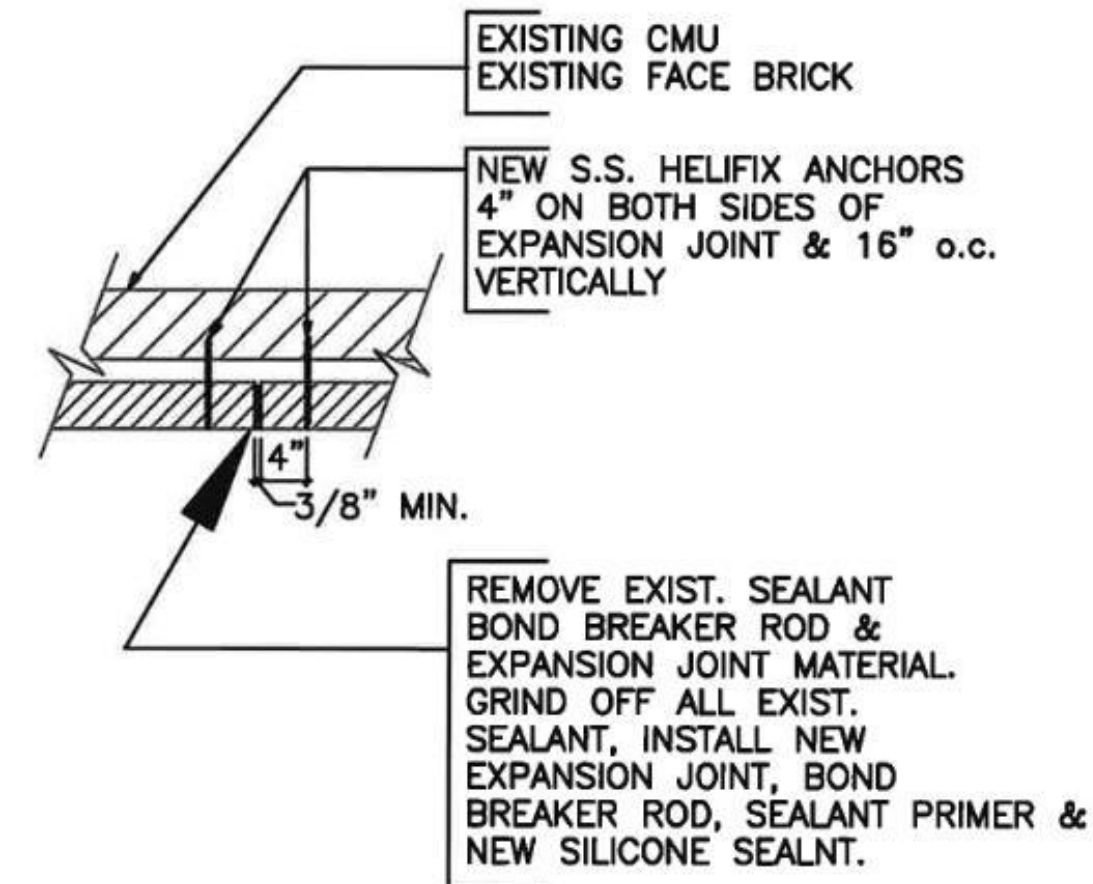
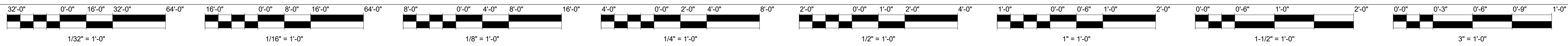
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CHA CONTRACT NO: 12017-035AD  
TITLE  
**ENLARGED BUILDING  
DETAILS**

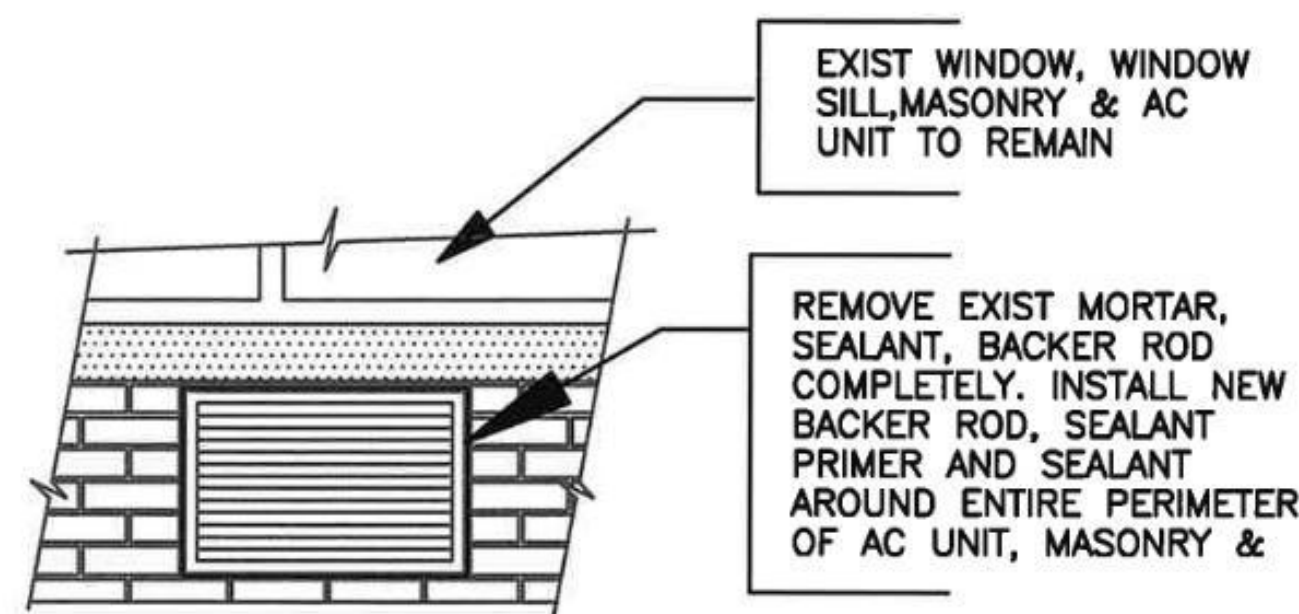
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**A6.2**

2/27/2021 1:00:16 PM

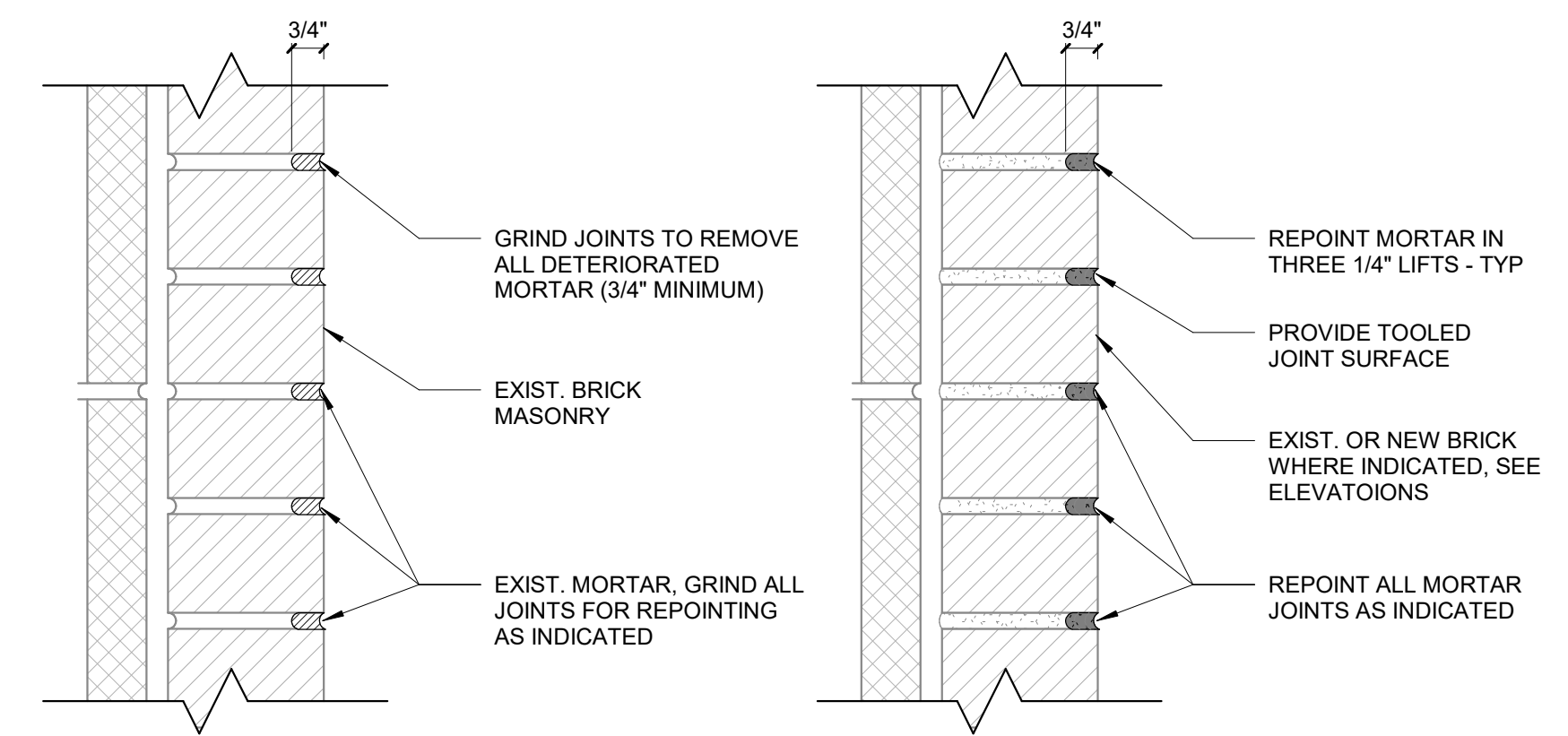




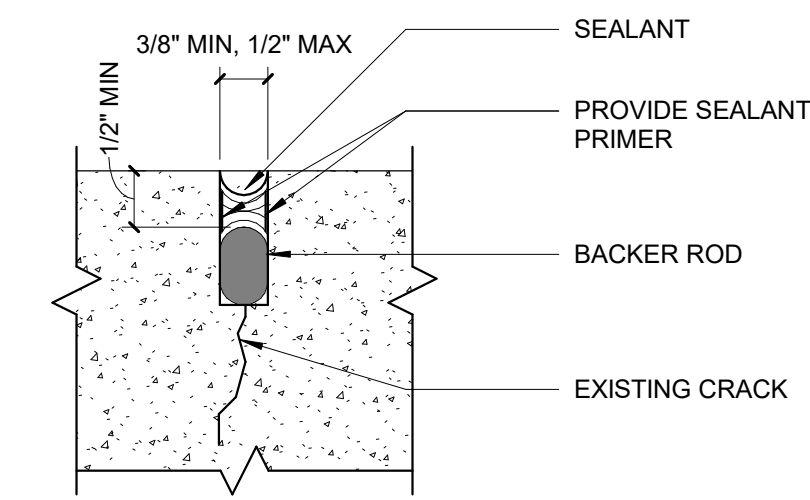
**5 VERTICAL EXPANSION JOINT DETAIL**  
N.T.S.



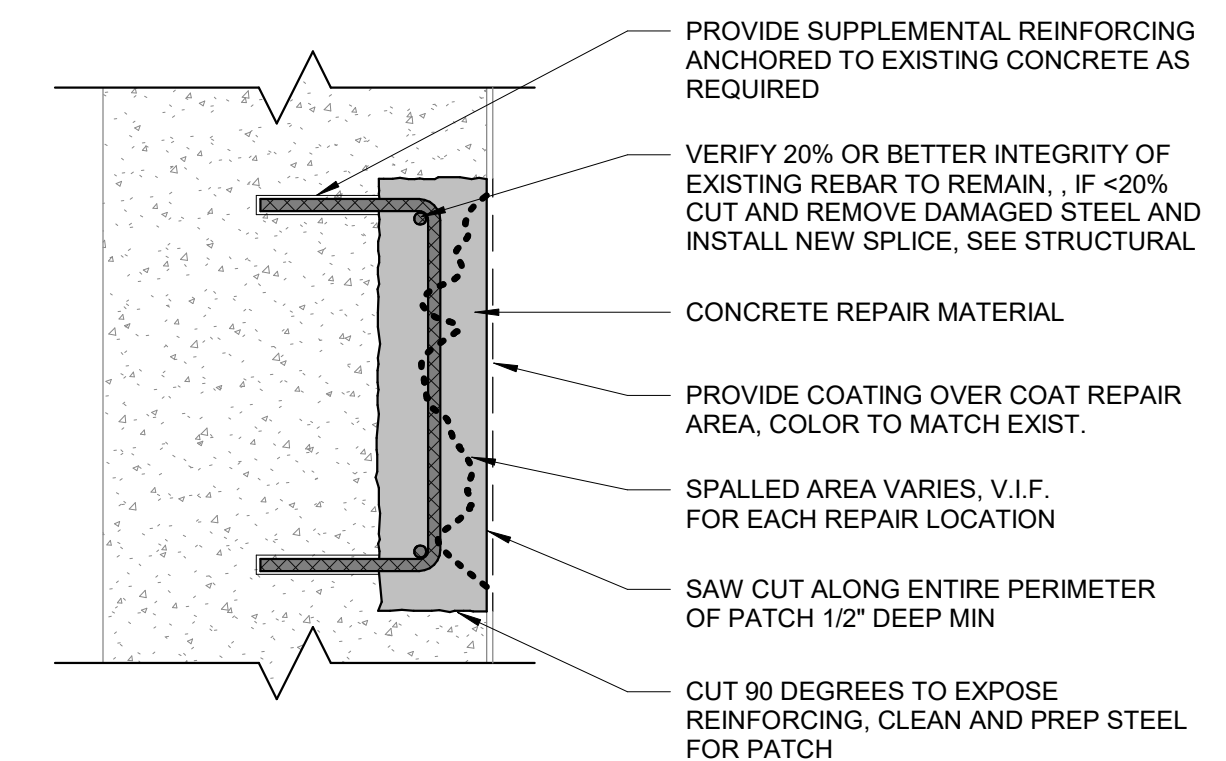
**6 SEALANT REPLACEMENT @ AC UNITS**  
N.T.S.



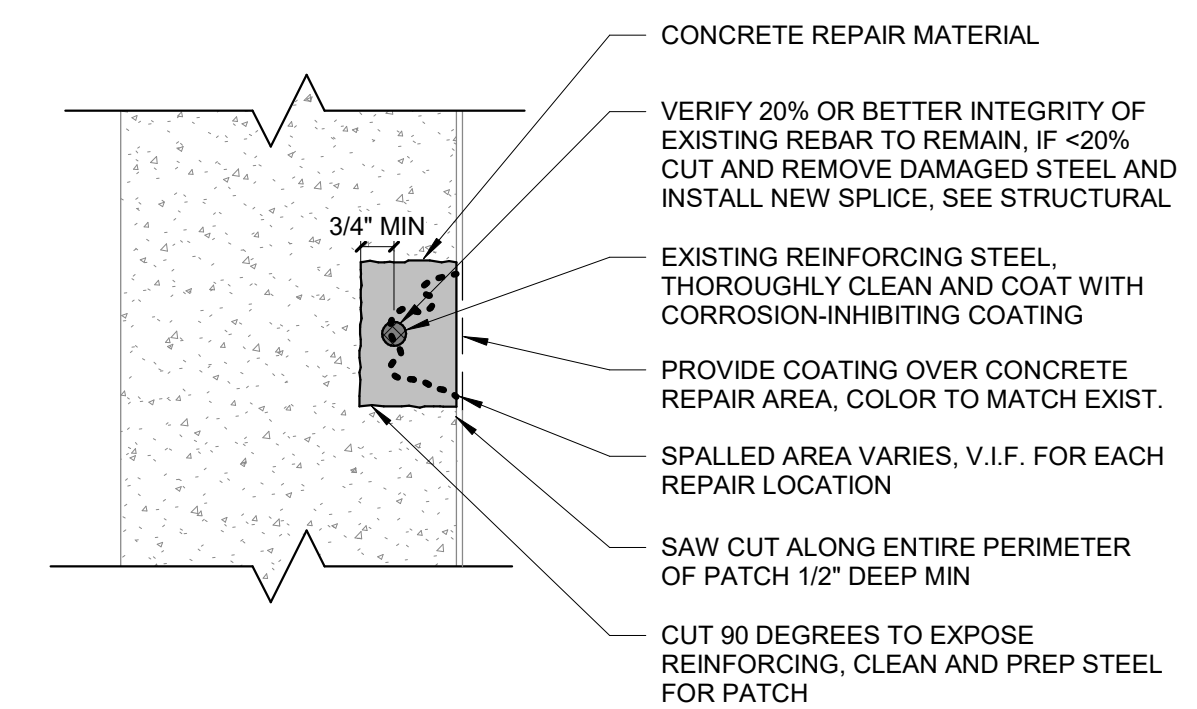
**4 TYPICAL REPOINTING DETAIL**  
3" = 1'-0"



**3 CONCRETE CRACK REPAIR DETAIL**  
6" = 1'-0"



**2 SPALLED CONCRETE REPAIR DETAIL 2**  
3" = 1'-0"



**1 SPALLED CONCRETE REPAIR DETAIL 1**  
3" = 1'-0"

**REFER TO STRUCTURAL FOR  
ADDITIONAL FACADE REPAIR DETAILS**



**JUDGE GREEN  
EXTERIOR  
IMPROVEMENTS**  
4030 S LAKE PARK AVE  
CHICAGO, IL 60653

ARCHITECT OF RECORD:  
CANOPY ARCHITECTURE + DESIGN, LLC  
180 W WASHINGTON STREET, SUITE 200  
CHICAGO, IL 60602

CIVIL & STRUCTURAL ENGINEERS:  
DAVID MASON + ASSOCIATES  
333 S DESPLAINES STREET, SUITE 200  
CHICAGO, IL 60661

LANDSCAPE ARCHITECT:  
MCKAY LANDSCAPE ARCHITECTS  
5215 N RAVENSWOOD AVENUE  
CHICAGO, IL 60640

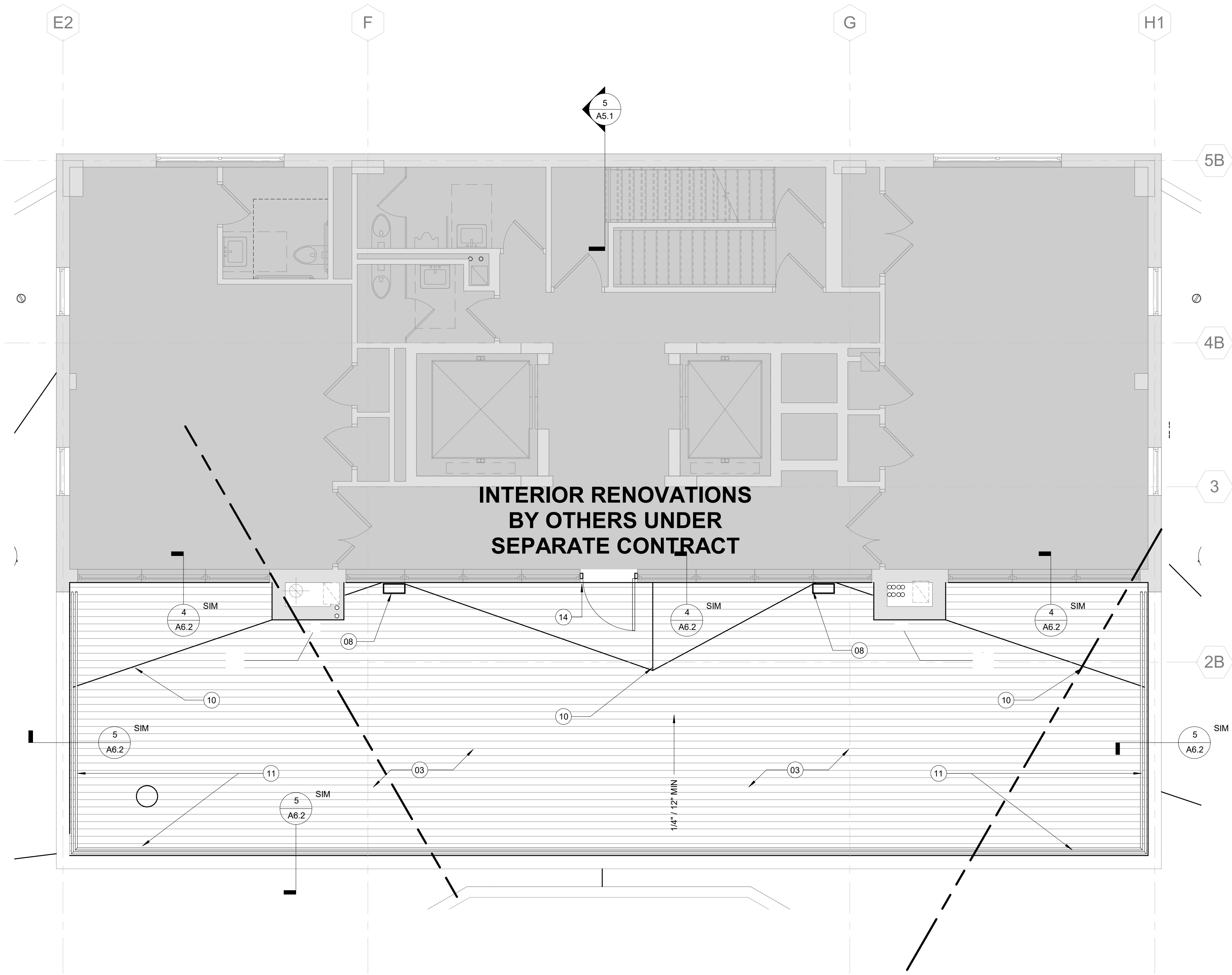
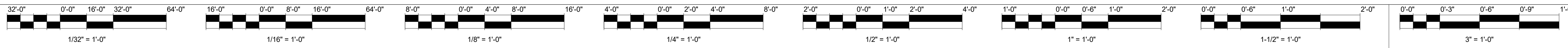
MEP ENGINEER:  
dbhms  
303 ERIE STREET #510  
CHICAGO, IL 60654

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ISSUANCE		
MARK	DESCRIPTION	DATE
	BID & PERMIT	01.08.21

CHA CONTRACT NO: 12017-035AD  
TITLE  
**ENLARGED BUILDING  
DETAILS**

SHEET  
**A6.3**



1 ENLARGED PLAN LEVEL 13  
1/4" = 1'-0"

- KEYED NOTES - CONSTRUCTION PLAN**
- 01 NEW, PERMANENT SAFETY ANCHOR POINT FASTENED TO CONCRETE ROOF STRUCTURE AS REQUIRED - COORDINATE WITH STRUCTURAL
  - 02 NEW MOD-BIT ROOF MEMBRANE, OVER NEW UNDERLAYMENT, AS REQUIRED, AND BUILT-UP INSULATION (R-30 MIN) AT ENTIRE EXTENT OF ROOF.
  - 03 NEW FULLY-ADHERED, WALKABLE PRINTED VINYL ROOFING MEMBRANE SYSTEM, SEE FINISH SCHEDULE
  - 04 INFILL SECTION OF EXTERIOR WALL AT LOCATION OF DEMOLISHED LOUVER AND FRAME. SEE DETAILS
  - 05 NEW REINFORCED CONCRETE PAVEMENT, SEE CIVIL
  - 06 EXISTING AREAWELL WITH METAL GRATE TO REMAIN
  - 07 NEW BIKE RACKS THIS AREA, SEE LANDSCAPE
  - 08 TIE IN NEW ROOFING SYSTEMS TO EXISTING ROOF DRAINS, VIF
  - 09 PROVIDE NEW ROOF HATCH/ SCUTTLE WITH SAFETY HANDRAILS, @ ELEVATOR PENTHOUSE
  - 10 TAPER INSULATION TO PROVIDE POSITIVE SLOPE TO DRAIN
  - 11 RE-INSTALL SALVAGED GUARD RAIL: SCRAPE, PRIME AND PAINT PRIOR TO INSTALLATION; GUARD RAIL TO RESIST A SIMULTANEOUS VERTICAL AND HORIZONTAL THRUST OF 50LBS/FT APPLIED AT THE TOP OF THE RAILING OR A CONCENTRATED LOAD OF 200 LBS/FT IN ANY DIRECTION, WHICHEVER PRODUCES THE GREATEST STRESS



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LANDSCAPE ARCHITECT:  
MCKAY LANDSCAPE ARCHITECTS  
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CHICAGO, IL 60640

MEP ENGINEER:  
db+hms  
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ISSUANCE

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**FLOOR PLAN LEGEND**

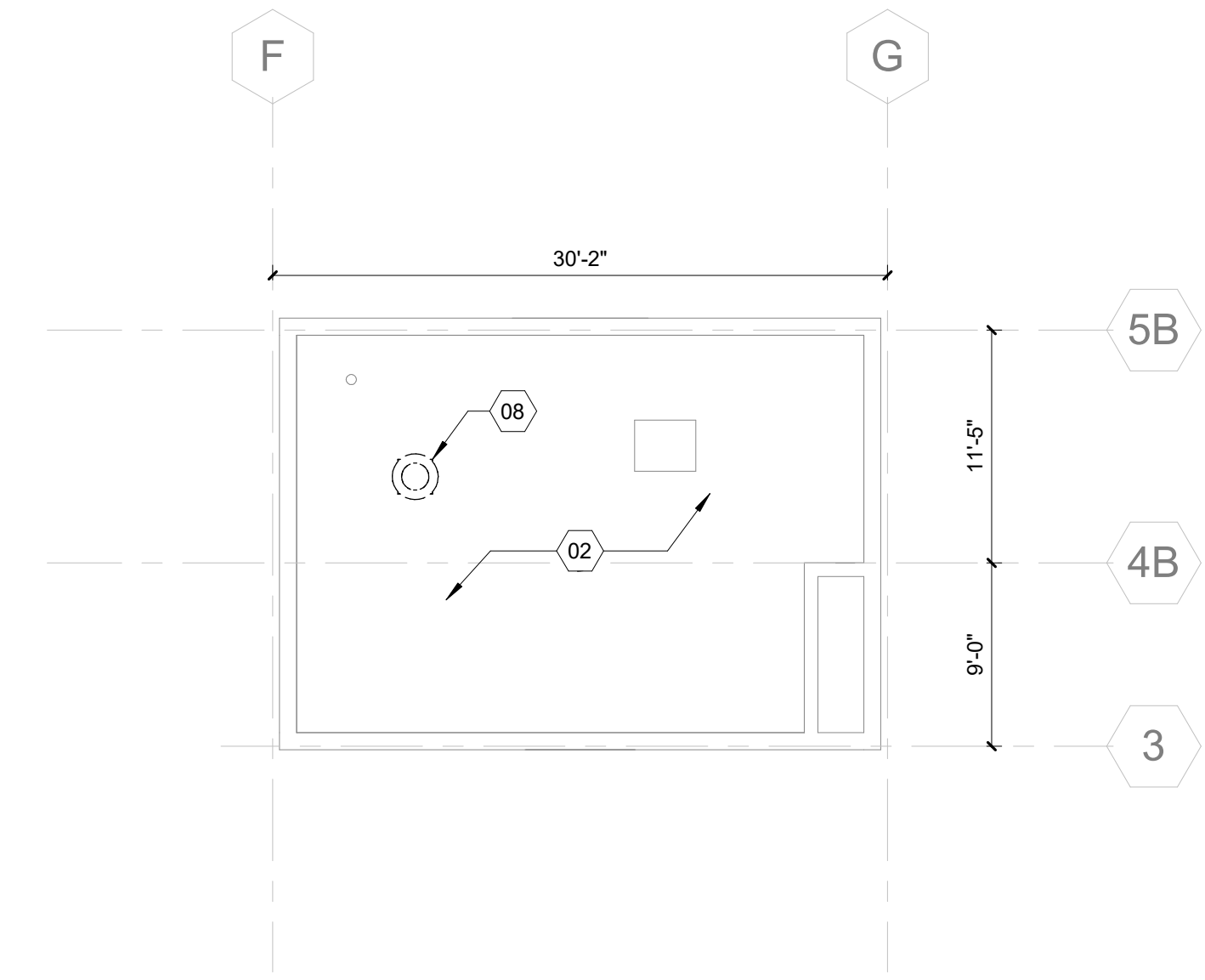
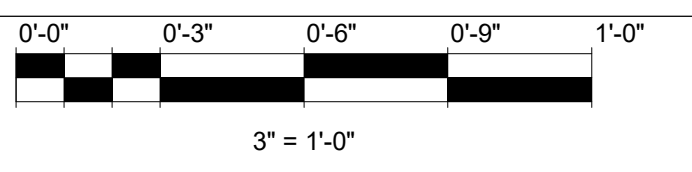
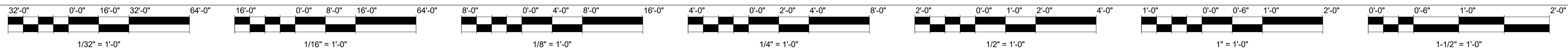
- NEW CONC SLAB
- AREA NOT IN CONTRACT
- WALKABLE VINYL ROOFING, SEE FINISH SCHEDULE

FINISH SCHEDULE						
FINISH	KEY	MANUFACTURER	SERIES/PATTERN	NUMBER	COLOR	COMMENTS
EXTERIOR FINISHES						
Exterior Walkable Vinyl Roofing System	VD-1	Weather Deck	Hardwood Plus	-	Fir Plank	PROVIDE AT LEVEL 13 ROOFTOP PATIO

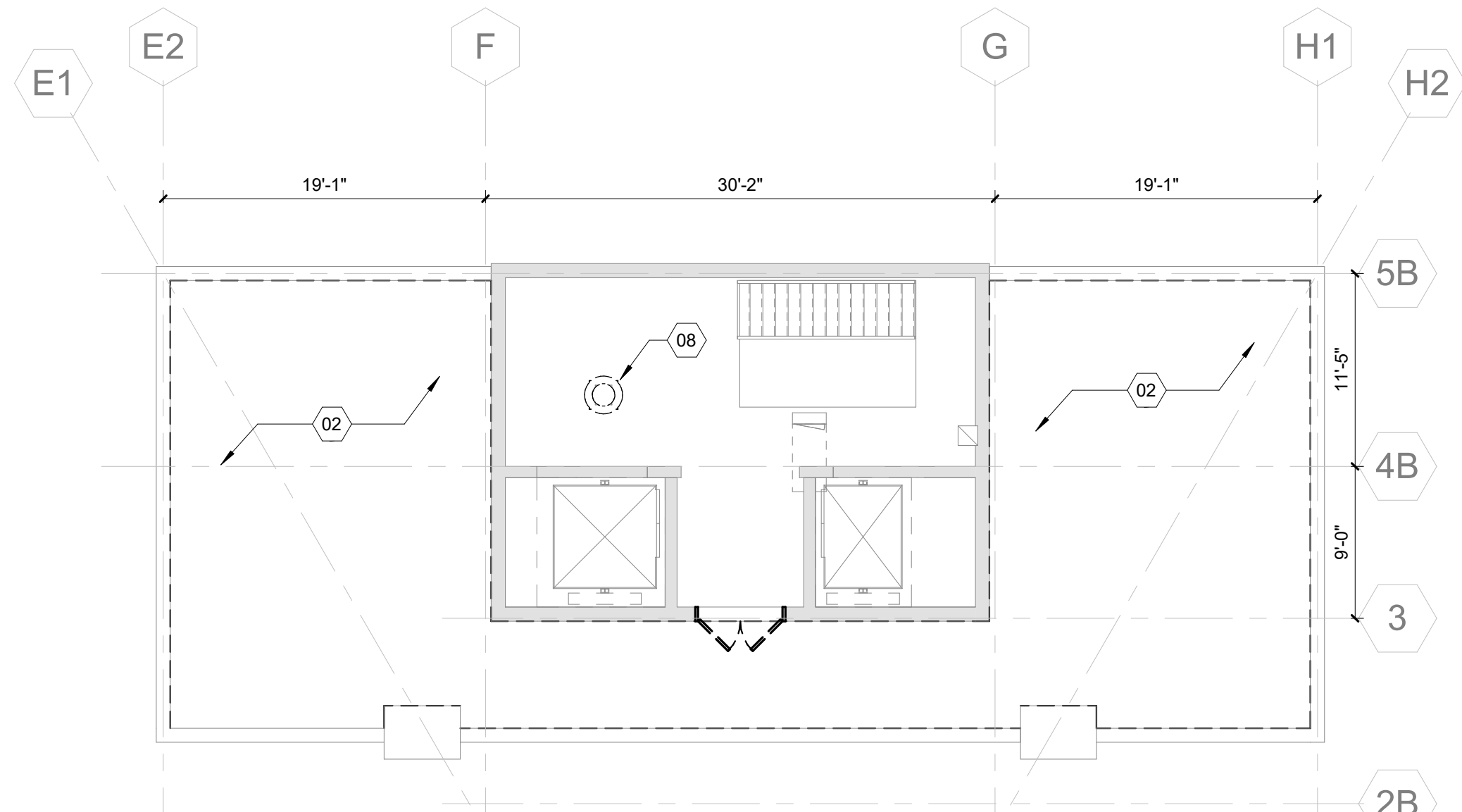
CHA CONTRACT NO: 12017-035AD

**ENLARGED PLANS**

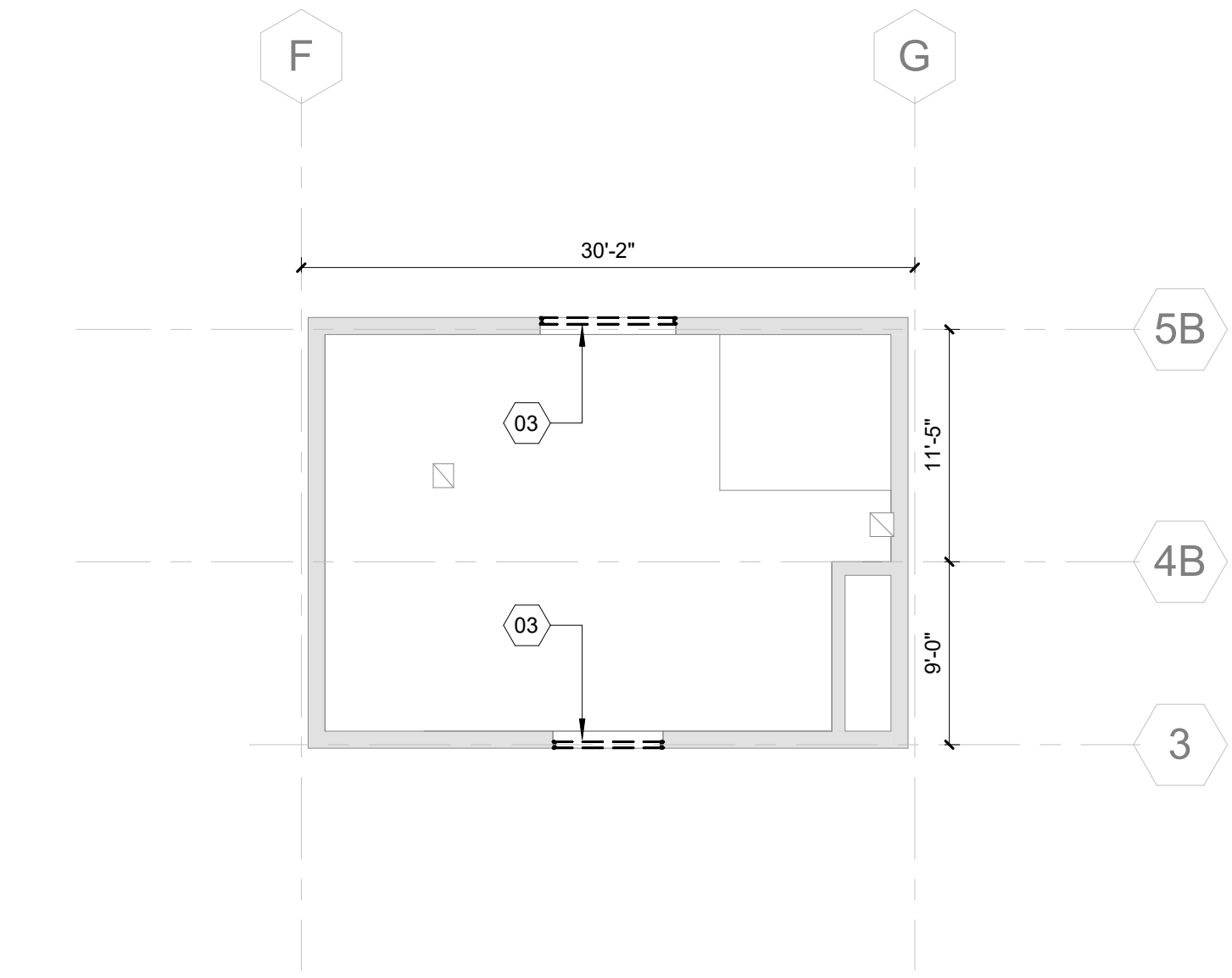
SHEET  
**A8.1**



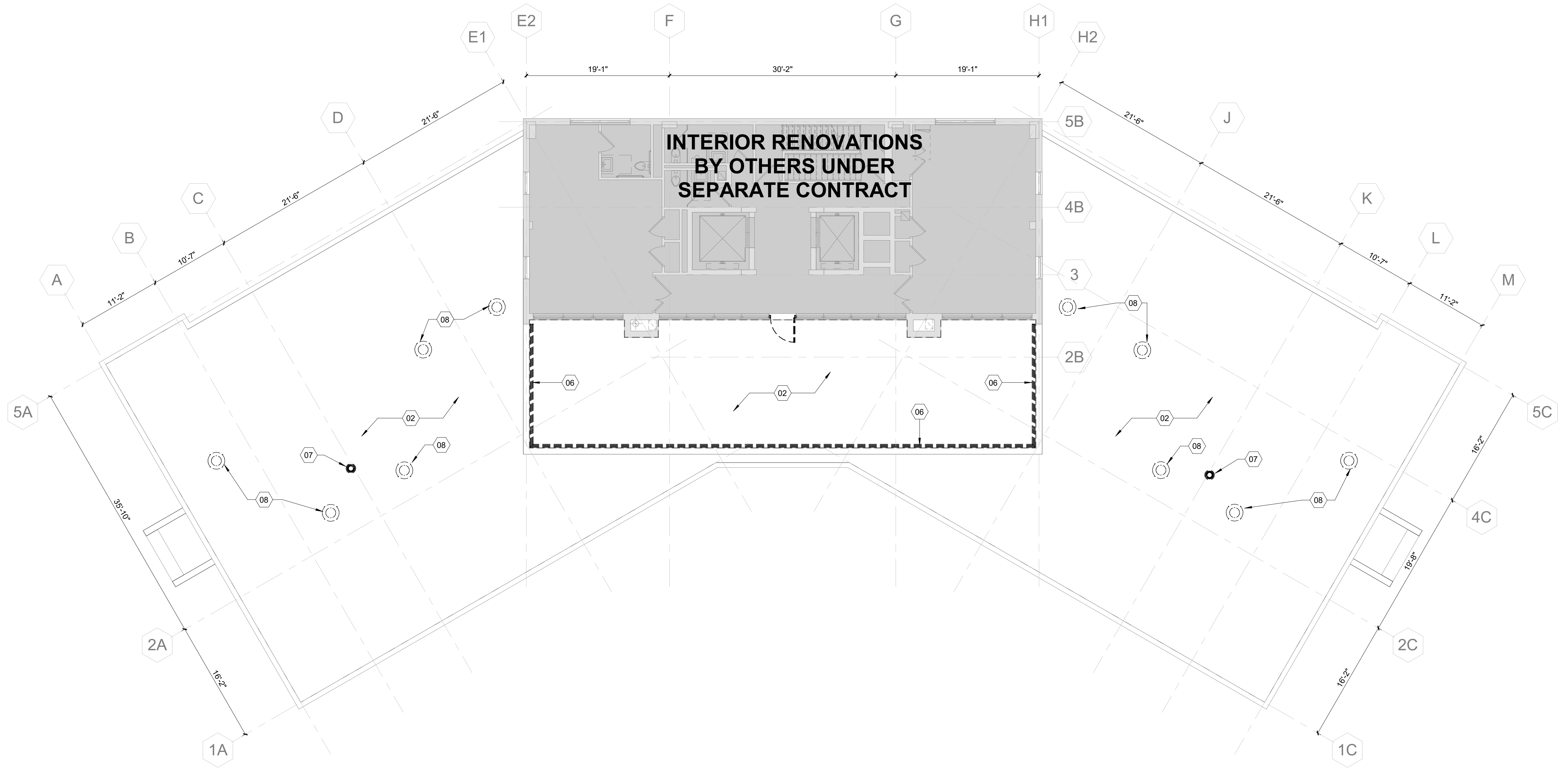
**4 DEMOLITION PLAN PENTHOUSE ROOF**  
1/8\"/>



**2 DEMOLITION PLAN PENTHOUSE**  
1/8\"/>



**3 DEMOLITION PLAN ELEV MACHINE ROOM**  
1/8\"/>



**1 DEMOLITION PLAN LEVEL 13**  
1/8\"/>

**KEYED NOTES - DEMOLITION** XX

- 02 DEMOLISH EXISTING ROOFING IN ITS ENTIRETY (INCLUDING MEMBRANE, BUILT-UP INSULATION, AND UNDERLAYMENT) DOWN TO EXISTING ROOF DECK, AND PREP FOR NEW ROOF WORK.
- 03 DEMOLISH EXISTING LOUVER AND FRAME IN ITS ENTIRETY
- 06 REMOVE EXISTING GUARDRAIL & HANDRAIL, CLEAN, SANDBLAST, & PAINT. PREP FOR REINSTALLATION, SEE ROOF DETAILS
- 07 REMOVE EXISTING ROOF DRAIN AND STRAINER TO BE RE-INSTALLED FOLLOWING INSTALLATION OF NEW ROOFING; EXISTING BOWL TO REMAIN, V.I.F.
- 08 REFER TO MEP DRAWINGS FOR DEMOLITION OF ROOFTOP EQUIPMENT



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dbjHMS  
303 ERIE STREET #510  
CHICAGO, IL 60654

**GENERAL NOTES - DEMO PLANS**

- A. ALL STRUCTURAL COLUMNS AND LOAD BEARING WALLS TO REMAIN, COORDINATE WITH STRUCTURAL
- B. REFER TO ENVIRONMENTAL DRAWINGS AND SPECIFICATIONS FOR ENVIRONMENTAL REMEDIATION AS REQUIRED
- C. V.I.F. ALL DIMENSIONS AT EXISTING CONDITIONS
- D. G.C. SHALL PROTECT ALL EXISTING-TO-REMAIN CONSTRUCTION, FIXTURES, AND EQUIPMENT FOR ALL DISCIPLINES
- E. SEE ADDITIONAL GENERAL NOTES ON SHEET G1.3

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ISSUANCE		
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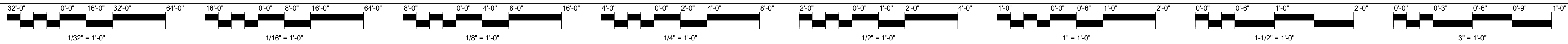
**DEMO FLOOR PLAN LEGEND**

AREA NOT IN CONTRACT

CHA CONTRACT NO: 12017-035AD

TITLE  
**DEMOLITION PLAN LEVEL 13 - PENTHOUSE**

SHEET  
**AD1.13**



# READ ALL NOTES PRIOR TO STARTING WORK

## GENERAL NOTES

### DESIGN CRITERIA

- BUILDING CODE:
  - CITY OF CHICAGO BUILDING CODE 2019
- WIND LOAD:
  - BASIC WIND SPEED, V: 107 MPH
  - RISK CATEGORY, II
  - WIND EXPOSURE, B
  - WIND DIRECTIONALITY, Kd: 0.85
  - TOPOGRAPHIC FACTOR, Kzt: 1.0
  - GROUND ELEVATION FACTOR, Kgd: 1.0
  - GUST EFFECT FACTOR, Gf: 0.85
  - INTERNAL PRESSURE COEFFICIENT, GCpf: +/- 0.18
  - BASE SHEAR (VESTIBULE), Vx: 2.6 K, Vy: 3.61 K
  - COMPONENTS & CLADDING, 25.1 PSF
  - VESTIBULE WIND UPLIFT, 31 PSF

### CONCRETE

- STANDARDS:
  - ACI 318 BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (LATEST EDITION).
  - ACI 352 CODE REQUIREMENTS FOR CONCRETE LIQUID CONTAINMENT STRUCTURES (LATEST EDITION).
  - CRSI HANDBOOK (LATEST EDITION).
- ALL DETAILING, FABRICATION AND ERECTION FOR REINFORCING BARS AND THEIR SUPPORT IN THE FORMS WITH ACCESSORIES MUST FOLLOW THE ACI "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES" (ACI 315-LATEST) AND CRSI "MANUAL OF STANDARD PRACTICE" (LATEST EDITION).
- MINIMUM CONCRETE COVER, UNLESS NOTED OTHERWISE:
 

A. UNFORMED SURFACE IN CONTACT WITH THE GROUND:	3 IN
B. FORMED SURFACES EXPOSED TO EARTH OR WEATHER #6 BAR AND LARGER:	2 IN
C. FORMED SURFACES EXPOSED TO EARTH OR WEATHER #5 BAR AND SMALLER:	1 1/2 IN
D. FORMED SURFACES NOT EXPOSED TO EARTH OR WEATHER:	3/4 IN
a. WALLS, SLABS:	1 1/2 IN
b. BEAMS, GIRDERS, AND COLUMNS (TO TIES OR STIRRUPS):	1 1/2 IN
- CONCRETE SHALL HAVE A 28-DAY COMPRESSIVE STRENGTH AND DENSITY, IN ACCORDANCE WITH THE FOLLOWING:
 

	STRENGTH (PSI)	DENSITY (PCF)
FOOTINGS AND FOUNDATION WALLS	4,000	145
CONCRETE REPAIR PATCH	3,000	150
- REINFORCING BARS SHALL BE ASTM A615-GRADE 60 STEEL, UNO WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185. WELDED ELECTRICAL FABRIC MUST LAP AT LEAST 2" AT SIDE AND 6" AT ENDS AND BE WIRED TOGETHER.
- THE ARCHITECTURAL, MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS MUST BE REFERRED TO FOR ALL MECHANICAL FLOOR REQUIREMENTS, HOUSEKEEPING PADS & EQUIPMENT INERTIA BASES, AND THE VARIOUS TRADES ARE RESPONSIBLE FOR THE PLACING OF SLEEVES, OUTLET BOXES, ANCHORS, ETC THAT MAY BE REQUIRED.
- DOWELS IN WALL FOOTINGS SHALL BE EQUIVALENT IN SIZE AND NUMBER TO VERTICAL BARS. DOWELS MUST BE ANCHORED OR TIED IN POSITION BEFORE PLACING CONCRETE, PUSHING BARS INTO FRESHLY POURED CONCRETE IS NOT ACCEPTABLE.
- FINE AGGREGATE SHALL BE CLEAN, HARD, DURABLE AND FREE OF DELETERIOUS SUBSTANCES AND CONFORM TO ASTM C33. COURSE AGGREGATE SHALL BE CLEAN, HARD, DURABLE WITHOUT FLAT OR ELONGATED PIECES AND SHALL CONFORM TO ASTM C33.
- LIGHT WEIGHT AGGREGATE SHALL BE CLEAN, HARD, DURABLE AND SHALL CONFORM TO ASTM C330.
- LAP SPLICES SHALL BE IN ACCORDANCE WITH ACI 318 BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (LATEST EDITION), WHERE CLASSES ARE NOT CALLED OUT ON DRAWINGS, USE CLASS "B" SPLICES.
- UNLESS OTHERWISE SHOWN IN THE ARCHITECTURAL DRAWINGS, PROVIDE 3/4" CHAMFERS AT ALL EDGES THAT ARE EXPOSED TO VIEW IN THE FINISHED STRUCTURE.
- REFER TO ARCHITECTURAL DRAWINGS FOR CONCRETE FINISHES. WHERE FINISH IS NOT SPECIFIED, CONFORM TO REQUIREMENTS OF ACI 301.

- NOT USED.
- MECHANICAL COUPLERS SHALL BE UNI-AXIAL TYPE CAPABLE OF DEVELOPING 125% OF THE SPECIFIED YIELD STRENGTH OF THE BAR IN TENSION.
- NOT USED.
- THE STRUCTURAL ENGINEER SHALL BE NOTIFIED FOR INSPECTION OF REBAR PLACEMENT, NOTICE SHALL BE GIVEN NOT LESS THAN 24 HOURS PRIOR TO CONCRETE PLACEMENT.

### STRUCTURAL STEEL

- STRUCTURAL STEEL FABRICATION AND ERECTION SHALL COMPLY WITH THE LRFD AISC SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL BUILDINGS (LATEST EDITION).
- STEEL SHALL CONFORM TO THE FOLLOWING GRADES:
  - ALL ANGLE, BASE PLATES, CONN PLATES (UNO): ASTM A36
  - WELDING ELECTRODES: MATCHING STRENGTH, 70 KSI MIN
  - STRUCTURAL PIPE: ASTM A53 GRADE B (Fy=35)
  - BOLTS: ASTM A325, 3/4" DIAMETER (MIN), HEX HEAD
  - STRUCTURAL TUBE (ROUND): ASTM A500, GRADE C (Fy=46)
  - STRUCTURAL TUBE (RECT): ASTM A500 GRADE C (Fy=50)
  - ANCHOR RODS: ASTM F1554, GRADE 36 WITH A36 WASHERS AND HEAVY HEX NUTS
  - ANCHOR RODS: ASTM A992 (GRADE 50)
- ALL STRUCTURAL STEEL SHALL BE DETAILED, FABRICATED AND ERECTED IN ACCORDANCE WITH THE AISC CODE OF STANDARD PRACTICE (LATEST EDITION), EXCEPT AS MODIFIED IN THESE NOTES AND THE PROJECT SPECIFICATIONS.
  - ALL PLATE DIMENSIONS AND GRADES.
  - ALL WELD SIZES, LENGTHS, PITCHES AND RETURNS.
  - ALL HOLE SIZES AND SPACINGS.
  - NUMBER AND TYPE OF BOLTS, WHERE BOLTS ARE SHOWN BUT NO NUMBER IS GIVEN THE CONNECTION HAS NOT BEEN COMPLETELY DETAILED.
  - WHERE PARTIAL INFORMATION IS GIVEN, IT SHALL BE THE MINIMUM REQUIREMENT FOR THE CONNECTION. DESIGN CALCULATIONS FOR TYPICAL BEAM CONNECTIONS AND ALL PRIMARY BRACING AND HANGER CONNECTIONS SHALL BE SUBMITTED TO THE STRUCTURAL ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION. CALCULATIONS SHALL BE REVIEWED ONLY FOR COMPLIANCE WITH THE CONTRACT DOCUMENTS.
- CONNECTIONS MAY BE BOLTED OR WELDED. FABRICATOR IS RESPONSIBLE FOR THE DESIGN OF CONNECTIONS NOT DESIGNED ON THE DRAWINGS. GENERALLY, CONNECTIONS SHOWN ON THE STRUCTURAL DRAWINGS ARE SCHEMATIC AND ARE ONLY INTENDED TO SHOW THE RELATIONSHIP OF MEMBERS CONNECTED. ANY CONNECTION THAT IS NOT SHOWN OR IS NOT COMPLETELY DETAILED ON THE STRUCTURAL DRAWINGS SHALL BE DESIGNED AND SEALED BY A STRUCTURAL ENGINEER, REGISTERED IN THE STATE OF ILLINOIS, RETAINED BY THE FABRICATOR. COMPLETELY DETAILED MEANS THE FOLLOWING INFORMATION IS SHOWN ON THE DETAIL DRAWINGS:
  - ALL OTHER BOLTED CONNECTIONS SHALL BE BEARING TYPE USING A325N OR A490N BOLTS, OVERSIZED HOLES AND LONG-SLOTTED HOLES ARE NOT ALLOWED UNLESS SHOWN ON THE DRAWINGS.
  - A307 BOLTS MAY BE USED WHERE INDICATED ON THE DRAWINGS.
  - PROTRUDING BOLTS HEADS, SHAFTS OR NUTS SHALL NOT EXTEND INTO NOR PROHIBIT THE PLACEMENT OF ARCHITECTURAL FINISHES AND THEY SHALL NOT EXTEND INTO NOR PROHIBIT THE PLACEMENT OF STEEL DECKING TO THE CORRECT LINE AND ELEVATION.
  - THE FABRICATOR IS RESPONSIBLE FOR VERIFYING THE TENSION CAPACITY OF AXIALLY LOADED MEMBERS AFTER A SECTION IS REDUCED FOR BOLT HOLES. MEMBER SIZE MAY BE INCREASED OR CONNECTION PLATES ADDED AS REQUIRED. THE FABRICATOR IS RESPONSIBLE FOR VERIFYING THE TENSION CAPACITY OF AXIALLY LOADED MEMBERS AFTER A SECTION IS REDUCED FOR BOLT HOLES. MEMBER SIZE MAY BE INCREASED OR CONNECTION PLATES ADDED AS REQUIRED.
  - SHOP DRAWINGS SHALL INDICATE THE TYPE OF BOLTS USED IN EACH CONNECTION AND THE ALLOWABLE VALUES USED FOR THE VARIOUS BOLT TYPES.

### MEMBER FORCES ARE SHOWN ON THE DRAWINGS AS FOLLOWS:

- P = AXIAL FORCE IN KIPS, (+) = TENSION, (-) = COMPRESSION
  - V = SHEAR IN KIPS
  - R = BEAM REACTION IN KIPS
  - M = MOMENT IN FOOT-KIPS
- THESE FORCES HAVE BEEN REDUCED IN CONFORMANCE WITH CODE PROVISIONS RELATED TO TEMPORARY COMBINATIONS OF LOADINGS THAT INCLUDE WIND AND SEISMIC FORCES.
- NOT USED.
  - THE MINIMUM PLATE THICKNESS SHALL BE 3/8", THE MINIMUM BOLT DIAMETER SHALL BE 3/4". THE MINIMUM WELD SHALL BE 3/16" AND THE MINIMUM DESIGN LOAD ON ANY CONNECTION SHALL BE 15k.
  - BOLTED CONNECTIONS:
    - ALL OTHER BOLTED CONNECTIONS SHALL BE BEARING TYPE USING A325N OR A490N BOLTS, OVERSIZED HOLES AND LONG-SLOTTED HOLES ARE NOT ALLOWED UNLESS SHOWN ON THE DRAWINGS.
    - A307 BOLTS MAY BE USED WHERE INDICATED ON THE DRAWINGS.
    - PROTRUDING BOLTS HEADS, SHAFTS OR NUTS SHALL NOT EXTEND INTO NOR PROHIBIT THE APPLICATION OF ARCHITECTURAL FINISHES AND THEY SHALL NOT EXTEND INTO NOR PROHIBIT THE PLACEMENT OF STEEL DECKING TO THE CORRECT LINE AND ELEVATION.
    - THE FABRICATOR IS RESPONSIBLE FOR VERIFYING THE TENSION CAPACITY OF AXIALLY LOADED MEMBERS AFTER A SECTION IS REDUCED FOR BOLT HOLES. MEMBER SIZE MAY BE INCREASED OR CONNECTION PLATES ADDED AS REQUIRED. THE FABRICATOR IS RESPONSIBLE FOR VERIFYING THE TENSION CAPACITY OF AXIALLY LOADED MEMBERS AFTER A SECTION IS REDUCED FOR BOLT HOLES. MEMBER SIZE MAY BE INCREASED OR CONNECTION PLATES ADDED AS REQUIRED.
    - SHOP DRAWINGS SHALL INDICATE THE TYPE OF BOLTS USED IN EACH CONNECTION AND THE ALLOWABLE VALUES USED FOR THE VARIOUS BOLT TYPES.
  - WELDED CONNECTIONS:
    - ALL WELDING SHALL BE IN ACCORDANCE WITH THE "STRUCTURAL WELDING CODE" (AWS D.1-LATEST EDITION) PUBLISHED BY THE AMERICAN WELDING SOCIETY. ELECTRODES FOR WELDING SHALL COMPLY WITH THE REQUIREMENTS OF TABLE 4.1.1.1 OF (AWS D.1.1- LATEST EDITION), USE MINIMUM E70 ELECTRODES.
    - ALL WELDING SHALL BE DONE ONLY BY OPERATORS WHO MEET THE QUALIFICATIONS AND TESTS PRESCRIBED IN THE STANDARD QUALIFICATIONS PROCEDURE OF THE AMERICAN WELDING SOCIETY.
    - ALL GROOVE WELDS SHALL BE COMPLETE PENETRATION UNO.
  - SPLICING OF STEEL MEMBERS, UNLESS SHOWN ON THE DRAWINGS, IS PROHIBITED WITHOUT WRITTEN APPROVAL OF THE ENGINEER.
  - NO CHANGE IN SIZE OR POSITION OF THE STRUCTURAL ELEMENTS SHALL BE MADE AND HOLES, SLOTS, CUTS, ETC., ARE NOT PERMITTED THROUGH ANY MEMBER UNLESS THEY ARE DETAILED ON THE APPROVED SHOP DRAWINGS.
  - NO FINAL BOLTING OR WELDING SHALL BE MADE UNTIL AS MUCH OF THE STRUCTURE AS WILL BE STIFFENED THEREBY HAS BEEN PROPERLY ALIGNED.
  - NOT USED.
  - NOT USED.
  - BOLTING IN COMBINATION WITH WELDING SHALL NOT BE CONSIDERED AS SHARING THE STRESS AND WELDS SHALL BE PROVIDED TO CARRY THE ENTIRE STRESS FOR WHICH THE CONNECTION IS DESIGNED.

### MISCELLANEOUS

- STRUCTURAL DRAWINGS ARE INTENDED TO BE USED WITH ARCHITECTURAL AND MECHANICAL DRAWINGS. CONTRACTOR IS RESPONSIBLE FOR COORDINATING SUCH REQUIREMENTS INTO THEIR SHOP DRAWINGS AND WORK.
- NO OPENING SHALL BE MADE IN ANY STRUCTURAL MEMBER WITHOUT THE WRITTEN APPROVAL OF THE STRUCTURAL ENGINEER.
- NO CHANGE IN SIZE OF DIMENSION OF STRUCTURAL MEMBERS SHALL BE MADE WITHOUT THE WRITTEN APPROVAL OF THE STRUCTURAL ENGINEER.
- THE CONTRACTOR IS RESPONSIBLE FOR LIMITING THE AMOUNT OF CONSTRUCTION LOAD IMPOSED UPON STRUCTURAL FRAMING. CONSTRUCTION LOADS SHALL NOT EXCEED THE DESIGN CAPACITY OF THE FRAMING AT THE TIME THE LOADS ARE IMPOSED.
- THE STRUCTURE IS DESIGNED TO FUNCTION AS A UNIT UPON COMPLETION. THE CONTRACTOR IS RESPONSIBLE FOR FURNISHING ALL TEMPORARY BRACING AND/OR SUPPORT THAT MAY BE REQUIRED AS THE RESULT OF THE CONTRACTOR'S CONSTRUCTION METHODS AND/OR SEQUENCES.
- UNLESS OTHERWISE NOTED, FIRE PROOFING METHODS AND MATERIALS FOR STRUCTURAL MEMBERS ARE NOT SHOWN ON STRUCTURAL DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS AND SPECIFICATIONS FOR FIRE RATING REQUIREMENTS, FIRE PROOFING METHODS AND MATERIALS.
- DO NOT SCALE THESE DRAWINGS, USE DIMENSIONS.
- CONTRACTOR'S CONSTRUCTION AND/OR ERECTION SEQUENCES SHALL RECOGNIZE AND CONSIDER THE EFFECTS OF THERMAL MOVEMENTS OF STRUCTURAL ELEMENTS DURING THE CONSTRUCTION PERIOD. EXPANSION JOINTS SHOWN ON THE DRAWINGS HAVE BEEN DESIGNED TO ACCOMMODATE ANTICIPATED THERMAL MOVEMENT AFTER THE BUILDING IS COMPLETE.
- THE CONTRACTOR SHALL INFORM THE STRUCTURAL ENGINEER IN WRITING OF ANY DEVIATION FROM THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL NOT BE RELIEVED OF THE RESPONSIBILITY FOR SUCH DEVIATION BY THE ENGINEER'S APPROVAL OF SHOP DRAWINGS, PRODUCT DATA, ETC., UNLESS THE CONTRACTOR HAS SPECIFICALLY INFORMED THE ENGINEER OF SUCH DEVIATION AT THE TIME OF SUBMISSION, AND THE ENGINEER HAS GIVEN WRITTEN APPROVAL TO THE SPECIFIC DEVIATION.
- ALL THINGS WHICH, IN THE OPINION OF THE CONTRACTOR, APPEAR TO BE DEFICIENCIES, OMISSIONS, CONTRADICTIONS OR AMBIGUITIES, IN THE PLANS AND SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER. PLANS AND/OR SPECIFICATIONS WILL BE CORRECTED, OR WRITTEN INTERPRETATION OF THE ALLEGED DEFICIENCY, OMISSION, CONTRADICTION OR AMBIGUITY WILL BE MADE BY THE ENGINEER BEFORE THE AFFECTED WORK PROCEEDS.
- THE DESIGN AND ENGINEERING OF SHORING NOTED ON THE DRAWINGS AND IN THE SPECIFICATIONS OR REQUIRED BY THE CONTRACTOR'S CONSTRUCTION METHODS, AS WELL AS ITS CONSTRUCTION, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- SHELF ANGLES SUPPORTING MASONRY SHALL BE FABRICATED IN LENGTHS OF 8 TO 12 FEET UNLESS SHOWN OTHERWISE. SHELF ANGLES SHOULD BE PLACED WITH A 1/4-1/2 INCH OPEN BUTT JOINT AT EACH END TO PROVIDE FOR THERMAL EXPANSION OF THE STEEL. BUTT JOINTS SHALL BE KEPT CLEAN OF MORTAR. ALL CORNERS OF THE HORIZONTAL LEGS OF ADJACENT ANGLES SHOULD BE MITERED TO PROVIDE CONTINUOUS SUPPORT FOR THE MASONRY AROUND THE CORNER.
- SEE PROJECT SPECIFICATIONS FOR ADDITIONAL INFORMATION.

### POST-INSTALLED MECHANICAL ANCHORS

- POST-INSTALLED MECHANICAL ANCHORS SHALL ONLY BE USED WHERE SPECIFIED ON THE DRAWINGS. THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE ENGINEER OF RECORD PRIOR TO USING POST-INSTALLED ANCHORS FOR MISSING OR MISPLACED CAST-IN-PLACE ANCHORS. CARE SHALL BE GIVEN TO AVOID CONFLICTS WITH EXISTING REBAR. DO NOT CUT EXISTING REINFORCING. HOLES SHALL BE DRILLED, CLEANED, AND INSTALLED PER THE MANUFACTURER'S INSTRUCTIONS.
  - UNLESS SPECIFIED OTHERWISE, ANCHORS SHALL BE EMBEDDED IN THE APPROPRIATE SUBSTRATE WITH A MINIMUM EMBEDMENT OF 8 TIMES THE NOMINAL ANCHOR DIAMETER OR THE EMBEDMENT DEPTH REQUIRED TO SUPPORT THE INTENDED LOAD.
  - ANCHOR CAPACITY IS DEPENDENT UPON SPACING BETWEEN ADJACENT ANCHORS AND PROXIMITY OF ANCHORS TO EDGE OF CONCRETE OR MASONRY. INSTALL ANCHORS IN ACCORDANCE WITH SPACING AND EDGE CLEARANCES INDICATED ON THE DRAWINGS.
  - SUBSTITUTION REQUESTS, FOR PRODUCTS OTHER THAN THOSE LISTED BELOW, MUST BE APPROVED IN WRITING BY THE STRUCTURAL ENGINEER OF RECORD PRIOR TO USE. CONTRACTOR SHALL PROVIDE CALCULATIONS DEMONSTRATING THAT THE SUBSTITUTED PRODUCT IS CAPABLE OF ACHIEVING THE PERFORMANCE VALUES OF THE SPECIFIED PRODUCT. SUBSTITUTIONS WILL BE EVALUATED BY THEIR HAVING AN ICC-ESR SHOWING COMPLIANCE WITH THE RELEVANT BUILDING CODE FOR SEISMIC USES, LOAD RESISTANCE, INSTALLATION CATEGORY, AND AVAILABILITY OF COMPREHENSIVE INSTALLATION INSTRUCTIONS.
  - PROVIDE STAINLESS STEEL FINISH FOR ALL ANCHORS, U.N.O.
  - EXCEPT WHERE INDICATED ON THE DRAWINGS, ANCHORS SHALL BE AS FOLLOWS:
    - CONCRETE EXPANSION ANCHORS:
      - ALL CONCRETE EXPANSION ANCHORS SHALL MEET THE REQUIREMENTS OF ACI 318, APPENDIX D AND SHALL HAVE BEEN TESTED IN ACCORDANCE WITH ACI 355.2 AND ICC-ES AC193 FOR CRACKED CONCRETE AND SEISMIC APPLICATION.
    - PRE-APPROVED PRODUCTS INCLUDE:
      - HILTI KWIK BOLT TZ (ICC-ES ESR-1917)
      - SIMPSON STRONG BOLT Z (ICC-ES ESR-3037)
      - HILTI HSL-3 (ICC-ES ESR-1545)
      - HILTI HDA UNDERCUT ANCHOR (ICC-ES ESR-1546)
      - SIMPSON TORQ-CUT ANCHOR (ICC-ES ESR-2705)
    - GROUTED MASONRY EXPANSION ANCHORS:
      - ALL MECHANICAL ANCHORS INTO GROUT-FILLED CONCRETE MASONRY UNITS SHALL HAVE BEEN TESTED IN ACCORDANCE WITH ICC-ES AC01.
      - PRE-APPROVED PRODUCTS INCLUDE:
        - HILTI KWIK 3 (ICC-ES ESR-1385)
        - SIMPSON STRONG BOLT Z (ICC-ES ESR-3037)
        - SIMPSON WEDGE ALL (ICC-ES ESR-1396)
        - HILTI HSL-3 (ICC-ES ESR-1545)
        - HILTI HDA UNDERCUT ANCHOR (ICC-ES ESR-1546)
- CONTRACTOR MUST ADHERE TO MANUFACTURER'S REQUIREMENTS FOR ANCHOR SPACING AND LOCATION.
- CONCRETE SCREW ANCHORS:
    - ALL CONCRETE SCREW ANCHORS SHALL HAVE BEEN TESTED IN ACCORDANCE WITH ACI 355.2 AND ICC-ES AC193 FOR CRACKED CONCRETE AND SEISMIC APPLICATIONS.
    - PRE-APPROVED PRODUCTS INCLUDE:
      - HILTI HUS EZ (ICC-ES ESR-3027)
      - SIMPSON TITEN HD (ICC-ES ESR-2713)
  - GROUTED MASONRY SCREW ANCHORS:
    - ALL MECHANICAL ANCHORS INTO GROUT-FILLED CONCRETE MASONRY UNITS SHALL HAVE BEEN TESTED IN ACCORDANCE WITH ICC-ES AC106.
    - PRE-APPROVED PRODUCTS INCLUDE:
      - HILTI HUS EZ SCREW ANCHOR (ICC-ES ESR-3056)
      - SIMPSON TITEN HD (ICC-ES ESR-1056)
- CONTRACTOR MUST ADHERE TO MANUFACTURER'S REQUIREMENTS FOR ANCHOR SPACING AND LOCATION.

### POST-INSTALLED ADHESIVE ANCHORS

- POST-INSTALLED ADHESIVE ANCHORS SHALL ONLY BE USED WHERE SPECIFIED ON THE DRAWINGS. THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE ENGINEER OF RECORD PRIOR TO USING POST-INSTALLED ANCHORS FOR MISSING OR MISPLACED CAST-IN-PLACE ANCHORS. CARE SHALL BE GIVEN TO AVOID CONFLICTS WITH EXISTING REBAR. DO NOT CUT EXISTING REINFORCING. HOLES SHALL BE DRILLED AND CLEANED PER THE MANUFACTURER'S INSTRUCTIONS.
  - UNLESS SPECIFIED OTHERWISE, ANCHORS SHALL BE EMBEDDED IN THE APPROPRIATE SUBSTRATE WITH A MINIMUM EMBEDMENT OF 8 TIMES THE NOMINAL ANCHOR DIAMETER OR THE EMBEDMENT DEPTH REQUIRED TO SUPPORT THE INTENDED LOAD.
  - ANCHOR CAPACITY IS DEPENDENT UPON SPACING BETWEEN ADJACENT ANCHORS AND PROXIMITY OF ANCHORS TO EDGE OF CONCRETE OR MASONRY. INSTALL ANCHORS IN ACCORDANCE WITH SPACING AND EDGE CLEARANCES INDICATED ON THE DRAWINGS.
  - SUBSTITUTION REQUESTS, FOR PRODUCTS OTHER THAN THOSE LISTED BELOW, MUST BE APPROVED IN WRITING BY THE STRUCTURAL ENGINEER OF RECORD PRIOR TO USE. CONTRACTOR SHALL PROVIDE CALCULATIONS DEMONSTRATING THAT THE SUBSTITUTED PRODUCT IS CAPABLE OF ACHIEVING THE PERFORMANCE VALUES OF THE SPECIFIED PRODUCT. SUBSTITUTIONS WILL BE EVALUATED BY THEIR HAVING AN ICC-ESR SHOWING COMPLIANCE WITH THE RELEVANT BUILDING CODE FOR SEISMIC USES, LOAD RESISTANCE, INSTALLATION CATEGORY, AND AVAILABILITY OF COMPREHENSIVE INSTALLATION INSTRUCTIONS.
  - PROVIDE STAINLESS STEEL FINISH FOR ALL ANCHORS, U.N.O.
  - EXCEPT WHERE INDICATED ON THE DRAWINGS, ANCHORS SHALL BE AS FOLLOWS:
    - CONCRETE ADHESIVE ANCHORS:
      - ALL CONCRETE ADHESIVE ANCHORS SHALL MEET THE REQUIREMENTS OF ACI 318, APPENDIX D AND SHALL HAVE BEEN TESTED IN ACCORDANCE WITH ACI 355.4 AND ICC-ES AC308 FOR CRACKED CONCRETE AND SEISMIC APPLICATIONS.
      - PRE-APPROVED PRODUCTS INCLUDE:
        - HILTI HIT-HY 200 (ICC-ES ESR-3187)
        - HILTI HIT-RE 500-SID (ICC-ES ESR-2322)
        - SIMPSON STRONG-TIE AT-XP (APMO-UES ER-263)
        - SIMPSON STRONG-TIE ET-HP (ICC-ES ESR-3372)
        - SIMPSON STRONG-TIE SET-XP (ICC-ES ESR-2508)
    - GROUTED MASONRY ADHESIVE ANCHORS:
      - ALL ADHESIVE ANCHORS INTO GROUT-FILLED CONCRETE MASONRY UNITS SHALL HAVE BEEN TESTED IN ACCORDANCE WITH ICC-ES AC58.
      - PRE-APPROVED PRODUCTS INCLUDE:
        - HILTI HIT-HY 70 (ICC-ES ESR-3682)
        - SIMPSON STRONG-TIE AT-XP (APMO-UES ER-281)
        - SIMPSON STRONG-TIE ET-HP (APMO-UES ER-241)
        - SIMPSON STRONG-TIE SET-XP (APMO-UES ER-265)
- CONTRACTOR MUST ADHERE TO MANUFACTURER'S REQUIREMENTS FOR ANCHOR SPACING AND LOCATION.
- HOLLOW CMU OR UNREINFORCED BRICK MASONRY ADHESIVE ANCHORS:
    - ALL ADHESIVE ANCHORS INTO GROUT-FILLED CONCRETE MASONRY UNITS SHALL HAVE BEEN TESTED IN ACCORDANCE WITH ICC-ES AC106.
    - PRE-APPROVED PRODUCTS INCLUDE:
      - HILTI HIT-HY 70 (ICC-ES ESR-3342)
      - SIMPSON STRONG-TIE AT-XP (APMO-UES ER-281)
      - SIMPSON STRONG-TIE ET-HP (APMO-UES ER-241)
      - SIMPSON STRONG-TIE SET-XP (APMO-UES ER-265)
- CONTRACTOR MUST ADHERE TO MANUFACTURER'S REQUIREMENTS FOR ANCHOR SPACING AND LOCATION.

### CONTRACTOR'S DELEGATED DESIGN

- CONTRACTOR DESIGNED ELEMENTS SHALL BE DESIGNED BY LICENSED STRUCTURAL ENGINEERS REGISTERED IN THE STATE OF ILLINOIS. FOR PERMANENT BUILDING COMPONENTS, CONTRACTOR SHALL SUBMIT SHOP DRAWINGS, DESIGN LOAD DATA, SUPPORT REACTIONS, AND CERTIFICATION THAT ELEMENTS WERE DESIGNED FOR LOADS SPECIFIED IN THE CONTRACT DOCUMENTS OR IN THE BUILDING CODE. ALL DOCUMENTS NOTED SHALL BE SEALED BY THE LICENSED ENGINEER. IF CRITERIA INDICATED ARE NOT SUFFICIENT, SUBMIT A WRITTEN REQUEST FOR ADDITIONAL INFORMATION TO ARCHITECT. THE FOLLOWING ELEMENTS AND THEIR CONNECTIONS SHALL BE CONTRACTOR DESIGNED:
  - TEMPORARY BRACING AND SHORING
  - EARTH RETENTION SYSTEMS NECESSARY FOR SAFE EXCAVATION
  - STRUCTURAL STEEL CONNECTIONS
  - SUPPORT, ANCHORAGE AND LATERAL BRACING OF MECHANICAL EQUIPMENT AND MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEM COMPONENTS



**JUDGE GREEN  
EXTERIOR  
IMPROVEMENTS**  
4030 S LAKE PARK AVE  
CHICAGO, IL 60653

ARCHITECT OF RECORD:  
CANOPY ARCHITECTURE + DESIGN, LLC  
180 W WASHINGTON STREET, SUITE 200  
CHICAGO, IL 60602

CIVIL & STRUCTURAL ENGINEERS:  
DAVID MASON + ASSOCIATES  
333 S DESPLAINES STREET, SUITE 200  
CHICAGO, IL 60661

LANDSCAPE ARCHITECT:  
MCKAY LANDSCAPE ARCHITECTS  
5215 N RAVENSWOOD AVENUE  
CHICAGO, IL 60640

MEP ENGINEER:  
dbHMS  
303 ERIE STREET #510  
CHICAGO, IL 60654

WARNING: ASBESTOS CONTAINING BUILDING MATERIALS ARE OR MAY BE PRESENT IN THIS BUILDING. AN ASBESTOS MANAGEMENT PLAN IS AVAILABLE IN THE BUILDING FOR REVIEW UPON REQUEST. NO PERSON MAY DISTURB ASBESTOS CONTAINING MATERIALS UNLESS THAT PERSON IS A LICENSED ASBESTOS WORKER OR CONDUCTS SUCH WORK IN ACCORDANCE WITH SPECIFICATIONS CONTAINED IN THE PROJECT DOCUMENTS AND IN COMPLIANCE WITH ILLINOIS DEPARTMENT OF HEALTH RULES AND REGULATIONS.

### ISSUANCE

MARK	DESCRIPTION	DATE
	BID & PERMIT	01.08.21

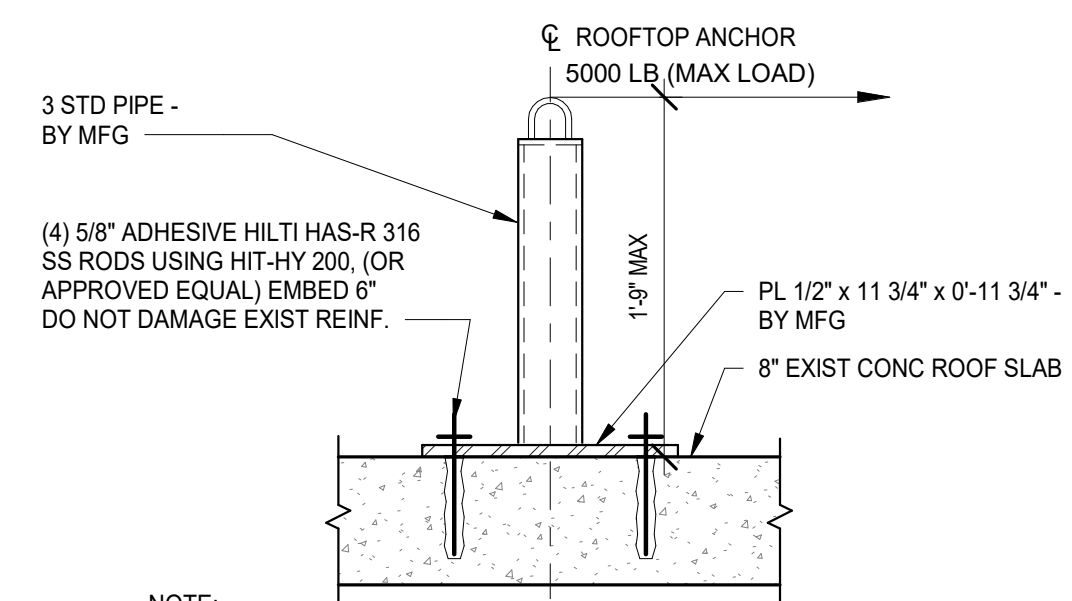
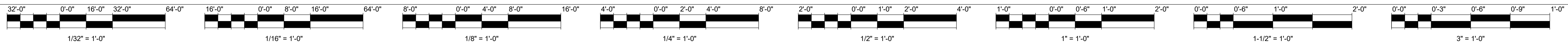
CHA CONTRACT NO: P1805

TITLE

**GENERAL NOTES**

SHEET

**S0.1A**



- NOTE:
1. ROOFTOP ANCHORS MUST BE INSTALLED AND VERIFIED BY CERTIFIED CONTRACTOR.
  2. SEE ARCH DWG'S FOR LOCATIONS.
  3. BASIS OF DESIGN IS AXIS ANCHOR PRODUCT RE15X104 15\"/>

**4** TYPICAL ROOFTOP ANCHOR CONNECTION TO CONCRETE  
SCALE: 1" = 1'-0"



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CHICAGO, IL 60654

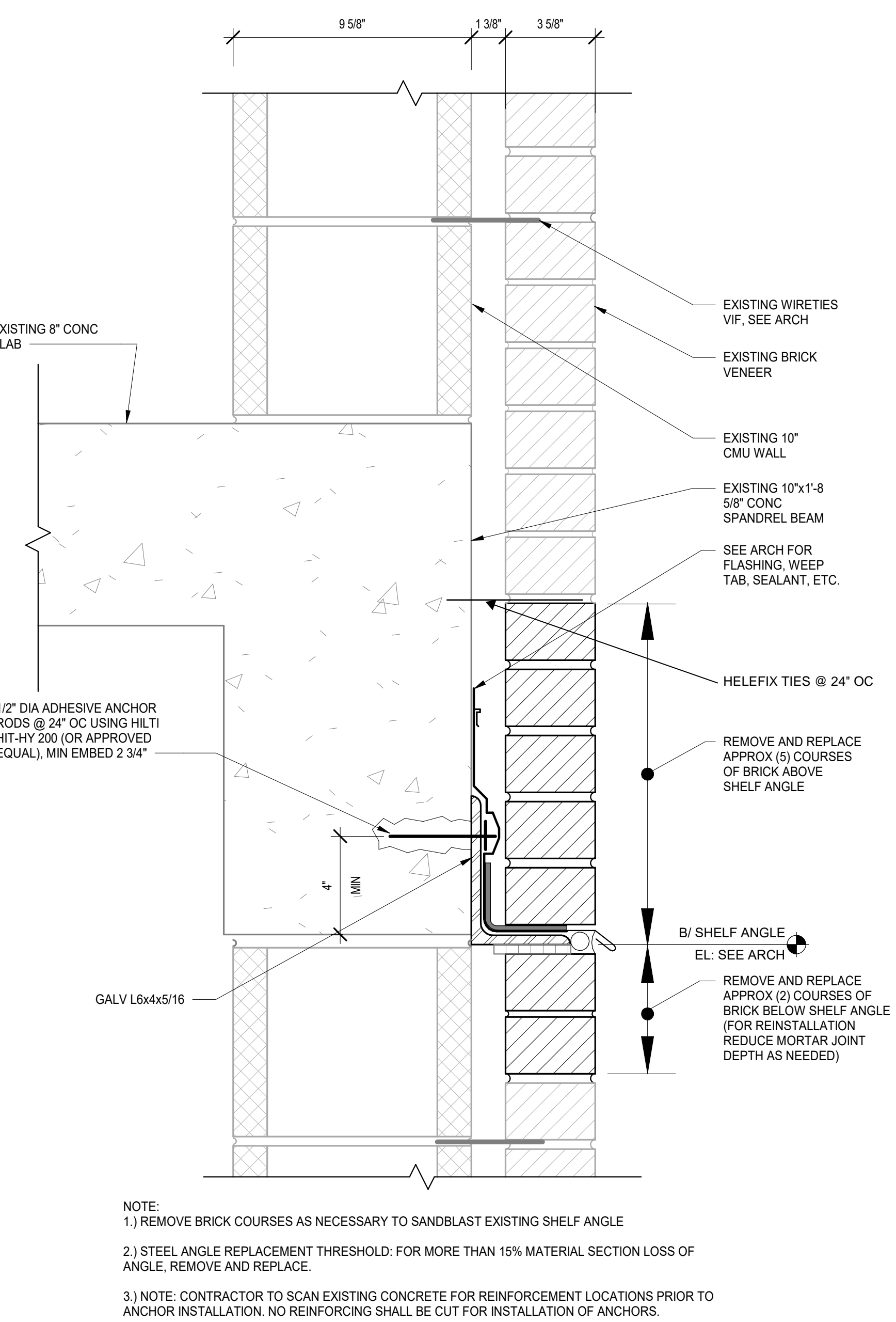
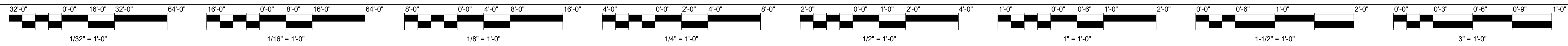
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ISSUANCE		
MARK	DESCRIPTION	DATE
	BID & PERMIT	01.08.21

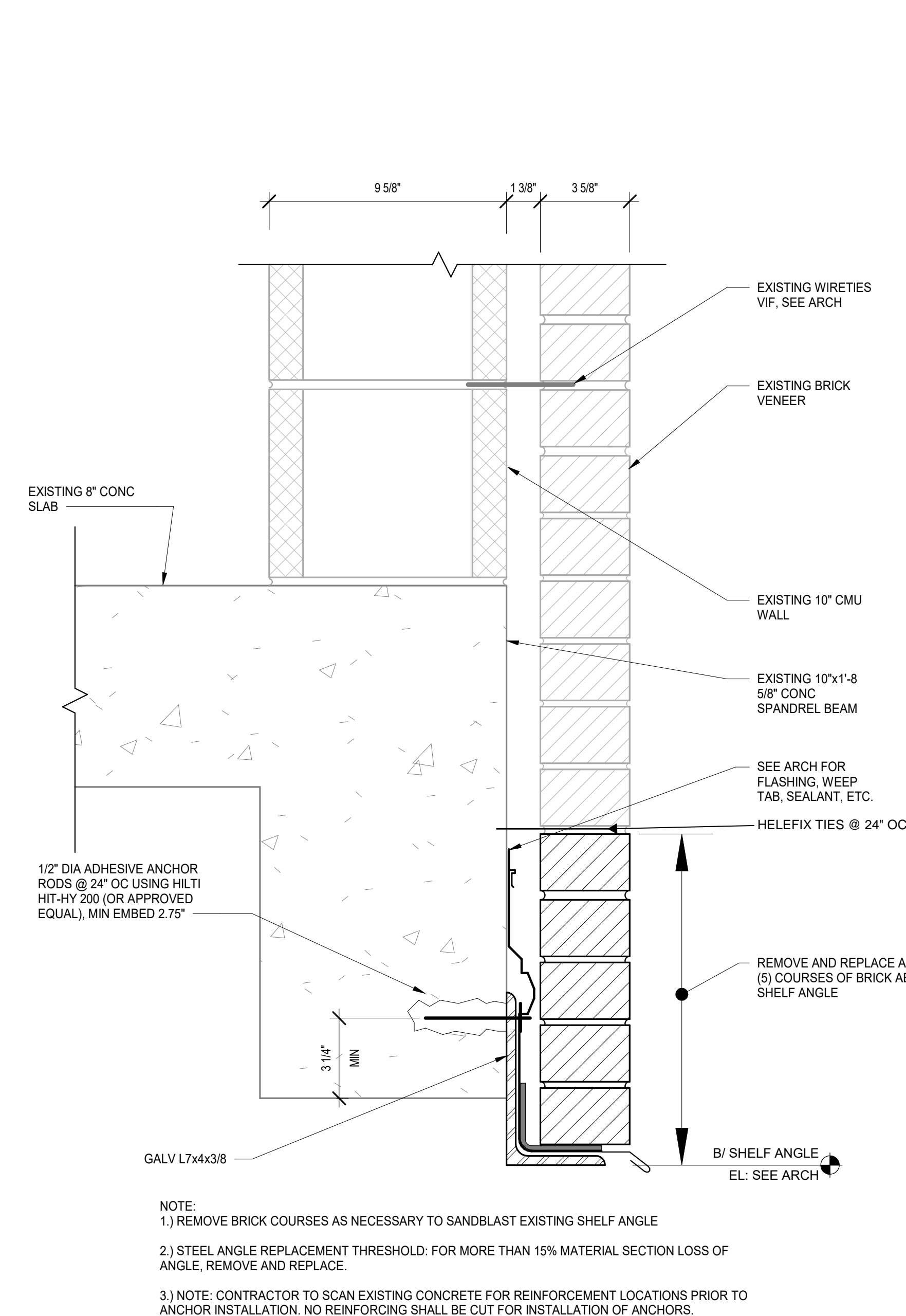
CHA CONTRACT NO: P1805  
TITLE

**SECTIONS AND DETAILS**

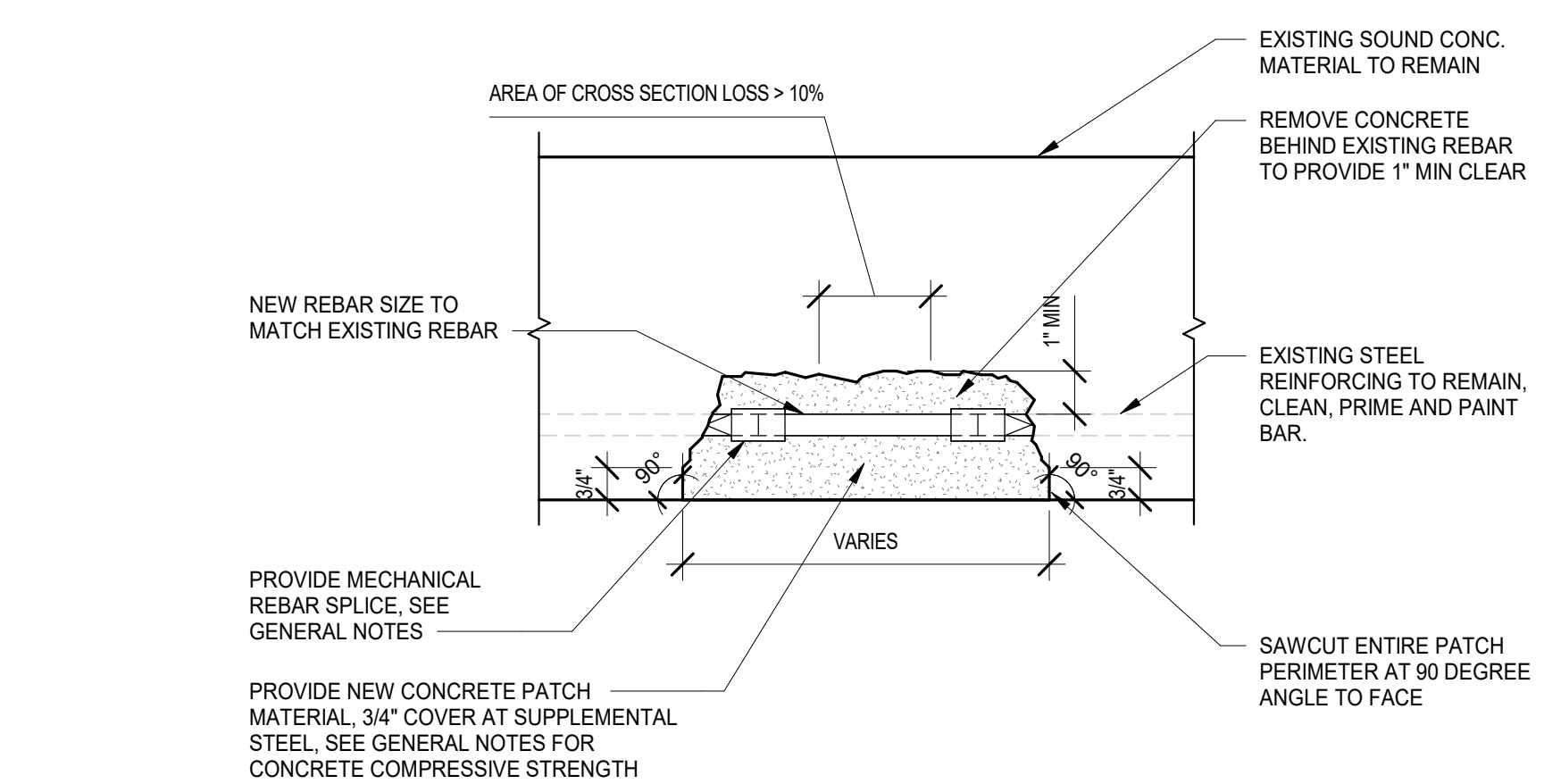
SHEET  
**S2.0A**



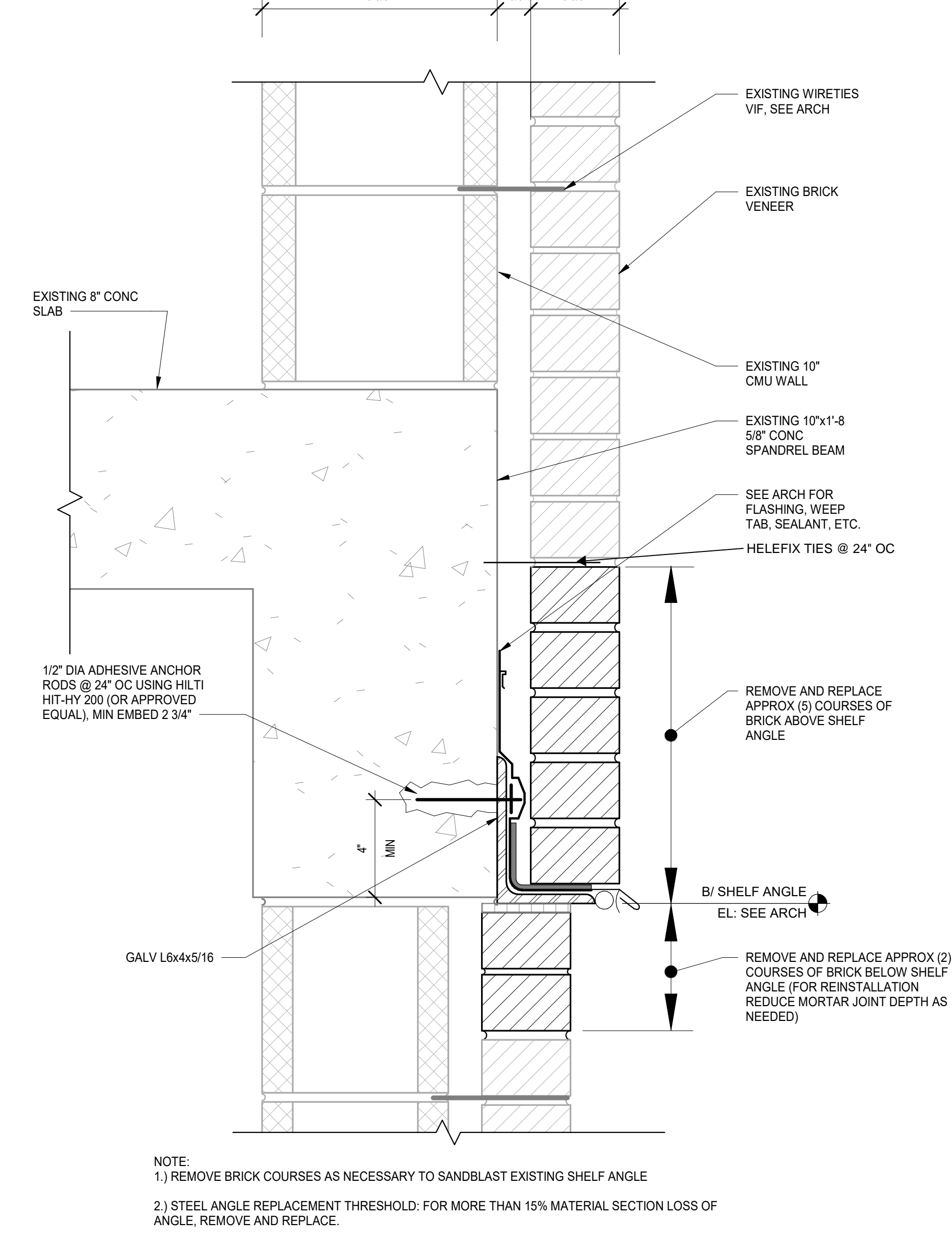
**3** TYPICAL SHELF ANGLE REPAIR DETAIL  
SCALE: 3" = 1'-0"



**2** SHELF ANGLE REPAIR @ EXTERIOR SOFFIT  
SCALE: 3" = 1'-0"



**4** CONCRETE REPAIR DETAIL AT CONCRETE WALL  
SCALE: 3" = 1'-0"



**1** SHELF ANGLE REPAIR DETAIL - OVERHANG  
SCALE: 3" = 1'-0"



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ISSUANCE

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TITLE  
**SECTIONS AND DETAILS**

SHEET  
**S2.1A**

ELECTRICAL OPTIONS AND MOUNTING CODES	
CONNECTION AND ROUTING	
ABBRV	DESCRIPTION
CDR	CEILING DROP DOWN ON TO RACK
CPC	CORD AND PLUG CONNECTION POINT
FSR	FLOOR STUB UP ONTO RACK
PDC	PULL DOWN DROP CORD
HWC	HARD WIRE CONNECTION
FWC	FLEXIBLE WHIP CONNECTION
DEVICE OPTIONS	
ABBRV	DESCRIPTION
TP	TAMPER PROOF TYPE DEVICE AND COVER
WP	WEATHER PROOF TYPE DEVICE AND COVER
WG	WIRE GUARD DEVICE AND COVER
VR	VANDAL RESISTANT DEVICE AND COVER
GFI	GROUND FAULT INTERRUPTION AND PROTECTION

## GENERAL ELECTRICAL NOTES

APPLICABLE TO ALL ELECTRICAL DRAWINGS

### 1. DEFINITIONS

"FURNISH" MEANS TO "SUPPLY" AND USUALLY REFERS TO DELIVERY OF AN ITEM OF EQUIPMENT TO THE PROJECT SITE, READY FOR INSTALLATION. EQUIPMENT TO THE PROJECT SITE, READY FOR INSTALLATION. "INSTALL" MEANS TO SET IN PLACE, CONNECT AND PLACE IN FULL OPERATIONAL ORDER. "PROVIDE" MEANS TO "FURNISH" AND "INSTALL." "FUTURE" BY OTHERS, "REFER" (DISCIPLINE) DIVISION" AND SIMILAR EXPRESSIONS INDICATE WORK THAT MAY BE PERFORMED UNDER THE CONTRACT DOCUMENTS BUT, NOT NECESSARILY UNDER THE DIVISION OR DISCIPLINE ON WHICH THE NOTE APPEARS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE WORK WITH SUPPLIERS, SUBCONTRACTORS, EMPLOYEES, ETC. SHOULD CLARIFICATION OF ANY PORTION OF THE WORK BE REQUIRED, CONTACT THE ARCHITECT/ENGINEER PRIOR TO SUBMITTING BID.

### 2. CODES

THE WORK SHALL COMPLY WITH LATEST CHICAGO BUILDING CODE. THIS WOULD INCLUDE, BUT IS NOT LIMITED TO, THE CURRENT CITY BUILDING CODE, AMENDMENTS, NFPA, ANSI, OSHA, AND ALL OTHER LOCAL OR MUNICIPAL BUREAUS AND DEPARTMENTS WHICH HAVE AUTHORITY OVER THE PROJECT, ANYTHING IN THESE CONTRACT DOCUMENTS NOT WITHSTANDING. THIS SHALL NOT BE CONSTRUED AS WAIVING COMPLIANCE WITH ANY REQUIREMENTS OF THE PLANS AND SPECIFICATIONS WHICH MAY BE IN EXCESS OF ANY REQUIREMENTS OF THESE CODES.

### 3. INTERPRETATION OF THE DOCUMENTS

THE CONTRACTOR SHALL CAREFULLY COMPARE THE DRAWINGS AND SPECIFICATIONS, CHECKING THE MEASUREMENTS AND CONDITIONS UNDER WHICH CONSTRUCTION IS TO BE IMPLEMENTED. FOR CLARIFICATION BETWEEN VARIOUS DRAWINGS AND/OR SPECIFICATIONS, THE DISPUTED ISSUE SHALL BE REFERRED TO THE ENGINEER BEFORE ANY WORK IS EXECUTED. THE CONTRACTOR SHALL STATE IN THEIR PROPOSAL ANY EXCEPTIONS NECESSARY TO MAKE THIS WORK A COMPLETE AND READY-TO-USE INSTALLATION. IF NOT SO-STATED IN THE CONTRACTOR'S PROPOSAL, ANY SUCH WORK WILL NOT BE CONSIDERED ADDITIONAL.

### 4. COORDINATION

THE ELECTRICAL DRAWINGS ARE DIAGRAMMATIC IN NATURE AND SHALL NOT BE SCALED. TO THIS EXTENT, DATA GIVEN ON THE DRAWINGS IS AS EXACT AS COULD BE SECURED. THE CONTRACTOR SHALL COORDINATE THE EXACT LOCATION OF ALL REQUIRED WORK AND EQUIPMENT WITH THAT OF THE OTHER TRADES. WHERE THERE ARE POTENTIAL CONFLICTS, THE CONTRACTOR SHALL OBTAIN AND VERIFY EXACT LOCATIONS, MEASUREMENTS, LEVELS, SPACE REQUIREMENTS, ETC. AT THE SITE AND SHALL SATISFACTORILY ADAPT HIS WORK TO ACTUAL FIELD CONDITIONS. REFER TO ARCHITECTURAL/MECHANICAL DRAWINGS FOR PLANS, ELEVATIONS AND DETAILS INDICATING THE LOCATIONS OF CEILING ELEMENTS (E.G., LIGHTS, SPRINKLERS, DIFFUSERS, ETC.) AND WALL ELEMENTS. CEILING MOUNTED ITEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE ARCHITECTURAL REFLECTED CEILING PLANS. IF LOCATION FOR AN ITEM IS NOT SHOWN ON THE ARCHITECTURAL DRAWINGS, VERIFY THE EXACT LOCATION OF THE ITEM WITH THE ARCHITECT PRIOR TO INSTALLATION. THESE REQUIREMENTS APPLY TO ALL CEILING TYPES IN ALL AREAS.

### 5. SITE EXAMINATION

THE CONTRACTOR SHALL CAREFULLY EXAMINE THE CONTRACT DOCUMENTS, VISIT THE SITE, EXAMINE THE PREMISES, AND MAKE A THOROUGH SURVEY OF THE CONDITIONS UNDER WHICH CONSTRUCTION WILL BE IMPLEMENTED. THE SUBMISSION OF A PROPOSAL WILL BE CONSTRUED AS EVIDENCE THAT SUCH AN EXAMINATION HAS BEEN MADE. FAILURE TO DO SO SHALL NOT RELIEVE THE CONTRACTOR OF THE OBLIGATIONS OF THE CONTRACT. ANY LATER CLAIMS FOR LABOR, EQUIPMENT, OR MATERIALS REQUIRED FOR DIFFICULTIES ENCOUNTERED WHICH COULD HAVE BEEN FORESEEN HAD SUCH AN EXAMINATION BEEN MADE, WILL NOT BE RECOGNIZED.

### 6. PERMITS

THE CONTRACTOR SHALL SECURE, OBTAIN AND PAY FOR ALL PERMITS, INSPECTIONS, TAXES, LICENSES, AND FEES TO ALL GOVERNMENT AGENCIES REQUIRED FOR THE EXECUTION AND COMPLETION OF THE ELECTRICAL WORK. SCHEDULING OF ALL REQUIRED INSPECTIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL PREPARE AND SUBMIT ALL SHOP DRAWINGS AS REQUIRED TO THE GOVERNMENTAL AGENCIES AND UTILITY COMPANIES FOR THEIR APPROVAL.

### 7. SAFETY

THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO ENSURE THE SAFETY OF THE CLIENT'S EMPLOYEES, BUILDING EMPLOYEES AND GUESTS AS WELL AS THEIR OWN FORCES, BY ADEQUATELY PROTECTING ANY EXPOSED LIVE CABLE, EQUIPMENT, OR DEVICES THROUGHOUT THE COURSE OF THIS WORK.

### 8. CONTRACTOR'S DRAWING REVIEW

ALL CONTRACTORS/BIDDERS SHALL HAVE RECEIVED A COMPLETE SET OF CONSTRUCTION DOCUMENTS FOR REVIEW AND REFERENCE TO WORK INDICATED. CONDUIT LOCATE SERVICES SHALL BE REQUESTED AND COMPLETED BEFORE DISTURBANCE OF ANY EXISTING GRADE OR ON-GRADE CONSTRUCTION, SLAB DEMOLITION, OR OTHER ACTIVITIES THAT MAY IMPACT BURIED UTILITIES OR COMMUNICATION CONDUITS. THE CONTRACTOR SHALL CONFIRM THAT CONDUIT LOCATE SERVICES HAVE BEEN COMPLETED AND THAT NO POTENTIAL CONFLICTS EXIST BEFORE EXISTING GRADE IS EXCAVATED OR EXISTING FLOORING DEMOLISHED, REGARDLESS OF THE LOCATION ON THE PROPERTY. THIS SHALL BE REVIEWED WITH THE OWNER'S PROJECT REPRESENTATIVE.

### 9. STATEMENT OF WORK

THE CONTRACTOR SHALL PROVIDE THE COMPLETE ELECTRICAL INSTALLATION OF WORK AS INDICATED IN THE CONSTRUCTION DOCUMENTS. PRIOR TO COMMENCEMENT, THE CONTRACTOR SHALL SUBMIT FOR REVIEW AND APPROVAL ANY SEQUENCE OF WORK, MOPS (METHOD OF PROCEDURE) AND/OR COORDINATION SHOP DRAWINGS FOR THE INTENDED WORK. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER OF ANY MATERIALS OR APPARATUS BELIEVED TO BE INADEQUATE, UNSUITABLE, VIOLATION OF LAWS, ORDINANCES, RULES OR REGULATIONS OF AUTHORITIES HAVING JURISDICTION.

### 10. WORK PERFORMANCE REQUIREMENTS

ANY PENETRATIONS OR OPENINGS IN FIRE-RATED PARTITIONS (WALLS OR FLOORS) SHALL BE CLOSED AT THE END OF EACH WORK DAY, OR WHENEVER IT IS ANTICIPATED THAT NO FURTHER WORK WILL OCCUR IN THAT OPENING DURING THE DAY. THIS INCLUDES ALL TEMPORARY OPENINGS. CLOSURE SHALL BE IN COMPLIANCE WITH 3M FIREPROOFING TEMPORARY OPENINGS. CLOSURE SHALL BE IN COMPLIANCE WITH 3M FIREPROOFING END OF EACH WORK DAY. ALL TEMPORARY WALL AND FLOOR OPENINGS SHALL BE PROTECTED AND MARKED AT ALL TIMES. PAINTING SHALL BE SCHEDULED SUCH THAT DRYING TIME OCCURS DURING NON-WORKING HOURS FOR OPERATIONS PERSONNEL COMFORT. NO WELDING SHALL TAKE PLACE INSIDE OF OPERATING FACILITY WITHOUT THE WRITTEN AUTHORIZATION OF THE OWNER'S PROJECT REPRESENTATIVE. WELDING SHALL NOT TAKE PLACE WITHIN 5 FEET OF ANY TELECOM EQUIPMENT RACK WITHOUT ADEQUATE PROTECTIVE MEASURES, AS DETERMINED APPROPRIATE BY THE OWNER'S PROJECT REPRESENTATIVE. THE CONTRACTOR SHALL CHECK, VERIFY AND LABEL PHASE ROTATION ANY TIME LEADS ARE CONNECTED TO A NEW OR EXISTING AC SERVICE, GENSET, RECTIFIER OR ANY MOTOR-EQUIPPED, 3-PHASE EQUIPMENT. ALL THREE-PHASE PANELS SERVING SINGLE-PHASE LOADS SHALL BE BALANCED WITHIN 10 PERCENT, USING AMMETER READINGS. MEASUREMENTS SHALL BE TAKEN AT THE END OF CONSTRUCTION AND AGAIN AFTER 30 DAYS IN SERVICE.

### 11. CUTTING AND PATCHING

ALL CUTTING, DRILLING AND PATCHING OF MASONRY STEEL OR IRON WORK BELONGING TO THE BUILDING MUST BE DONE BY THIS CONTRACTOR IN ORDER THAT HIS WORK MAY BE PROPERLY INSTALLED, BUT UNDER NO CONDITIONS MAY STRUCTURAL WORK BE CUT, EXCEPT AT THE DIRECTIONS OF THE ARCHITECT/ENGINEER OR THEIR REPRESENTATIVE.

### 12. AS-BUILT DRAWINGS

THE CONTRACTOR SHALL PROVIDE ALL "AS-BUILT" DRAWINGS SCALED 1/4" MINIMUM AND SUBMIT FOR APPROVAL TO THE ARCHITECT/ENGINEER.

### 13. FIRESTOPPING

ALL PENETRATIONS IN WALLS, FLOORS, OR CEILINGS SHALL BE SUITABLY CLOSED UP AND SEALED WITH A FIRE-STOPPING COMPOUND LISTED IN THE MOST RECENT FACTORY MUTUAL RESEARCH CORPORATION (FMRC) APPROVAL GUIDE. ONLY PRODUCTS MANUFACTURED BY HILTI SHALL BE PREFERRED (NO SUBSTITUTIONS).

### 15. SWITCH AND RECEPTACLE IDENTIFICATION

PROVIDE MACHINE-PRINTED, PRESSURE SENSITIVE, ABRASION RESISTANT LABEL TAPE ON FACE OF ALL DEVICE PLATES TO IDENTIFY THE PANELBOARD AND CIRCUIT NUMBER FROM WHICH EACH DEVICE IS SERVED.

### 18. WIRING

UNLESS NOTED OTHERWISE, ALL WIRE AND CABLE SHALL BE 600-VOLT COPPER CONDUCTORS WITH TYPE "THHN/THWN" INSULATION. MINIMUM WIRE SIZE SHALL BE #12 AWG FOR LIGHTING AND POWER CIRCUITS AND #14 AWG FOR CONTROL CIRCUITS. PROVIDE GROUNDING FOR CIRCUITS PER CHICAGO BUILDING CODE. UNLESS SPECIFICALLY NOTED OTHERWISE IN THE PLANS, ALL CABLING SHALL BE (2) #12 AND (1) #12 G IN 3/4" C. (NO SHARED NEUTRALS).

### 19. CONDUIT/RACEWAY SYSTEMS

THE CONDUIT ROUTINGS INDICATED ARE ONLY DIAGRAMMATIC IN NATURE. FIELD CONDITIONS SHALL DICTATE THE CONTRACTOR'S EXACT CONDUIT ROUTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SIZING AND LOCATING PULL BOXES PER THE CBC AND FOR COORDINATION WITH OTHER DISCIPLINES. ALL EXPOSED RACEWAYS SHALL BE INSTALLED PARALLEL OR PERPENDICULAR TO WALLS OR STRUCTURAL MEMBERS, SUCH AS TO FOLLOW STRUCTURAL SURFACE CONTOURS AND NOT OBSTRUCT PASSAGEWAYS. MULTIPLE RACEWAYS SHALL BE RUN TOGETHER, IN GROUPING. ALL EXPOSED CONDUIT SHALL BE ROUTED PERPENDICULAR, PARALLEL AND TIGHT TO COLUMNS AND BEAMS. ALL EXPOSED CONDUIT SHALL BE COORDINATED WITH THE ARCHITECT/ENGINEER PRIOR TO INSTALLATION. EXTRA TIME SHOULD BE ALLOWED FOR THIS REVIEW AND APPROVAL. NO ADDITIONAL COST TO OWNER WILL BE ALLOWED DUE TO LACK OF COORDINATION. ALL CONDUIT SHALL BE ELECTRICAL METALLIC TUBING (EMT) AND MINIMUM SIZE SHALL BE 3/4" UNLESS NOTED OTHERWISE. CONNECTORS AND COUPLINGS SHALL BE INSULATED THROAT COMPRESSION TYPE ONLY. RIGID GALVANIZED-STEEL (RGS) CONDUIT SHALL BE USED WHEN CONDUIT IS INSTALLED IN OUTDOOR AREAS OR WHERE OTHERWISE EXPOSED TO PHYSICAL HARM. EMERGENCY SYSTEMS SHALL BE RUN IN SEPARATE RACEWAY (CONDUIT SYSTEMS). A SEPARATE INSULATED EQUIPMENT GROUNDING CONDUCTOR SHALL BE PULLED WITH THE CIRCUIT CONDUCTORS, WHETHER OR NOT INDICATED ON THE DRAWINGS. METAL RACEWAY OR CABLE ARMOR/HEATH SHALL NOT BE USED AS THE PRIMARY EQUIPMENT GROUNDING CONDUCTOR. RACEWAY SYSTEMS SHALL BE MECHANICALLY AND ELECTRICALLY CONTINUOUS AND SHALL BE BONDED AT ALL POINTS TO THE INSULATED EQUIPMENT GROUNDING CONDUCTOR IN ACCORDANCE WITH THE APPLICABLE PROVISIONS IN ARTICLE 250 OF CHICAGO BUILDING CODE. ALL CONDUIT SHALL BE CONCEALED EXCEPT BOILER ROOMS, ELEVATOR EQUIPMENT ROOMS AND UTILITARIAN ROOMS.

### 20. EQUIPMENT

ALL MATERIALS AND EQUIPMENT PROVIDED IN THIS WORK SHALL BE NEW AND SHALL HAVE THE APPROPRIATE UL LISTING AND/OR FM APPROVAL. UNLESS NOTED OTHERWISE, DISCONNECT/SAFETY SWITCHES SHALL BE NON-FUSED HEAVY-DUTY 600-VOLT TYPE. INDOOR ENCLOSURES SHALL BE NEMA 1 AND OUTDOOR ENCLOSURES SHALL BE NEMA 3R.

### 21. MECHANICAL EQUIPMENT

ALL MECHANICAL EQUIPMENT WILL BE INSTALLED BY THE DIVISION 22 & 23 CONTRACTOR. COORDINATE THE EXACT LOCATION AND NATURE OF ANY REQUIRED ELECTRICAL CONNECTION TO BE PROVIDED FOR MECHANICAL EQUIPMENT PRIOR TO RECEIVING THE ELECTRICAL SERVICE REQUIRED FOR EACH ITEM OF MECHANICAL EQUIPMENT WITH THE MECHANICAL CONTRACTOR PRIOR TO FURNISHING SUCH POWER. REFER TO MECHANICAL DRAWING FOR MECHANICAL EQUIPMENT REQUIRING ELECTRICAL CONNECTIONS. MAKE CONNECTION AND PROVIDE APPROPRIATE WIRE, CONDUIT AND OVER CURRENT PROTECTION FOR EQUIPMENT. THE DISCONNECTING MEANS FOR ALL MECHANICAL EQUIPMENT SHALL BE ACCESSIBLE AND HAVE CLEARANCES AS REQUIRED BY THE CBC. MOTORS SHALL BE FURNISHED AND INSTALLED UNDER DIVISION 22 & 23 WORK, WITH POWER CONNECTED UNDER DIVISION 16 WORK. FINAL CONNECTION SHALL BE MADE WITH SUITABLE LENGTH OF LIQUID-TIGHT FLEXIBLE METALLIC CONDUIT. ALL MOTOR BRANCH CIRCUITS, ETC., SHALL BE FIELD-VERIFIED FOR PROPER SEQUENCE AND MOTOR ROTATION. PHASE SEQUENCE SHALL BE A-B-C (VIEWED FROM FRONT: LEFT TO RIGHT, TOP TO BOTTOM, FRONT TO REAR). REFER TO MECHANICAL DRAWINGS FOR MOTORS THAT ARE TO BE INTERLOCKED.

### 22. MISCELLANEOUS SUPPORTING MEMBERS

ALL ANGLES, CHANNELS, AND OTHER MISCELLANEOUS STEEL, BOLTS, THREADED RODS, ETC., REQUIRED TO SUPPORT LIGHT FIXTURES, LADDER TRAY OR OTHER ELECTRICAL EQUIPMENT OR DEVICES SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR. ALL THREADED RODS SHALL BE A MINIMUM OF 3/8" IN DIAMETER. ALL LIGHTING FIXTURES AT SUSPENDED CEILINGS SHALL BE PROPERLY SUPPORTED.

### 24. ELECTRICAL AND TECHNOLOGY ALTERATION AND DEMOLITION:

- A COMPLETE AND ACCURATE DESCRIPTION OF ALL ELECTRICAL WORK WITHIN THE AFFECTED AREAS CANNOT BE ACCOMPLISHED THROUGH THE MEDIA OF DRAWINGS AND SPECIFICATIONS. IN EVERY CASE WHERE SUCH EXISTING ELECTRICAL WORK PREVENTS PROPER CONSTRUCTION OF NEW WORK AS INDICATED, PERFORM WHATEVER WORK AND PROVIDE WHATEVER MATERIALS ARE REQUIRED IN ORDER TO REMOVE, REROUTE, RELOCATE OR IN OTHER WAYS ALTER THAT EXISTING INTERIOR AND/OR SITE ELECTRICAL AND TECHNOLOGY WORK. SUCH PERFORMANCE AS GENERALLY OUTLINED HEREIN AND AS IS FOUND NECESSARY UNDER FIELD CONDITIONS SHALL BE CONSIDERED IS INCLUDED UNDER THE CONTRACT.
- THE ELECTRICAL DRAWINGS ARE GENERALLY INSTRUCTIVE OF THE ALTERATIONS WHICH INVOLVE THE EXISTING ELECTRICAL WORK. IT IS NOT INTENDED THAT SUCH ALTERATIONS BE LIMITED TO THESE INSTRUCTIONS.
- WHERE EXISTING INTERIOR AND/OR SITE ELECTRICAL WORK MUST BE REMOVED AS A RESULT OF THE ALTERATIONS, IT SHALL BE COMPLETELY REMOVED, BACK TO THE FIRST OUTLET WHICH IS LEFT UNAFFECTED BY THE REVISION. ALL CONDUIT, WIRE, SUPPORTS, HANGERS, ETC. ARE INCLUDED. CONDUIT WHICH IS BURIED IN CONCRETE OR OTHERWISE INACCESSIBLY POSITIONED MAY BE ABANDONED. IN SUCH CASES, ALL WIRE SHALL BE PULLED OUT OF CONDUIT AND THE CONDUIT ITSELF PLUGGED AT EACH END.
- ALL ITEMS OF EXISTING EQUIPMENT, MATERIALS, FIXTURES, ETC. SHALL REMAIN THE PROPERTY OF THE BUILDING OWNER. ALL REUSABLE ITEMS SALVAGED DURING DEMOLITION SHALL BE RETAINED AND TURNED OVER TO THE BUILDING OWNER.
- LEGALLY DISPOSE ALL ITEMS REJECTED OR UNWANTED BY THE BUILDING OWNER. EXISTING ELECTRICAL MATERIALS AND EQUIPMENT, WITH THE EXCEPTION OF WIRE AND CABLE, AS GENERALLY OUTLINED IN THE PREVIOUS PARAGRAPH, SHALL BE REUSED AS COMPLETELY AS IS FOUND PRACTICAL. EXAMINE THE CONDITION OF SUCH MATERIALS AND EQUIPMENT AND MAKE A PRIOR DETERMINATION OF WHETHER IT IS SUITABLE FOR REUSE. PRESENT FINDINGS PERIODICALLY TO THE ARCHITECT WHO IN TURN WILL MAKE THE FINAL DECISION REGARDING REUSABILITY. ALL WIRE AND CABLE SHALL BE NEW.
- THIS CONTRACTOR SHALL REPAIR ALL DAMAGES TO EXISTING CONSTRUCTION DUE TO DEMOLITION, ALTERATIONS, OPERATION OR INSTALLATION OF NEW WORK.
- THIS CONTRACTOR SHALL PERFORM ALL INTERIOR AND/OR SITE CUTTING AND PATCHING FOR ELECTRICAL AND TECHNOLOGY WORK UNLESS NOTED OTHERWISE.

GENERAL NOTE FOR ALL NON-CIRCUITED ITEMS:
COORDINATE WITH ARCHITECTURAL, MECHANICAL, PLUMBING, AND FIRE PROTECTION DRAWINGS FOR LOCATIONS AND QUANTITIES OF ALL EQUIPMENT REQUIRING POWER. ELECTRICAL CONTRACTOR SHALL PROVIDE POWER CIRCUITS AND CONNECTIONS FROM NEAREST (UNLESS NOTED OTHERWISE) POWER PANEL WITH AVAILABLE SPACES FOR ALL EQUIPMENT AND DEVICES SHOWN ON PLANS. GENERAL BRANCH CIRCUIT MAXIMUM LOADING SHALL BE AS FOLLOWS UNLESS NOTED OTHERWISE:
6) 80% OF CIRCUIT BREAKER CAPACITY SHALL NOT BE EXCEEDED FOR ANY CIRCUITS.

ELECTRICAL REFERENCE NOTES:
1. REFER TO THE ARCHITECTURAL DRAWINGS FOR THE LOCATIONS OF THE FOLLOWING:
2. REFER TO THE "M" SERIES MECHANICAL DRAWINGS FOR THE LOCATIONS OF THE FOLLOWING:
A. MECHANICAL EQUIPMENT, CONTROL PANELS AND MOTORS. B. AUTOMATIC TEMPERATURE CONTROL SYSTEM PANELS AND DEVICES. C. DUCT MOUNTED SMOKE DETECTORS. D. MOTORIZED DAMPERS AND CONTROL VALVES. E. ELECTRIC HEAT TRACING OF MECHANICAL PIPING.



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ISSUANCE		
MARK	DESCRIPTION	DATE
	BID & PERMIT	01.08.21

CHA CONTRACT NO: P1805

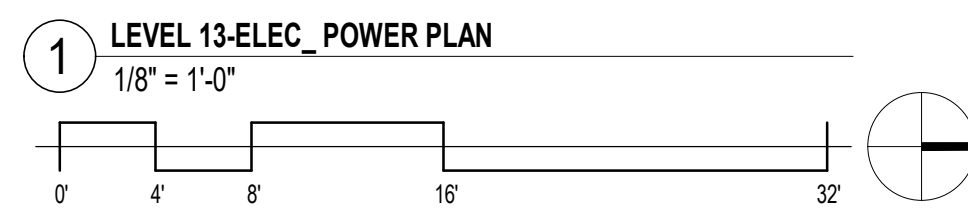
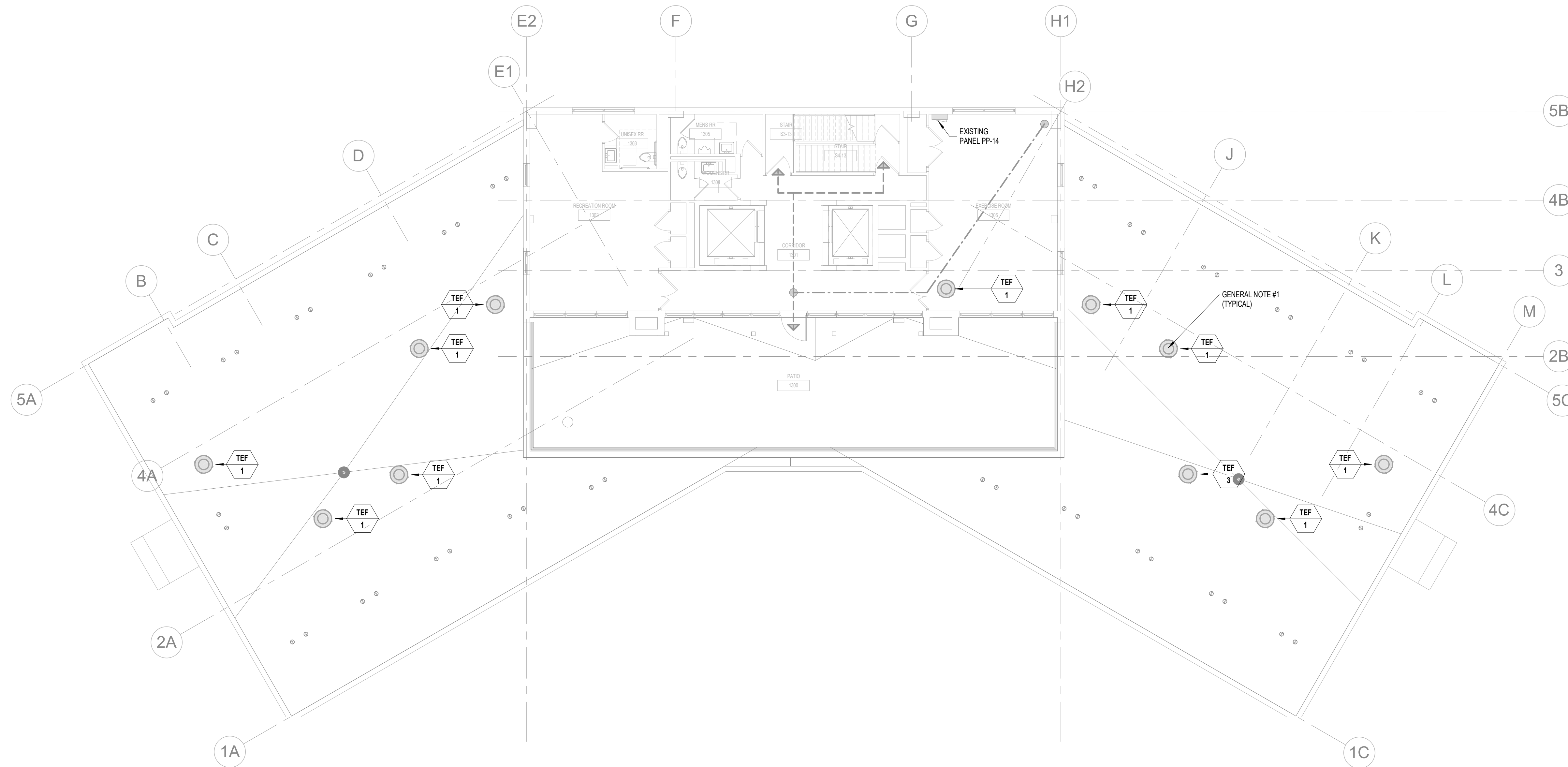
TITLE  
**ELECTRICAL SYMBOLS,  
NOTES &  
ABBREVIATIONS**

SHEET

**E0.0**

GENERAL NOTE: NOT ALL SYMBOLS, NOTES AND ABBREVIATIONS ARE APPLICABLE TO THIS PROJECT

GENERAL NOTES:  
 1. CONNECT ALL NEW ROOF MOUNTED EXHAUST FANS TO EXISTING BUILDING "HOUSE" PANEL PP-14. REFER TO EQUIPMENT SCHEDULE FOR CIRCUITING INFORMATION.



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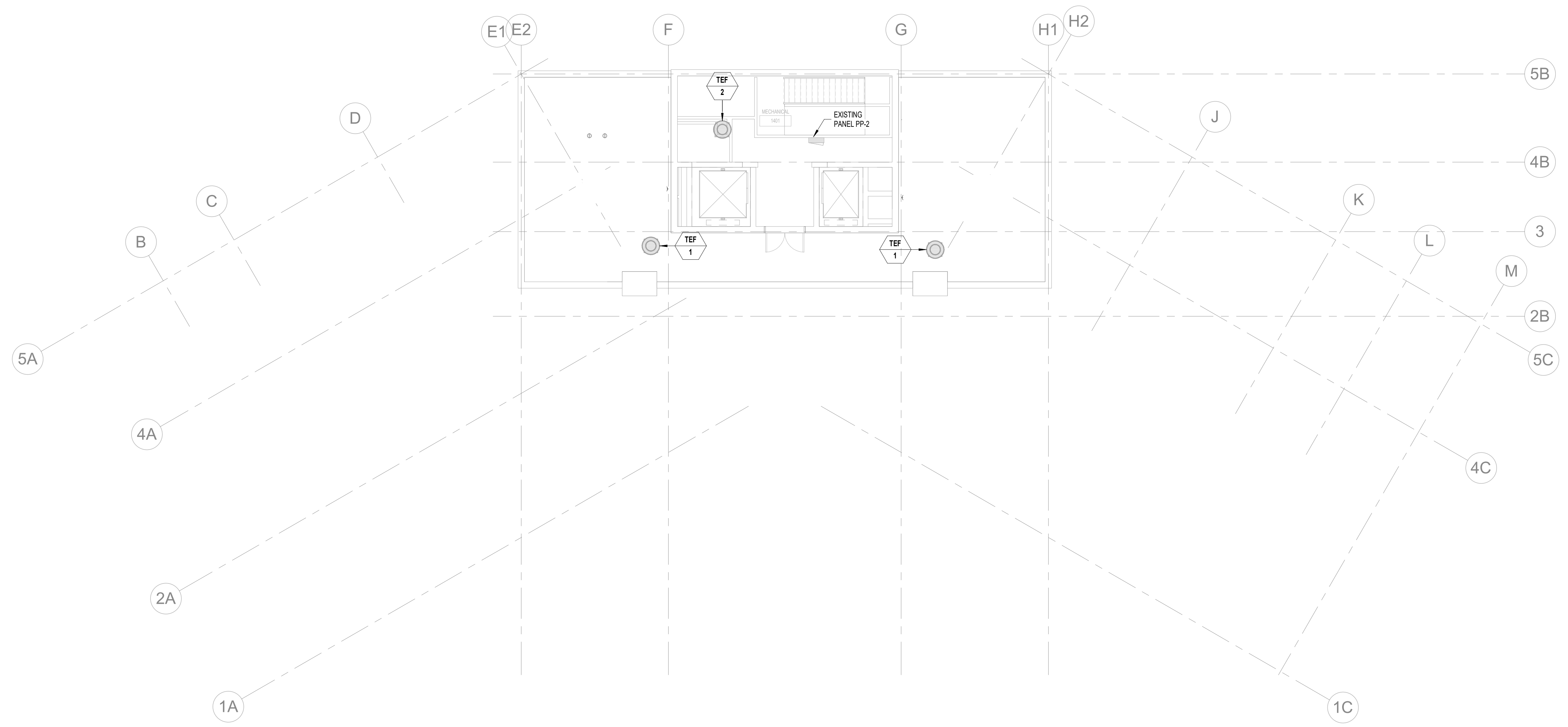
CHA CONTRACT NO: P1805

TITLE  
**ELECTRICAL POWER PLAN - LEVEL 13**

SHEET  
**E2.13**



GENERAL NOTES:  
 1. CONNECT ALL NEW ROOF MOUNTED EXHAUST FANS AND HVAC EQUIPMENT TO EXISTING BUILDING "HOUSE" PANEL PP-2. REFER TO EQUIPMENT SCHEDULE FOR CIRCUITING INFORMATION.



1 PENTHOUSE-ELEC\_POWER PLAN  
 1/8" = 1'-0"



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TITLE  
**ELECTRICAL POWER PLAN - PENTHOUSE**

SHEET  
**E2.14**

**CHA WENDELL GREEN - EQUIPMENT SCHEDULE**

NA	<p>STEP 1 CONFIRM FINAL LOCATION OF EQUIP. WITH THE MECH. DWGS. &amp; OEM'S SHOPS PRIOR TO INSTALLING CONDUIT. SEE PWR. DWGS. FOR EQUIP. TAG LOCATIONS.</p> <p>STEP 2 REVIEW ARCH, KIT, MECH, PLBG, FIRE PROT. SUBMITTALS-SHOP DWGS. FINAL EQP. LOCATION, ELEVATION, &amp; PWR. REQUIREMENTS PRIOR TO INSTALLING CONDUIT.</p> <p>STEP 3 CONFIRM LOAD REQUIREMENTS WITH MECH'S OEM PRIOR TO INSTALLING CONDUIT. SEE SCHEDULE DWGS. FOR PANELBOARD FEEDER-BRANCH CIRCUIT NUMBERS.</p> <p>STEP 4 CONFIRM IN THE FIELD PNLBD-SHBD RATINGS WITH MECH'S OEM PRIOR TO INSTALLING CONDUITS. SEE PWR. DWGS. FOR PNLBD-SHBD LOCATIONS.</p>	<p>STEP 5 CONFIRM IN THE FIELD OCPD REQUIREMENTS WITH MECH'S OEM PRIOR TO INSTALLING CONDUIT. OCPD RATINGS DERIVED FROM MECH'S OEM'S SPECS OR MOTOR SIZING PER CODE.</p> <p>STEP 6 CONFIRM IN THE FIELD FEEDER-BRANCH CIRCUIT SIZING WITH MECH'S OEM PRIOR TO INSTALLING CONDUIT.</p> <p>STEP 7 SEE FEEDER-BRANCH CIRCUIT SCHEDULE FOR TAG-WIRE SIZE.</p> <p>STEP 8 CONFIRM IN THE FIELD CONTACTOR-STARTER-VFC-PRMS-DS SW RATINGS WITH MECH'S OEM PRIOR TO INSTALLING CONDUIT. ALL FULL VOLTAGE MAGNETIC STARTERS SHALL BE PROVIDED WITH HAND-OFF-AUTO SELECTOR SWITCH AND PILOT LIGHTS.</p>	<p>STEP 9 CONFIRM IN THE FIELD THERMAL OVERLOAD RATINGS WITH OEM PROVIDE OVERLOADS PER OEM SPECS.</p> <p>STEP 10 CONFIRM IN THE FIELD WITH OEM PRIOR TO INSTALLING CONDUIT LOCATE DISC SW SWITCH WITHIN SFT &amp; WITHIN SIGHT OF THE MOTOR-LISTED EQUIPMENT.</p> <p>STEP 11 PROVIDE CONN. TO MOTOR-LISTED EQUIP. PROVIDE A Cu EQUIP GROUND (EGC) FROM DISC SW SWITCH TO MOTOR ELECT-EQUIP CONNECTION POINT-JUNCTION BOX.</p>	<p>FVNR FULL VOLT NON-REVERSING MAGNETIC STARTER WITH HAND-OFF-AUTO SELECTOR SWITCH AND PILOT LIGHTS</p> <p>FVR FULL VOLT REVERSING MAGNETIC STARTER</p> <p>VFC VARIABLE FREQUENCY CONTROLLER</p> <p>PRMS PWR RELAY-MANUAL STARTER W. OVERLOADS</p> <p>2SP1W TWO-SPEED SINGLE WINDING FVNR MAG STRTR</p> <p>2SP2W TWO-SPEED TWO WINDING FVNR MAG STRTR</p> <p>CPT CONTROL POWER TRANSFORMER</p> <p>IMUC INTERNAL MOUNTED UNIT CONTROLLER</p> <p>RMUC REMOTE MOUNTED UNIT CONTROLLER</p>	<p>PR POWER RELAY</p> <p>TC TIME CLOCK CNTRLER</p> <p>T-S TEMP-SENSOR SW</p> <p>W-STAT WALL LINE VOLT STAT</p> <p>WS WALL LINE VOLT SW</p> <p>FB FURNISHED BY</p> <p>IB INSTALLED BY</p> <p>PB PROVIDED BY</p> <p>FDR FEEDER CIRCUIT</p>	<p>EM EMERGENCY POWER</p> <p>NML NORMAL POWER</p> <p>SBY STANDBY POWER</p> <p>NA NOT APPLICABLE</p> <p>BRNCH BRANCH CIRCUIT</p> <p>GC GENERAL CONTRACTOR</p> <p>KC KITCHEN CONTRACTOR</p> <p>MC MECHANICAL CONTRACTOR</p> <p>PC PLUMBING CONTRACTOR</p>	<p>FPC FIRE PROTECTION CONTRACTOR</p> <p>OWN OWNER</p> <p>CPC CORD-PLUG CONNECTION</p> <p>FWC FLEXIBLE WHIP CONDUIT</p> <p>HWC HARD WIRED CONN</p> <p>ENC NEMA ENCLOSURE</p> <p>LOC LOCKING</p> <p>REC RECEPTACLE</p> <p>OCPD OVERCURRENT PROTECT DEVICE</p> <p>OEM ORIGINAL EOP MANUFACTURER</p>
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5 PROVIDE A DEDICATED 120VAC CIRCUIT TO EACH MECHANICAL EQUIPMENT (AHU, RTU, ERV, MAU, ETC.) FOR INTERNAL FAN HOUSING LIGHTING AND RECEPTACLE DEVICE CIRCUIT.

6 CONTRACTOR MAY CONNECT MULTIPLE PIECES OF EQUIPMENT ON A SINGLE BRANCH CIRCUIT.

STEPS		1			2			3							4A	4B	5					6 & 7	8 & 9										10					11										12					
ITEM		EQUIPMENT LOCATION - TAG - QUANTITY			EQUIPMENT UNIT NAME			EQUIPMENT POWER CHARACTERISTICS & LOAD SPECIFICATIONS							FEED PWR SYS	FEED FROM PANEL	OCPD: SW-CB FRAME-FR FUSE-CB TRIP-TR					FDR BRNCH TAG	MOTOR-LISTED EQP - CONTROLLER-STARTER TYPES & LOCATIONS										LOCAL DISCONNECT SWITCH FOR LOCAL LOCK-OUT & TAG-OUT					MOTOR-LISTED EQUIP CONN & OEM REQUIREMENTS										REMARKS					
No.	NAME	TAG	No.	NAME - TAG - AREA - AREA #	V	Ø	N	G	PI	W	HP	MCA	FLA	KW		SW FR	FU TR	CB FR	CB TR	P	TAG	PB	FB	IB	ROOM	SIZE	TYPE	ENC	CPT	DS-SW	OCPD	P	NOTE	PB	FB	IB	SIZE	ENC	P	NOTE	PB	FB	IB	REC	LOC	NEMA	GFI	REC No	CPC	HWC	FWC	NOTE	
6	ROOF (QTY. 11)	TEF	1	TOILET EXHAUST TEF-1 ROOF (QTY. 11)	120	1	1	1	2	3	1/4	-	5.8	0.70	NML	PP-14	NA	NA	30	15	1	2G	EC	-	-	MECH. RM.	1	PRMS	1	NA	30	15	1	1	EC	-	-	30	3R	1	3	EC	-	-	NA	-	NA	NA	NA	NA	YES	YES	4
7	ROOF	TEF	2	TOILET EXHAUST TEF-2 ROOF	120	1	1	1	2	3	1/4	-	5.8	0.70	NML	PP-14	NA	NA	30	15	1	2G	EC	-	-	MECH. RM.	1	PRMS	1	NA	30	15	1	1	EC	-	-	30	3R	1	3	EC	-	-	NA	-	NA	NA	NA	NA	YES	YES	4
8	ROOF	TEF	3	TOILET EXHAUST TEF-3 ROOF	120	1	1	1	2	3	1/2	-	9.8	1.18	NML	PP-14	NA	NA	30	15	1	2G	EC	-	-	MECH. RM.	1	PRMS	1	NA	30	15	1	1	EC	-	-	30	3R	1	3	EC	-	-	NA	-	NA	NA	NA	NA	YES	YES	4



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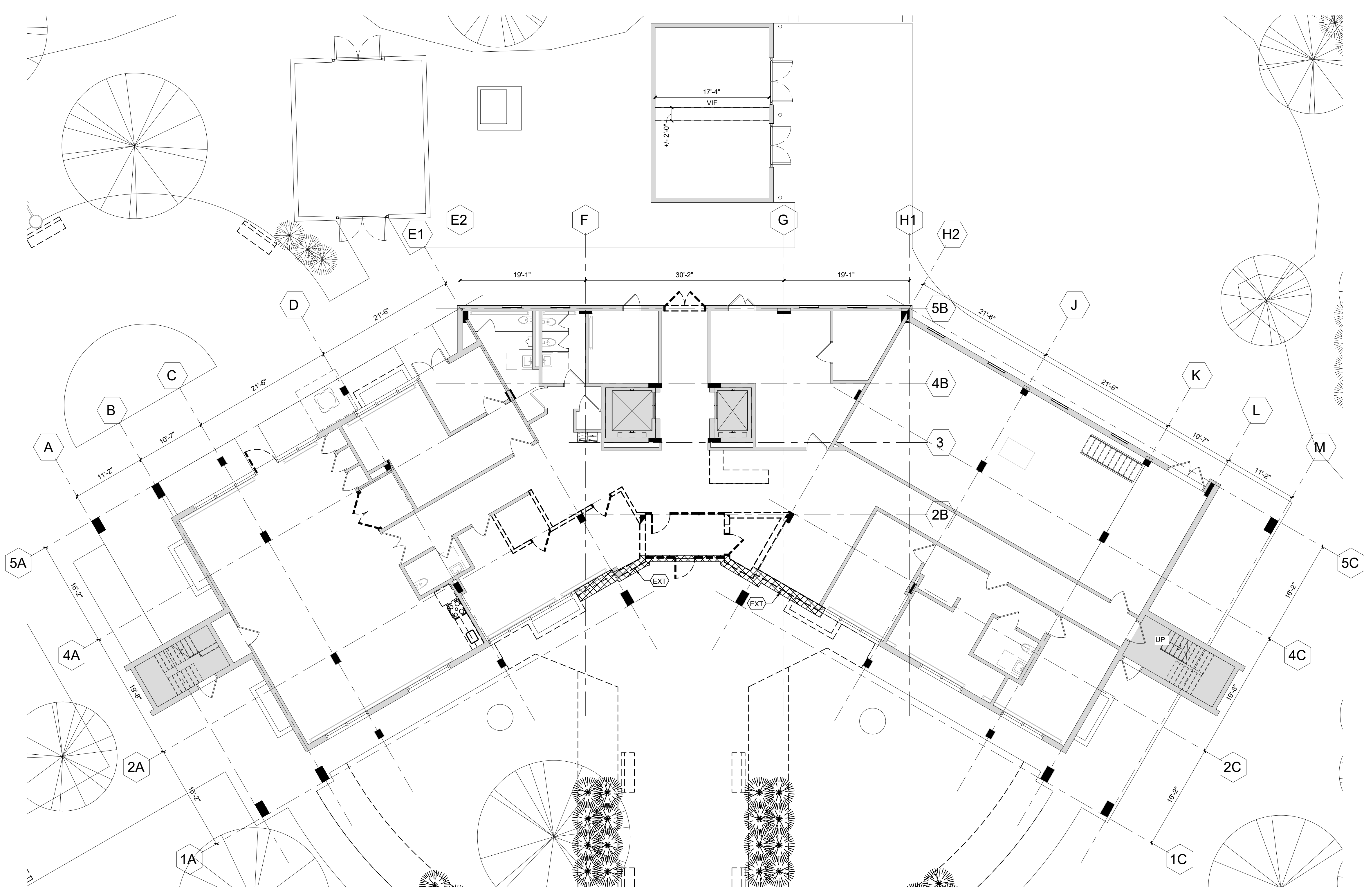
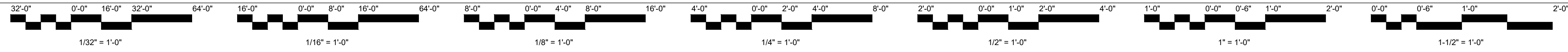
ISSUANCE

MARK	DESCRIPTION	DATE
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CHA CONTRACT NO: P1805

TITLE  
**ELECTRICAL SCHEDULES - POWERED EQUIPMENT**

SHEET  
**E5.2**



- SCOPE OF WORK:**
- ASBESTOS ABATEMENT: REMOVAL AND DISPOSAL OF EXTERIOR CAULK AS NECESSARY TO ACCOMMODATE REPAIR RENOVATIONS. SEE DEMOLITION DRAWINGS FOR ADDITIONAL INFORMATION.
  - ASBESTOS ABATEMENT SHALL BE COMPLETED PER SPECIFICATION 02 52 15 ASBESTOS ABATEMENT FOR EXTERIORS, AND ALL APPLICABLE IDPH, EPA AND OSHA REGULATIONS AND REQUIREMENTS.

- GENERAL NOTES:**
- CONTRACTOR TO VERIFY EXISTING CONDITIONS AND QUANTITIES IN THE FIELD PRIOR TO BIDDING.
  - ANY QUESTION ABOUT THE SCOPE OF WORK OR CLARIFICATIONS SHALL BE SUBMITTED TO THE PROJECT DESIGNER PRIOR TO BIDDING. ANY INTERPRETATIONS OF THE SPECIFICATIONS SHALL ONLY BE MADE BY THE PROJECT DESIGNER.
  - COORDINATE SHUTDOWNS OF MECHANICAL, SPRINKLER, FIRE ALARM AND ELECTRICAL SYSTEMS WITH OWNER. AFTER HOURS WORK MAY BE NECESSARY.
  - EXITS AND STAIRWELLS SHALL NOT BE OBSTRUCTED AT ANY TIME.
  - THE OWNER RESERVES THE RIGHT TO STOP WORK AT ANY TIME AS REQUIRED BY THE OPERATION OF THE FACILITY.

- ADDITIONAL DESIGN DETAILS:**
- EXTERIOR CAULK REMOVAL SHALL INCLUDE EXTERIOR CAULKS IMPACTED BY RENOVATIONS INCLUDING BUT NOT LIMITED TO THE REPAIR AND REPLACEMENT OF DAMAGED CAULK REPAIR, DEMOLITION OF LOUVERS AND FRAMES, REPLACEMENT OF SHELF ANGLES, AND INSTALLATION OF NEW CANOPY AT MAIN BUILDING ENTRY. REFER TO ARCHITECTURAL AND DEMOLITION PLANS FOR ADDITIONAL INFORMATION.
  - THE ABATEMENT CONTRACTOR IS RESPONSIBLE FOR ALL SECURITY TO THE WORK AREA(S) DURING THE ABATEMENT PROJECT. THE ABATEMENT CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGES OR THEFTS TO PROPERTY IN THE WORK AREA(S), UNTIL THE AREA(S) ARE RETURNED TO THE PROPERTY OWNER. THE ABATEMENT CONTRACTOR SHALL REPAIR AND/OR REPLACE DAMAGED OR STOLEN PROPERTY TO THE SATISFACTION OF, AND AT NO ADDITIONAL COST TO THE PROPERTY OWNER.
  - FLOOR PLANS ARE DIAGRAMMATIC AND ARE INTENDED TO INDICATE GENERAL PROXIMITY OF THE ABATEMENT WORK AREAS. CONTRACTOR SHALL VERIFY LOCATION AND EXTENT OF WORK PRIOR TO ABATEMENT.
  - IF THE ELEVATORS ARE TO BE USED BY THE CONTRACTOR TO HAUL WASTE OUT OF THE BUILDING THE ELEVATORS SHALL BE LINED WITH A MINIMUM OF ONE LAYER OF 8-MIL POLY SHEETING ON ALL OF THE FLOORS AND WALLS. AFTER COMPLETION OF THE WASTE OUT ACTIVITIES, THE ELEVATOR SHALL BE HEPA VACUUMED AND WET WIPED PRIOR TO THE POLY SHEETING BEING TORN DOWN AND DISPOSED. ALL USE OF ELEVATORS SHALL BE COORDINATED WITH THE OWNER.
  - WHERE WASTE MUST BE MOVED THROUGH THE BUILDING INTERIOR, IT SHALL BE MOVED AS BAGGED WASTE IN A COVERED AND LINED PUSH CART. THE ROUTE TO THE BUILDING EXTERIOR AND REMOVAL TIMES MUST BE COORDINATED WITH THE OWNER.
  - OUTDOOR WASTE DUMPSTER SHALL BE LOCATED PER OWNER'S APPROVAL PRIOR TO THE START OF ABATEMENT. WASTE OUT STAGING SHALL BE COORDINATED WITH ALL TRADES COMPLETING WORK.
  - THE CONTRACTOR SHALL PROVIDE A HARD COPY OF ALL WASTE MANIFESTS WITHIN 30 DAYS OF THE WASTE BEING HAULED OFF-SITE.
  - ALL WORK SHALL BE DONE IN ACCORDANCE WITH APPLICABLE BUILDING CODES AND ALL OTHER CODES THAT HAVE AUTHORITY OVER THIS PROJECT. ABATEMENT CONTRACTOR SHALL SECURE REQUIRED PERMITS AS NECESSARY. ABATEMENT CONTRACTOR SHALL PROVIDE ALL NECESSARY SAFEGUARDS, BARRIERS, TEMPORARY POWER, LIGHTING, FIRE PROTECTION, ETC. AS REQUIRED DURING ABATEMENT.

- KEYNOTES:**
- REMOVE AND DISPOSE OF EXTERIOR CAULK
  - APPROXIMATE EXTENT OF EXTERIOR CAULK REMOVAL
  - AREA NOT IN CONTRACT



**JUDGE WENDELL GREEN APARTMENTS**  
 4030 S LAKE PARK AVE  
 CHICAGO, IL 60653

ARCHITECT OF RECORD:  
 CANOPY ARCHITECTURE + DESIGN, LLC  
 180 W WASHINGTON STREET, SUITE 200  
 CHICAGO, IL 60602

CIVIL & STRUCTURAL ENGINEERS:  
 DAVID MASON + ASSOCIATES  
 333 S DESPLAINES STREET, SUITE 200  
 CHICAGO, IL 60661

LANDSCAPE ARCHITECT:  
 MCKAY LANDSCAPE ARCHITECTS  
 5215 N RAVENSWOOD AVENUE  
 CHICAGO, IL 60640

MEP ENGINEER:  
 dbHMS  
 303 ERIE STREET #510  
 CHICAGO, IL 60654

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ISSUANCE

MARK	DESCRIPTION	DATE
	BID & PERMIT	01.08.21

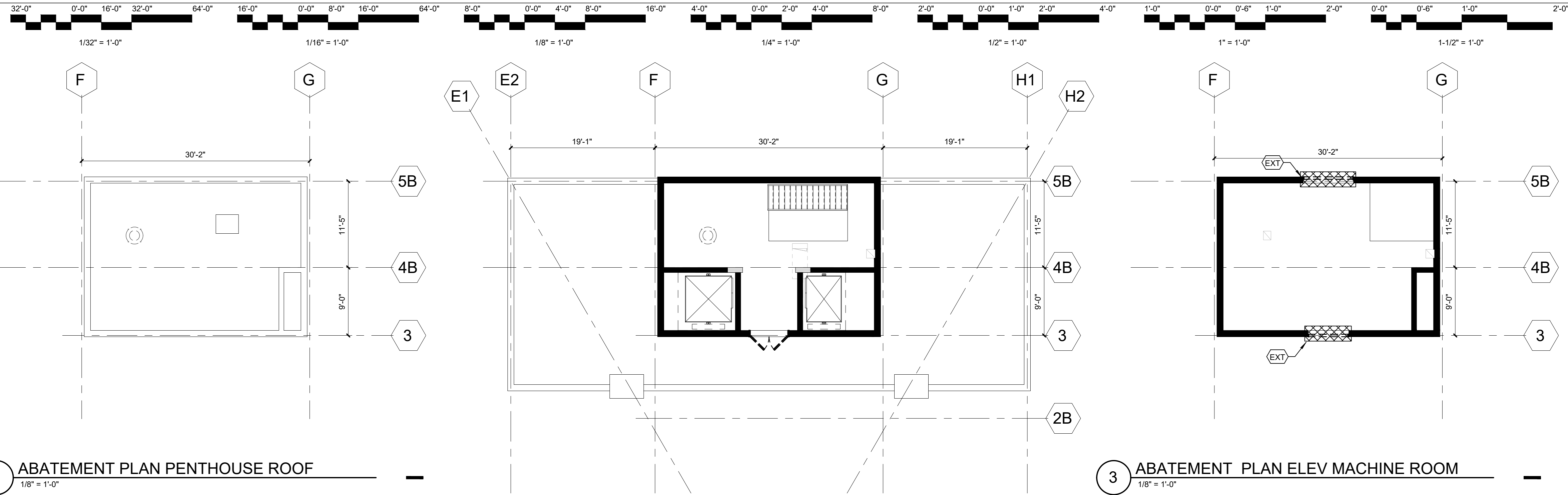
CHA CONTRACT NO: 12017-035AD

TITLE  
**ASBESTOS ABATEMENT PLAN LEVEL 01**

SHEET  
**ASB1.1A**

**1 ASBESTOS ABATEMENT PLAN LEVEL 01**  
 1/8" = 1'-0"

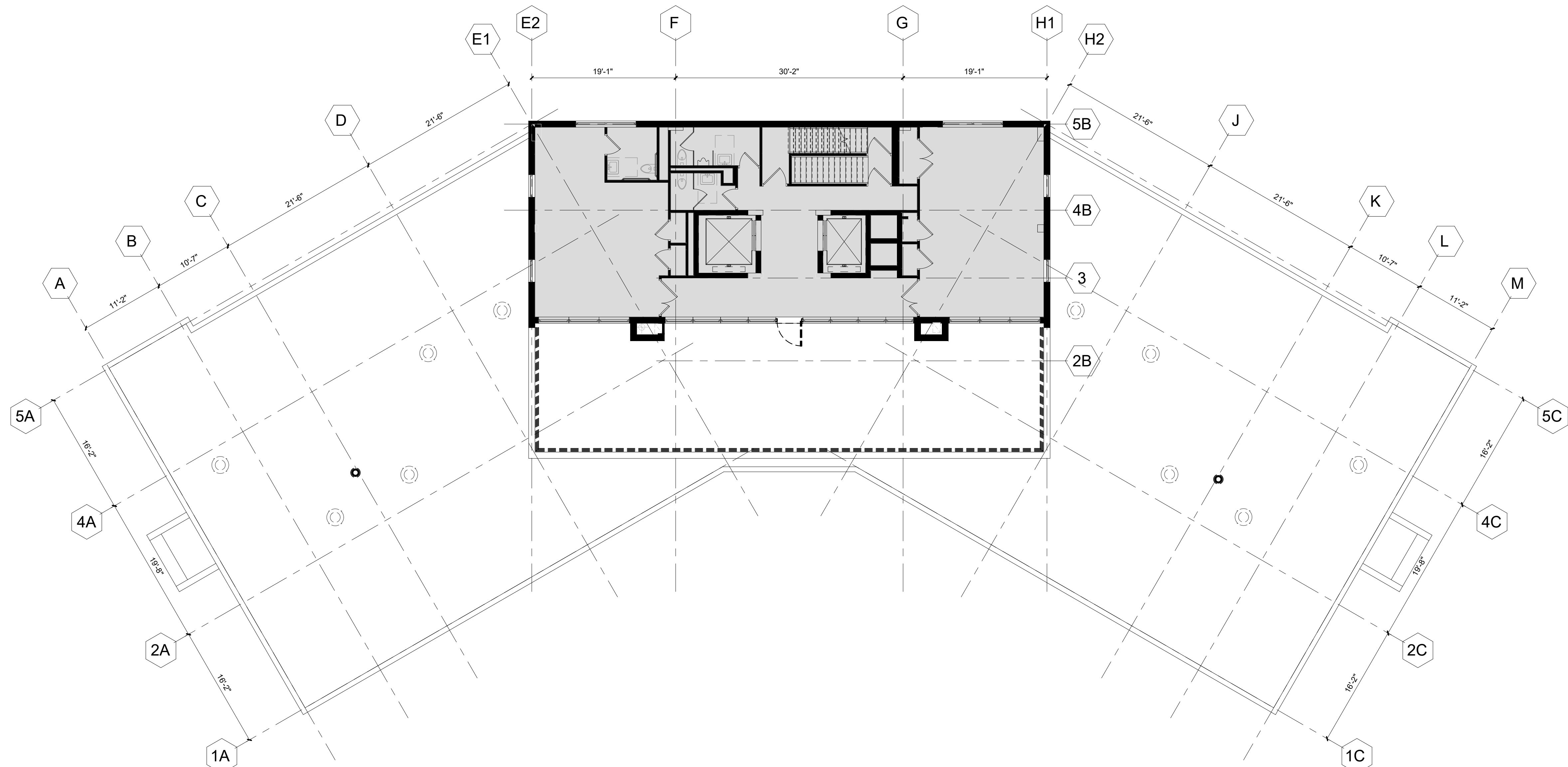
11/25/2020 3:18:55 PM



**4** ABATEMENT PLAN PENTHOUSE ROOF  
1/8" = 1'-0"

**2** ABATEMENT PLAN PENTHOUSE  
1/8" = 1'-0"

**3** ABATEMENT PLAN ELEV MACHINE ROOM  
1/8" = 1'-0"



**1** ASBESTOS ABATEMENT PLAN LEVEL 13  
1/8" = 1'-0"

**SCOPE OF WORK:**  
 1. ASBESTOS ABATEMENT: REMOVAL AND DISPOSAL OF EXTERIOR CAULK AS NECESSARY TO ACCOMMODATE REPAIR RENOVATIONS. SEE DEMOLITION DRAWINGS FOR ADDITIONAL INFORMATION.  
 2. ASBESTOS ABATEMENT SHALL BE COMPLETED PER SPECIFICATION 02 52 15 ASBESTOS ABATEMENT FOR EXTERIORS, AND ALL APPLICABLE IDPH, EPA AND OSHA REGULATIONS AND REQUIREMENTS.

**GENERAL NOTES:**  
 1. CONTRACTOR TO VERIFY EXISTING CONDITIONS AND QUANTITIES IN THE FIELD PRIOR TO BIDDING.  
 2. ANY QUESTION ABOUT THE SCOPE OF WORK OR CLARIFICATIONS SHALL BE SUBMITTED TO THE PROJECT DESIGNER PRIOR TO BIDDING. ANY INTERPRETATIONS OF THE SPECIFICATIONS SHALL ONLY BE MADE BY THE PROJECT DESIGNER.  
 3. COORDINATE SHUTDOWNS OF MECHANICAL, SPRINKLER, FIRE ALARM AND ELECTRICAL SYSTEMS WITH OWNER. AFTER HOURS WORK MAY BE NECESSARY.  
 4. EXITS AND STAIRWELLS SHALL NOT BE OBSTRUCTED AT ANY TIME.  
 5. THE OWNER RESERVES THE RIGHT TO STOP WORK AT ANY TIME AS REQUIRED BY THE OPERATION OF THE FACILITY.

**ADDITIONAL DESIGN DETAILS:**  
 1. EXTERIOR CAULK REMOVAL SHALL INCLUDE EXTERIOR CAULKS IMPACTED BY RENOVATIONS INCLUDING BUT NOT LIMITED TO THE REPAIR AND REPLACEMENT OF DAMAGED CAULK REPAIR, DEMOLITION OF LOUVERS AND FRAMES, REPLACEMENT OF SHELF ANGLES, AND INSTALLATION OF NEW CANOPY AT MAIN BUILDING ENTRY. REFER TO ARCHITECTURAL AND DEMOLITION PLANS FOR ADDITIONAL INFORMATION.  
 2. THE ABATEMENT CONTRACTOR IS RESPONSIBLE FOR ALL SECURITY TO THE WORK AREA(S) DURING THE ABATEMENT PROJECT. THE ABATEMENT CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGES OR THEFTS TO PROPERTY IN THE WORK AREA(S), UNTIL THE AREA(S) ARE RETURNED TO THE PROPERTY OWNER. THE ABATEMENT CONTRACTOR SHALL REPAIR AND/OR REPLACE DAMAGED OR STOLEN PROPERTY TO THE SATISFACTION OF, AND AT NO ADDITIONAL COST TO THE PROPERTY OWNER.  
 3. FLOOR PLANS ARE DIAGRAMMATIC AND ARE INTENDED TO INDICATE GENERAL PROXIMITY OF THE ABATEMENT WORK AREAS. CONTRACTOR SHALL VERIFY LOCATION AND EXTENT OF WORK PRIOR TO ABATEMENT.  
 4. ELEVATORS SHALL NOT BE USED TO HAUL OUT WASTE.

6. OUTDOOR WASTE DUMPSTER SHALL BE LOCATED PER OWNER'S APPROVAL PRIOR TO THE START OF ABATEMENT. WASTE OUT STAGING SHALL BE COORDINATED WITH ALL TRADES COMPLETING WORK.  
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 [Grey Box] AREA NOT IN CONTRACT



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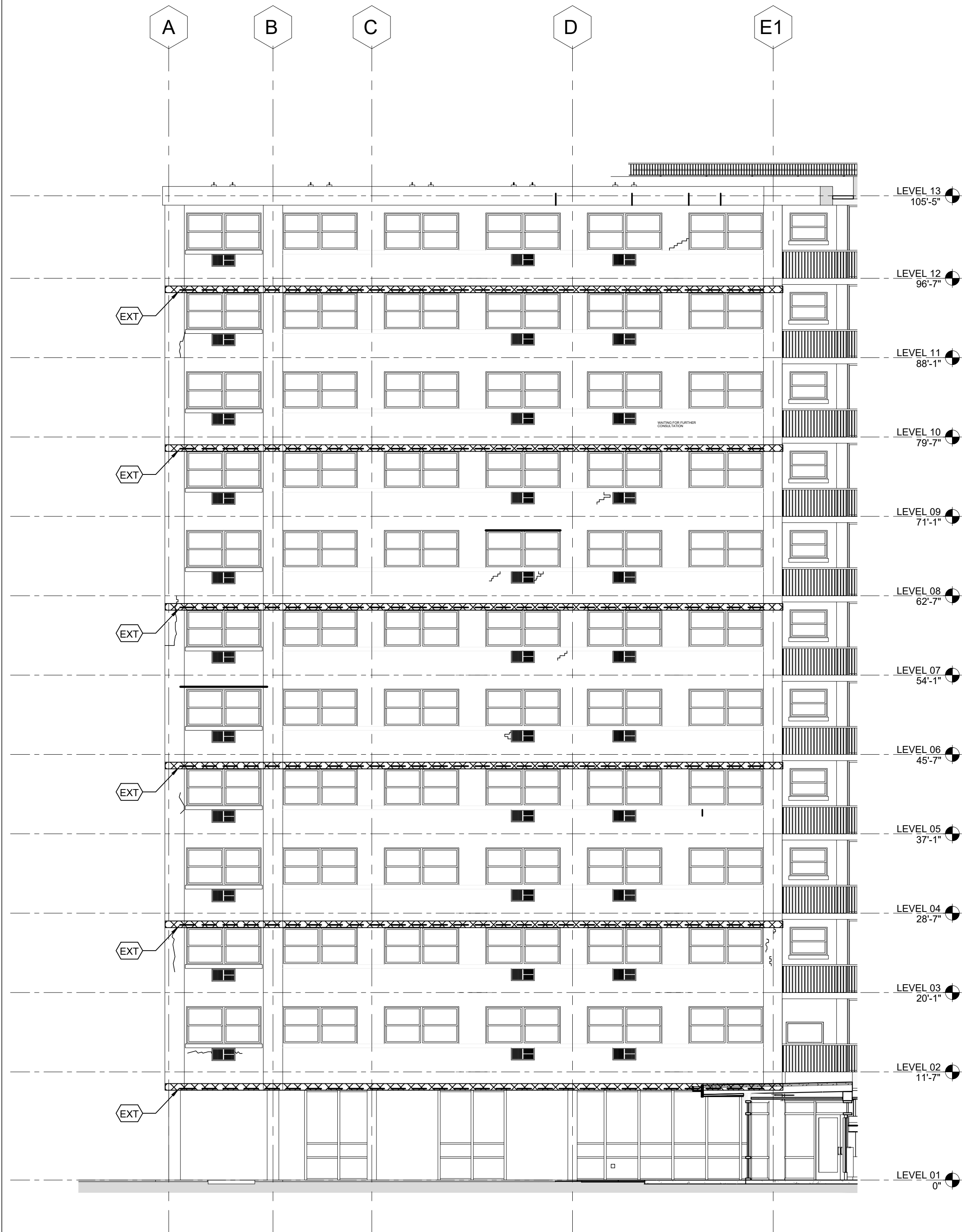
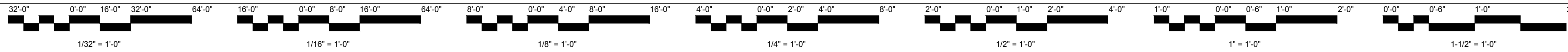
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ISSUANCE	
BID & PERMIT	01.08.21

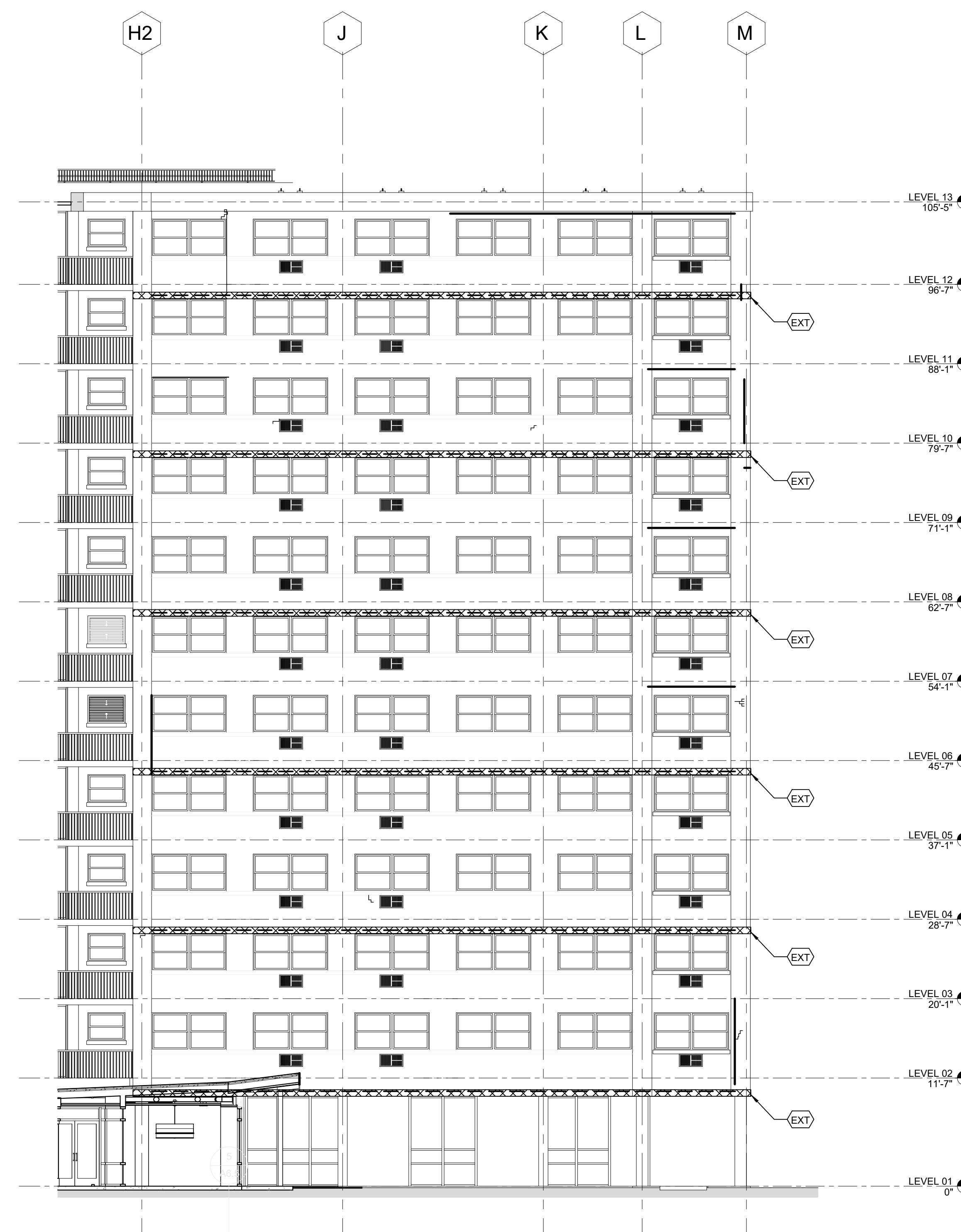
CHA CONTRACT NO: 12017-035AD

TITLE  
**ASBESTOS ABATEMENT PLAN**  
**LEVEL 13 - PENTHOUSE**

SHEET  
**ASB1.13A**



1 EXTERIOR ELEVATION - EAST A  
1/8" = 1'-0"



2 EXTERIOR ELEVATION - EAST B  
1/8" = 1'-0"

**SCOPE OF WORK:**  
 1. ASBESTOS ABATEMENT: REMOVAL AND DISPOSAL OF EXTERIOR CAULK AS NECESSARY TO ACCOMMODATE REPAIR RENOVATIONS. SEE SEE DEMOLITION DRAWINGS FOR ADDITIONAL INFORMATION.  
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 4. SEE NOTE ON SHEET ASB1.13A.

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**KEYNOTES:**  
 (EXT) REMOVE AND DISPOSE OF EXTERIOR CAULK  
 [Hatched Box] APPROXIMATE EXTENT OF EXTERIOR CAULK REMOVAL  
 [Solid Grey Box] AREA NOT IN CONTRACT

ARCHITECT OF RECORD:  
 CANOPY ARCHITECTURE + DESIGN, LLC  
 180 W WASHINGTON STREET, SUITE 200  
 CHICAGO, IL 60602  
 CIVIL & STRUCTURAL ENGINEERS:  
 DAVID MASON + ASSOCIATES  
 333 S DESPLAINES STREET, SUITE 200  
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 dbHMS  
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ISSUANCE		
MARK	DESCRIPTION	DATE
	BID & PERMIT	01.08.21

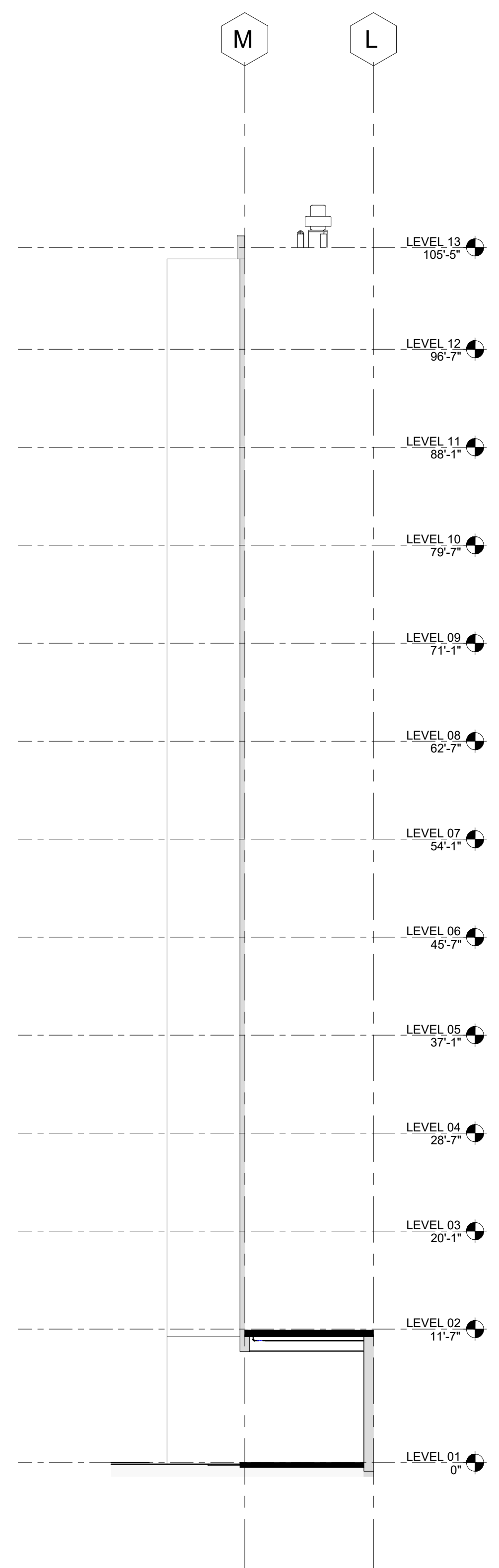
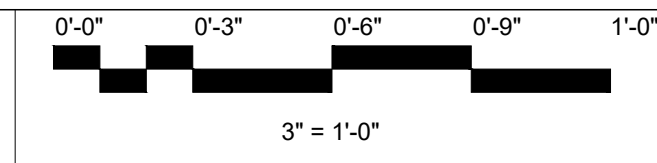
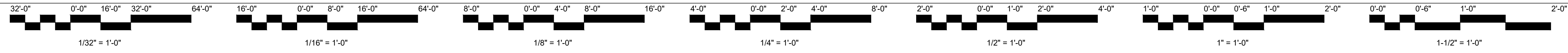
CHA CONTRACT NO: 12017-035AD  
 TITLE  
**ASBESTOS ABATEMENT PLAN**  
**FACADE ELEVATIONS**

SHEET  
**ASB3.11**

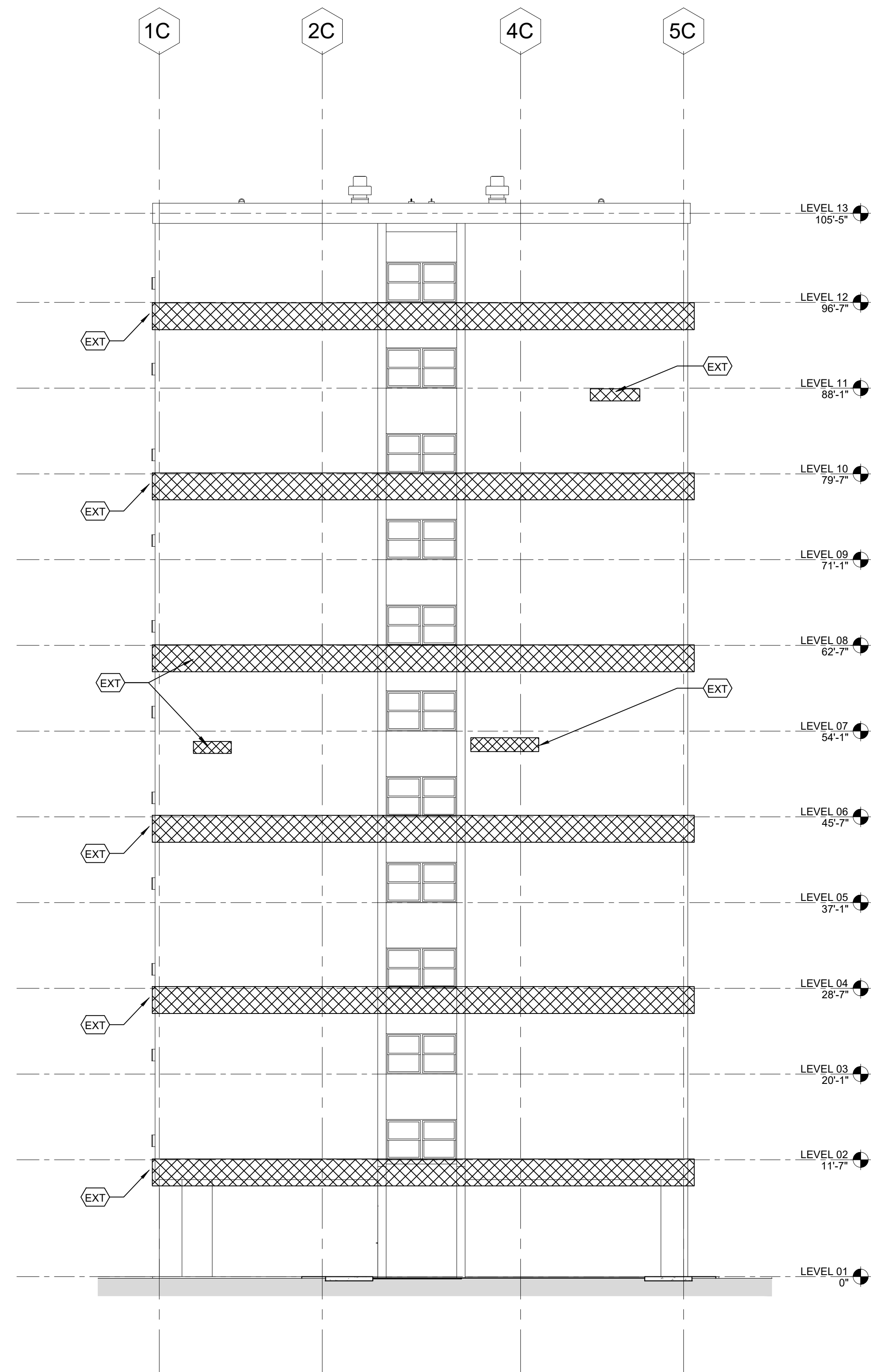
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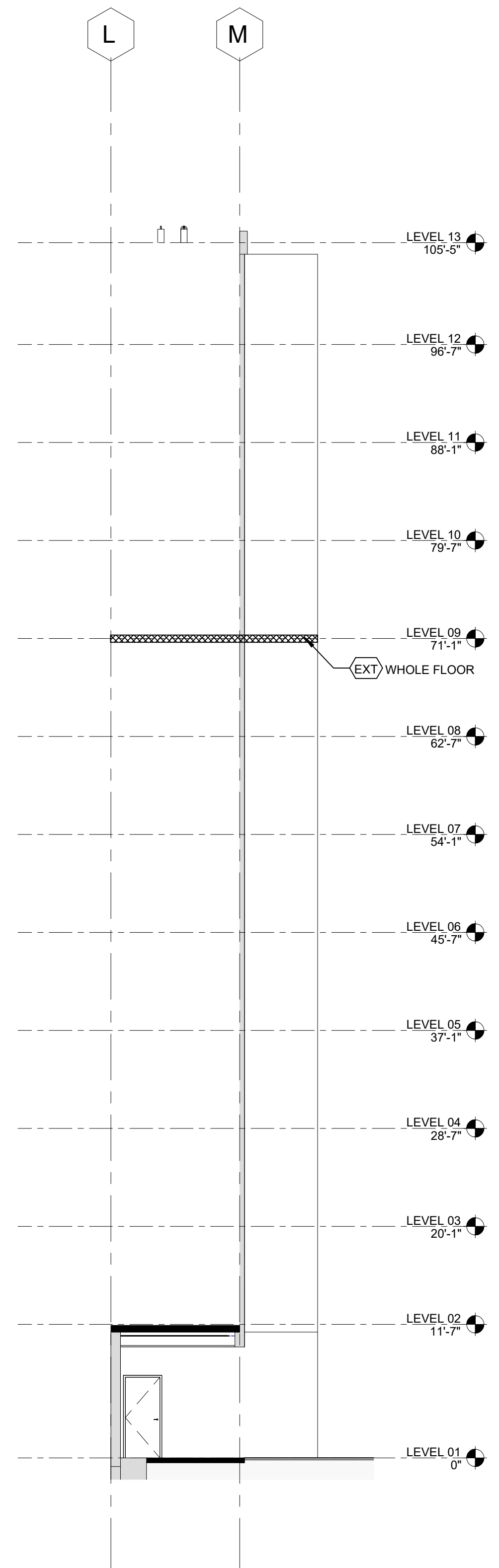
**JUDGE WENDELL GREEN APARTMENTS**  
 4030 S LAKE PARK AVE  
 CHICAGO, IL 60653



2 EXTERIOR ELEVATION - NORTH A LEFT  
1/8" = 1'-0"



1 EXTERIOR ELEVATION - NORTH A  
1/8" = 1'-0"



3 EXTERIOR ELEVATION - NORTH A RIGHT  
1/8" = 1'-0"

**SCOPE OF WORK:**  
 1. ASBESTOS ABATEMENT, REMOVAL AND DISPOSAL OF EXTERIOR CAULK AS NECESSARY TO ACCOMMODATE REPAIR RENOVATIONS. SEE DEMOLITION DRAWINGS FOR ADDITIONAL INFORMATION.  
 2. ASBESTOS ABATEMENT SHALL BE COMPLETED PER SPECIFICATION 02 82 ASBESTOS ABATEMENT FOR EXTERIORS, AND ALL APPLICABLE IDPH, EPA AND OSHA REGULATIONS AND REQUIREMENTS.

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 [Grey Box] AREA NOT IN CONTRACT



**JUDGE WENDELL GREEN APARTMENTS**  
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 CHICAGO, IL 60653

ARCHITECT OF RECORD:  
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 180 W WASHINGTON STREET, SUITE 200  
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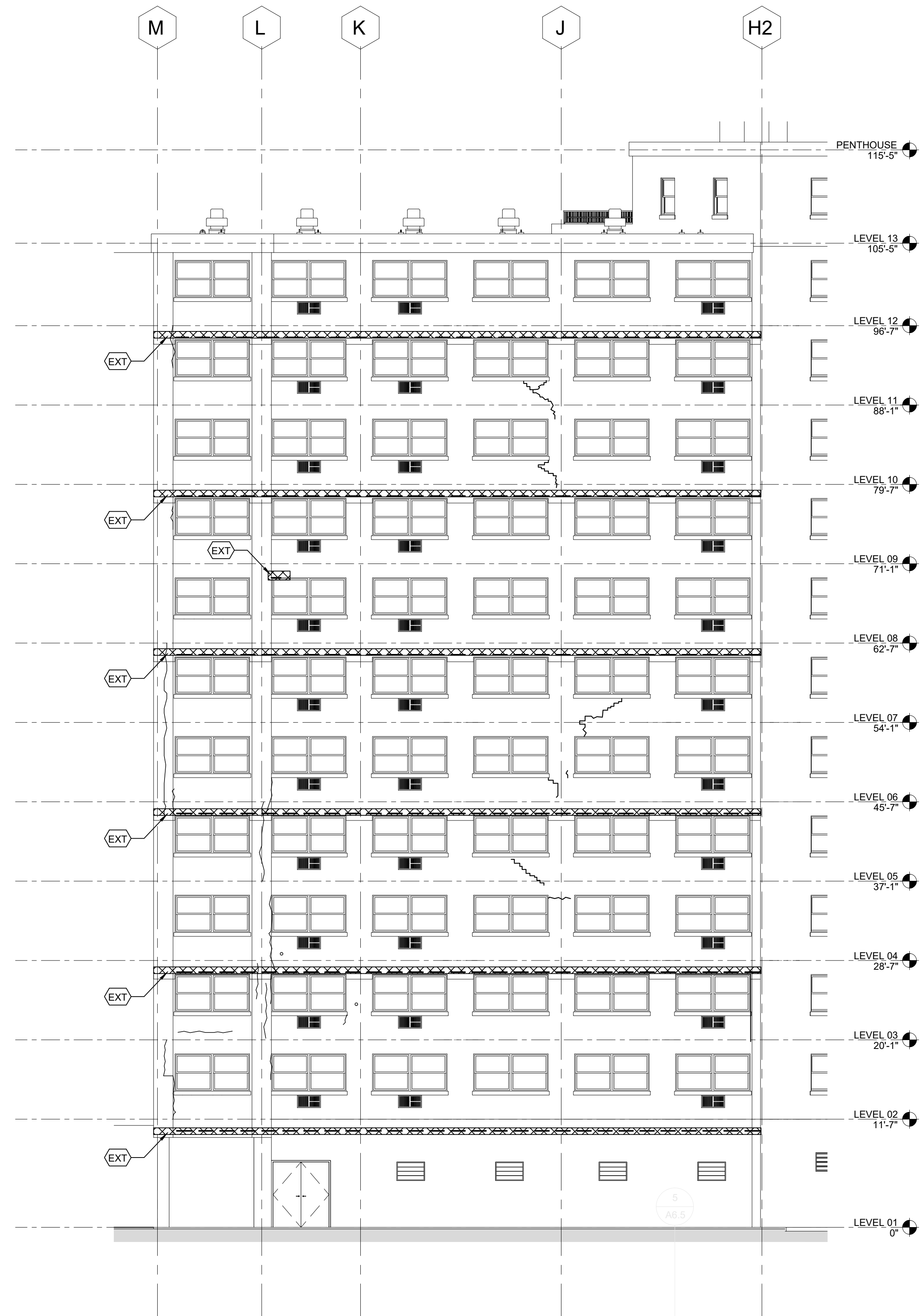
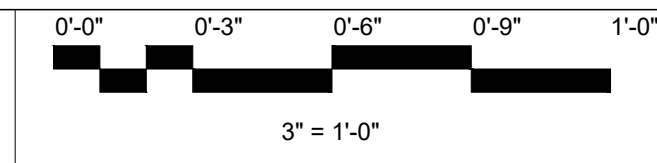
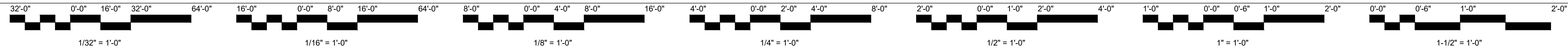
ISSUANCE

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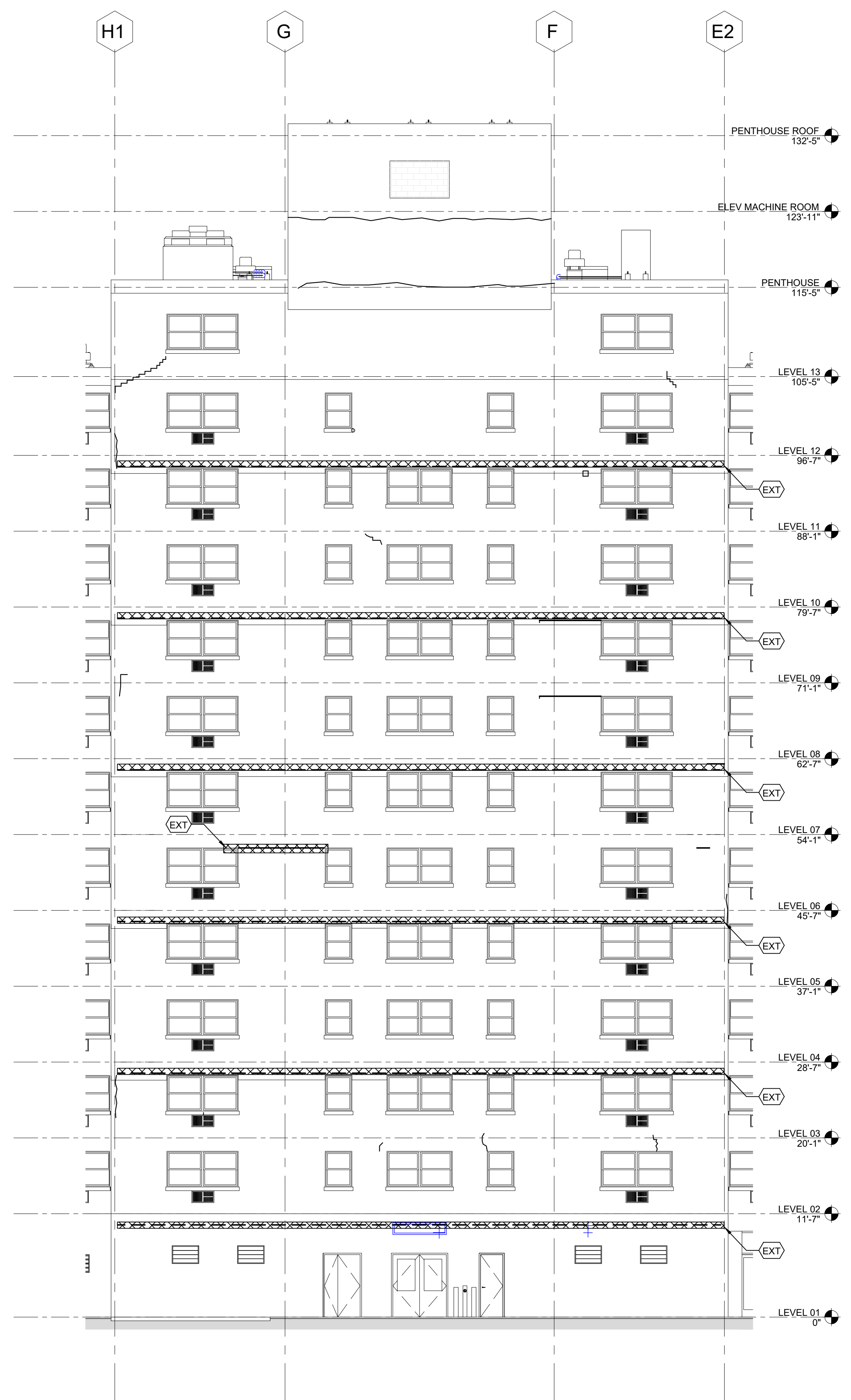
CHA CONTRACT NO: 12017-035AD  
 TITLE  
**ASBESTOS ABATEMENT PLAN**  
**FACADE ELEVATIONS**

SHEET  
**ASB3.12**

12/29/2020 3:22:26 PM



**1** EXTERIOR ELEVATION - WEST A  
1/8" = 1'-0"



**2** EXTERIOR ELEVATION - WEST B  
1/8" = 1'-0"

**SCOPE OF WORK:**  
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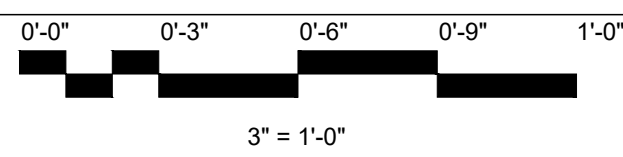
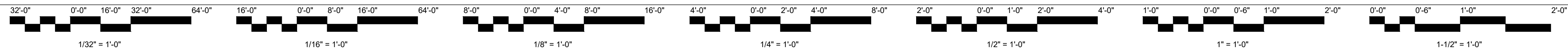
ISSUANCE

MARK	DESCRIPTION	DATE
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CHA CONTRACT NO: 12017-035AD  
 TITLE  
**ASBESTOS ABATEMENT PLAN**  
**FACADE ELEVATIONS**

SHEET  
**ASB3.13**

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**SCOPE OF WORK:**

- ASBESTOS ABATEMENT, REMOVAL AND DISPOSAL OF EXTERIOR CAULK AS NECESSARY TO ACCOMMODATE REPAIR RENOVATIONS. SEE SEE DEMOLITION DRAWINGS FOR ADDITIONAL INFORMATION.
- ASBESTOS ABATEMENT SHALL BE COMPLETED PER SPECIFICATION 02 82 ASBESTOS ABATEMENT FOR EXTERIORS, AND ALL APPLICABLE IDPH, EPA AND OSHA REGULATIONS AND REQUIREMENTS.

**GENERAL NOTES:**

- CONTRACTOR TO VERIFY EXISTING CONDITIONS AND QUANTITIES IN THE FIELD PRIOR TO BIDDING.
- ANY QUESTION ABOUT THE SCOPE OF WORK OR CLARIFICATIONS SHALL BE SUBMITTED TO THE PROJECT DESIGNER PRIOR TO BIDDING. ANY INTERPRETATIONS OF THE SPECIFICATIONS SHALL ONLY BE MADE BY THE PROJECT DESIGNER.
- COORDINATE SHUTDOWNS OF MECHANICAL, SPRINKLER, FIRE ALARM AND ELECTRICAL SYSTEMS WITH OWNER. AFTER HOURS WORK MAY BE NECESSARY.
- EXITS AND STAIRWELLS SHALL NOT BE OBSTRUCTED AT ANY TIME.
- THE OWNER RESERVES THE RIGHT TO STOP WORK AT ANY TIME AS REQUIRED BY THE OPERATION OF THE FACILITY.

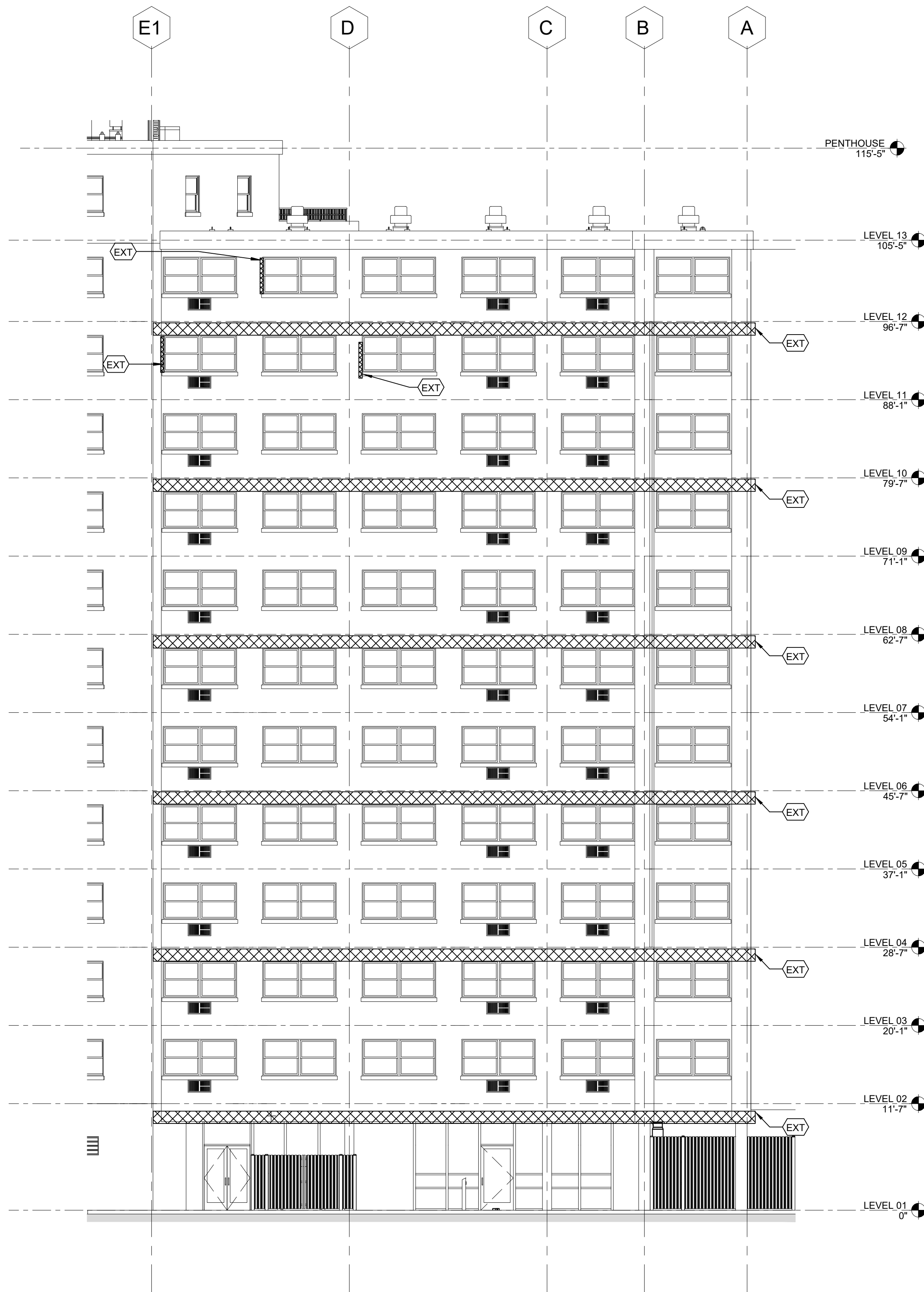
**ADDITIONAL DESIGN DETAILS:**

- EXTERIOR CAULK REMOVAL SHALL INCLUDE EXTERIOR CAULKS IMPACTED BY RENOVATIONS INCLUDING BUT NOT LIMITED TO THE REPAIR AND REPLACEMENT OF DAMAGED CAULK REPAIR, DEMOLITION OF LOUVERS AND FRAMES, REPLACEMENT OF SHELF ANGLES, AND INSTALLATION OF NEW CANOPY AT MAIN BUILDING ENTRY. REFER TO ARCHITECTURAL AND DEMOLITION PLANS FOR ADDITIONAL INFORMATION.
- THE ABATEMENT CONTRACTOR IS RESPONSIBLE FOR ALL SECURITY TO THE WORK AREA(S) DURING THE ABATEMENT PROJECT. THE ABATEMENT CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGES OR THEFTS TO PROPERTY IN THE WORK AREA(S), UNTIL THE AREA(S) ARE RETURNED TO THE PROPERTY OWNER. THE ABATEMENT CONTRACTOR SHALL REPAIR AND/OR REPLACE DAMAGED OR STOLEN PROPERTY TO THE SATISFACTION OF, AND AT NO ADDITIONAL COST TO THE PROPERTY OWNER.
- FLOOR PLANS ARE DIAGRAMMATIC AND ARE INTENDED TO INDICATE GENERAL PROXIMITY OF THE ABATEMENT WORK AREAS. CONTRACTOR SHALL VERIFY LOCATION AND EXTENT OF WORK PRIOR TO ABATEMENT.

- OUTDOOR WASTE DUMPSTER SHALL BE LOCATED PER OWNER'S APPROVAL PRIOR TO THE START OF ABATEMENT. WASTE OUT STAGING SHALL BE COORDINATED WITH ALL TRADES COMPLETING WORK.
- THE CONTRACTOR SHALL PROVIDE A HARD COPY OF ALL WASTE MANIFESTS WITHIN 30 DAYS OF THE WASTE BEING HAULED OFF-SITE.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH APPLICABLE BUILDING CODES AND ALL OTHER CODES THAT HAVE AUTHORITY OVER THIS PROJECT. ABATEMENT CONTRACTOR SHALL SECURE REQUIRED PERMITS AS NECESSARY. ABATEMENT CONTRACTOR SHALL PROVIDE ALL NECESSARY SAFEGUARDS, BARRIERS, TEMPORARY POWER, LIGHTING, FIRE PROTECTION, ETC. AS REQUIRED DURING ABATEMENT.

**KEYNOTES:**

- (EXT) REMOVE AND DISPOSE OF EXTERIOR CAULK
- [Hatched Box] APPROXIMATE EXTENT OF EXTERIOR CAULK REMOVAL
- [Grey Box] AREA NOT IN CONTRACT



# JUDGE WENDELL GREEN APARTMENTS

4030 S LAKE PARK AVE  
CHICAGO, IL 60653

ARCHITECT OF RECORD:  
CANOPY ARCHITECTURE + DESIGN, LLC  
180 W WASHINGTON STREET, SUITE 200  
CHICAGO, IL 60602

CIVIL & STRUCTURAL ENGINEERS:  
DAVID MASON + ASSOCIATES  
333 S DESPLAINES STREET, SUITE 200  
CHICAGO, IL 60661

LANDSCAPE ARCHITECT:  
MCKAY LANDSCAPE ARCHITECTS  
5215 N RAVENSWOOD AVENUE  
CHICAGO, IL 60640

MEP ENGINEER:  
dbHMS  
303 ERIE STREET #510  
CHICAGO, IL 60654

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ISSUANCE

MARK	DESCRIPTION	DATE
	BID & PERMIT	01.08.21

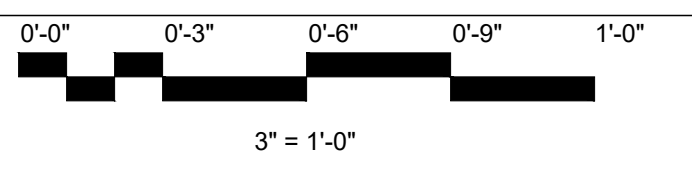
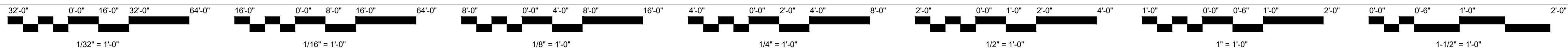
CHA CONTRACT NO: 12017-035AD  
TITLE  
**ASBESTOS ABATEMENT PLAN**  
**FACADE ELEVATIONS**

SHEET  
**ASB3.14**

1 EXTERIOR ELEVATION - WEST C  
1/8" = 1'-0"

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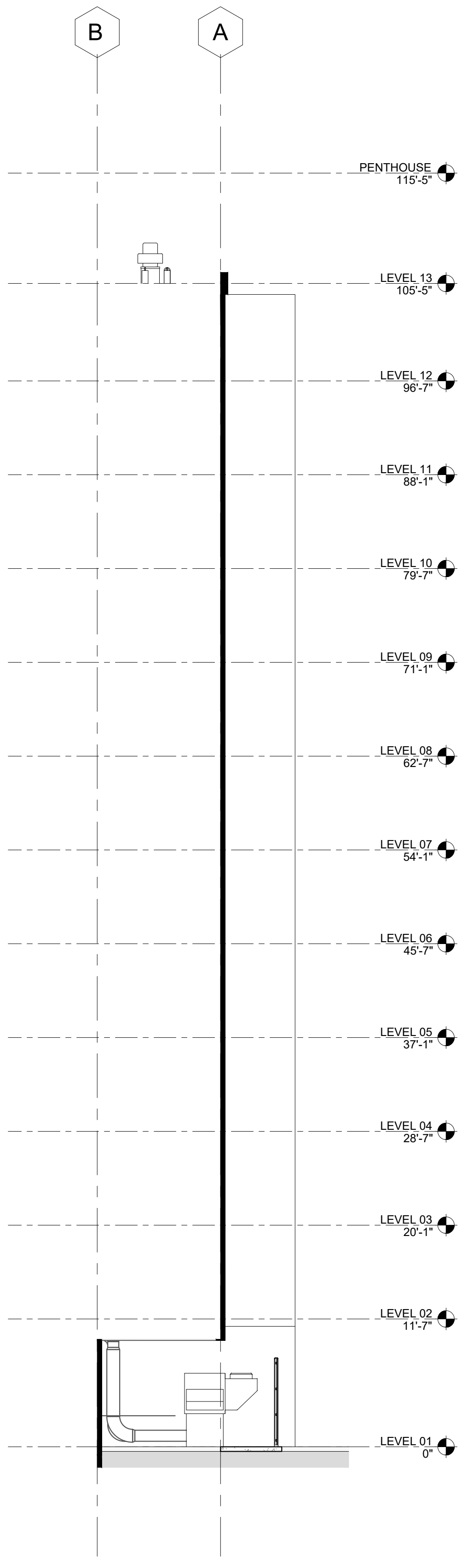




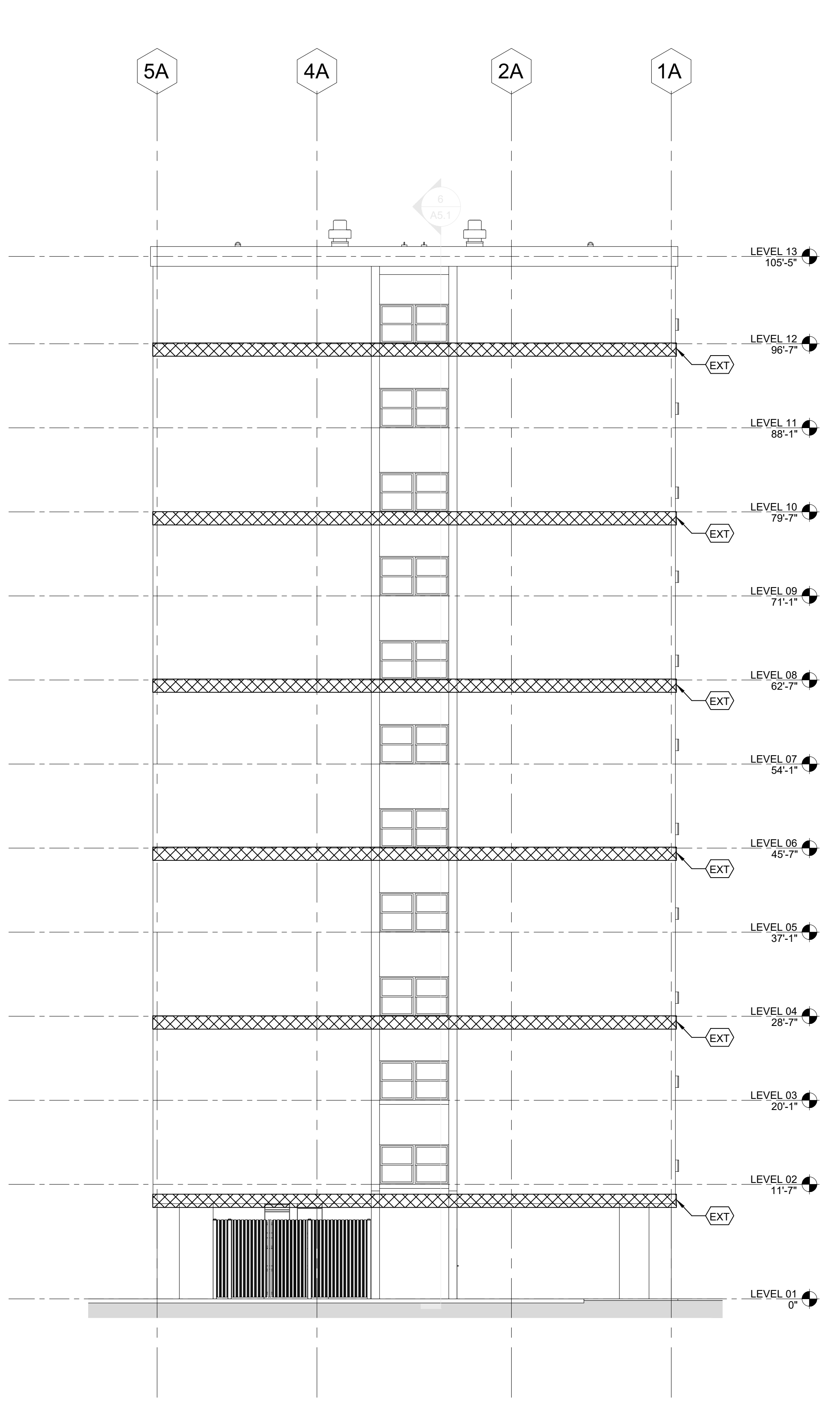
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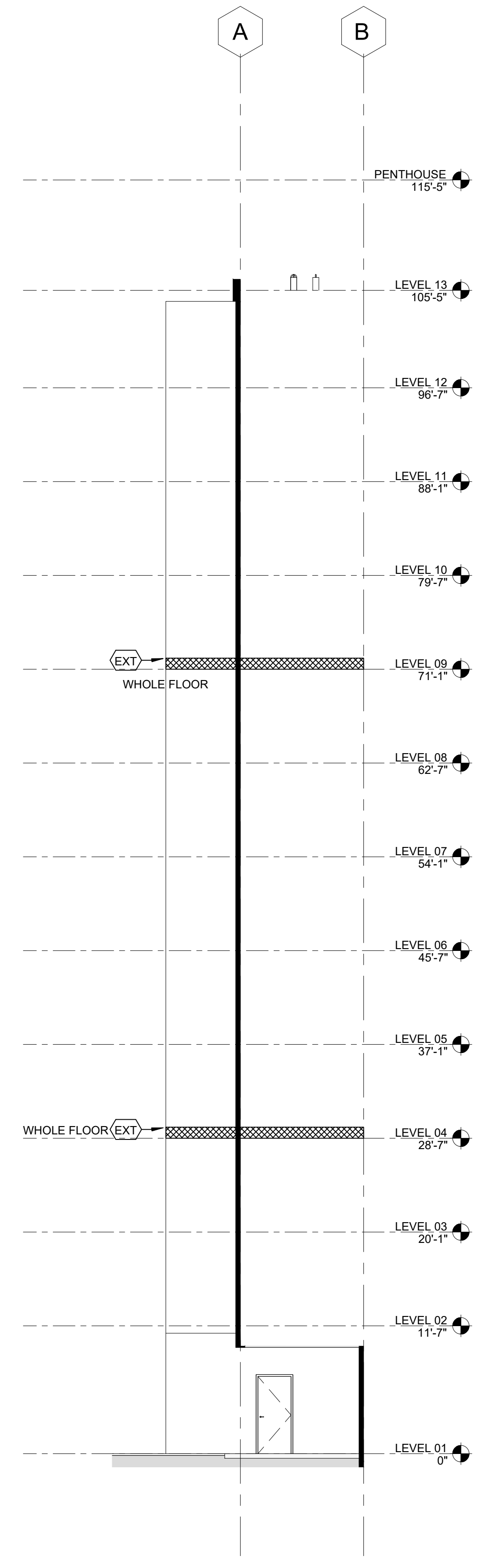
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  - [Grey Box] AREA NOT IN CONTRACT



2 EXTERIOR ELEVATION - SOUTH A LEFT  
1/8" = 1'-0"



1 EXTERIOR ELEVATION - SOUTH A  
1/8" = 1'-0"



3 EXTERIOR ELEVATION - SOUTH A RIGHT  
1/8" = 1'-0"



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ISSUANCE

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CHA CONTRACT NO: 12017-035AD  
TITLE  
**ASBESTOS ABATEMENT PLAN**  
**FACADE ELEVATIONS**  
SHEET

**ASB3.15**

## GENERAL MECHANICAL NOTES

### NOTES APPLY TO ALL MECHANICAL DRAWINGS

1. EACH TRADE CONTRACTOR SHALL VISIT CONSTRUCTION SITE PRIOR TO BIDDING. EXAMINE SCOPE AND CONDITIONS OF OTHER CONTRACT WORK, EXAMINE EXISTING CONDITIONS AND ALL INTERFERENCES AND REQUIRED COORDINATION IN ORDER TO INCLUDE EFFECT OF SAID CONDITIONS IN THEIR BID. BID DRAWINGS ARE DIAGRAMMATIC AND DO NOT INDICATE ALL REQUIRED RELOCATIONS, OFFSETS, CHANGE IN ASPECT RATIOS, OR ROUTING CHANGES REQUIRED TO INTEGRATE WORK WITH ALL OTHER CONDITIONS OR TRADES. WORK INSTALLED BEFORE COORDINATING SO AS TO CAUSE INTERFERENCES WITH OTHER TRADES SHALL BE REMOVED AND REWORKED WITHOUT COST TO OWNER. COST OF PROVIDING SUCH RELOCATIONS, OFFSETS, SIZE, CHANGES, REROUTING, ETC. SHALL BE INCLUDED IN BID. CODE CONFORMING SCALED (1/4") COORDINATED DRAWINGS SHALL BE PREPARED BY EACH TRADE TO FACILITATE AND VERIFY FIT AND CONGRUENCE OF THEIR INSTALLATION WITH OTHER TRADES.

2. WHERE ADDITIONAL DETAILS, DIAGRAMS, EQUIPMENT DATA, AND ISOMETRICS ARE REQUIRED BY BUILDING DEPARTMENT OR CODE AUTHORITIES FOR PERMIT OR APPROVAL, CONTRACTOR SHALL PROVIDE SAME AT NO ADDITIONAL COST.

3. BUILDING PLANS SHOWN ARE COMPILED FROM SOURCES BELIEVED TO BE ACCURATE. HOWEVER, THE INFORMATION SHOWN ON THESE PLANS IS SCHEMATIC AND CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PROPER DIMENSIONS, SIZES, SYSTEM VOLTAGES, QUANTITIES AND EXTENT OF WORK.

4. THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL, STRUCTURAL, PLUMBING, FIRE PROTECTION, MECHANICAL AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COORDINATION AND EXTENT OF THE WORK OF THE VARIOUS TRADES AND IMPACT ON THEIR WORK.

5. WITH THE APPROVAL OF THE ARCHITECT AND WITHOUT ADDITIONAL COST TO THE OWNER, MAKE MODIFICATIONS IN THE WORK, INCLUDING REROUTING AS REQUIRED BY INTERFERENCE WITH STRUCTURAL, GENERAL AND WORK OF OTHER TRADES FOR PROPER EXECUTION OF THE WORK.

6. REFER TO THE ARCHITECTURAL DRAWINGS, FIELD CONDITIONS AND DETAILS FOR EXACT LOCATION OF PARTITIONS, RCP, DIMENSIONED ELEMENTS.

7. CUTTING AND PATCHING FOR THEIR WORK SHALL BE PERFORMED BY EACH TRADE CONTRACTOR UNLESS NOTED OTHERWISE.

8. REFER TO ELECTRICAL DIAGRAM AND SPECIFICATIONS FOR VFD DRIVES TYPE, MODEL REQUIREMENTS.

9. ALL WORK SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH BUILDING STANDARDS AND ALL APPLICABLE CODES.

10. MEDIUM/LOW PRESSURE DUCTWORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST SMACNA STANDARDS. SUPPLY DUCTWORK, MEDIUM PRESSURE SHALL NOT EXCEED 2000 FPM VELOCITY OR 0.2 IN/100 FT. PRESSURE DROP. LOW PRESSURE DUCTWORK SHALL NOT EXCEED 1500 FPM OR 0.08 IN/100 FT. PRESSURE DROP. EXHAUST DUCTWORK SHALL NOT EXCEED 1500 FPM OR 0.08 IN/100 FT. PRESSURE DROP.

12. ALL DUCT SIZES SHOWN SHALL BE CLEAR INSIDE DIMENSIONS.

15. PROVIDE UL APPROVED FIRE DAMPERS IN ALL DUCT PENETRATIONS THRU FIRE RATED ASSEMBLIES WHETHER INDICATED OR NOT.

24. ALL FITTINGS AND CONNECTIONS FOR ALL CHILLED WATER, COOLING WATER, HEATING HOT WATER SYSTEMS INSIDE THE BUILDING, EXCEPT INSIDE THE EQUIPMENT ROOM SHALL BE WELDED OR BRAZED.

25. PROVIDE FLEXIBLE DUCTS RATED FOR 10 INCH WG. PRESSURE RATING. PROVIDE STRAP FOR INSIDE AND OUTSIDE LINING AT EACH CONNECTION POINT. MINIMUM HYDRONIC PIPING SIZE SHALL BE 3/4".

26. SMOKE DUCT DETECTORS SHALL BE FURNISHED AND INSTALLED BY THE ELECTRICAL CONTRACTOR. MECHANICAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING THEIR LOCATION BASED ON THE ACTUAL DUCT ROUTING. INSTALLATION TO BE LEAK FREE AND SHALL PASS THE DUCT PRESSURE TEST.

### SYSTEMS ABBREVIATIONS

DUCTWORK

ABBREVIATION	SYSTEM NAME
DE	DRYER EXHAUST
GE	EXHAUST AIR
OA	OUTSIDE AIR
RA	RETURN AIR
SA	SUPPLY AIR
TE	TOILET EXHAUST



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### ISSUANCE

MARK	DESCRIPTION	DATE
	BID & PERMIT	01.08.21

CHA CONTRACT NO: P1805

TITLE  
**MECHANICAL SYMBOLS,  
NOTES &  
ABBREVIATIONS**

SHEET

**M0.0**

GENERAL NOTE: NOT ALL SYMBOLS, NOTES AND ABBREVIATIONS ARE APPLICABLE TO THIS PROJECT

RESIDENTIAL VENTILATION SCHEDULE												
ROOM NO.	ROOM NAME	CLASSIFICATION	S.F. AREA	CODE REQUIREMENTS				ACTUAL PROVIDED		FAN SYSTEM		REMARKS
				CITY OF CHICAGO MECHANICAL VENTILATION (CFM)		INTERNATIONAL MECHANICAL VENTILATION (CFM)		MECHANICAL VENTILATION (CFM)		SUPPLY	EXHAUST	
				SUPPLY CFM	EXHAUST CFM	SUPPLY CFM	EXHAUST CONTINUOUS CFM	SUPPLY CFM	EXHAUST CFM			
XX01	DWELLING UNIT	TOILET ROOM (RESIDENTIAL)	30	NR	45	-	20	-	25	-	TEF-1	
XX02	DWELLING UNIT	TOILET ROOM (RESIDENTIAL)	30	NR	45	-	20	-	25	-	TEF-1	
XX03	DWELLING UNIT	TOILET ROOM (RESIDENTIAL)	30	NR	45	-	20	-	25	-	TEF-1	
XX04	DWELLING UNIT	TOILET ROOM (RESIDENTIAL)	30	NR	45	-	20	-	25	-	TEF-1	
XX05	DWELLING UNIT	TOILET ROOM (RESIDENTIAL)	30	NR	45	-	20	-	25	-	TEF-1	
XX06	DWELLING UNIT	TOILET ROOM (RESIDENTIAL)	44	NR	66	-	20	-	25	-	TEF-1	
XX07	DWELLING UNIT	TOILET ROOM (RESIDENTIAL)	33	NR	50	-	20	-	25	-	TEF-1	
XX08	DWELLING UNIT	TOILET ROOM (RESIDENTIAL)	44	NR	66	-	20	-	25	-	TEF-1	
XX09	DWELLING UNIT	TOILET ROOM (RESIDENTIAL)	35	NR	53	-	20	-	25	-	TEF-1	
XX10	DWELLING UNIT	TOILET ROOM (RESIDENTIAL)	31	NR	47	-	20	-	25	-	TEF-1	
XX11	DWELLING UNIT	TOILET ROOM (RESIDENTIAL)	31	NR	47	-	20	-	25	-	TEF-1	
XX12	DWELLING UNIT	TOILET ROOM (RESIDENTIAL)	31	NR	47	-	20	-	25	-	TEF-1	
XX13	DWELLING UNIT	TOILET ROOM (RESIDENTIAL)	30	NR	45	-	20	-	25	-	TEF-1	
XX15	DWELLING UNIT	TOILET ROOM (RESIDENTIAL)	30	NR	45	-	20	-	25	-	TEF-1	
340	LAUNDRY ROOM	LAUNDRY	176	NR	200	-	-	-	150	-	DEF-1	
TOTAL (2ND THRU 13TH FLOOR)			14064	0	8374	0	3080	4650	4450			

**CITY OF CHICAGO NOTES:**

1. EQUIPMENT NOISE LEVEL NOT TO EXCEED 55 DB AT THE LOT LINE.

4. THE EQUIPMENT IN THE VENTILATING AND HEATING SYSTEM SHALL BE SUFFICIENT TO MAINTAIN 72 DEGREES F. IN HEATING AREAS SERVED AT ALL TIMES WHEN 33-1/3 PERCENT OF CODE REQUIRED AIR IS SUPPLIED FROM OUTDOORS AT -10 DEGREES F.

6. ALL WORK SHALL CONFORM TO THE CURRENT CITY OF CHICAGO CODES AND ORDINANCES.



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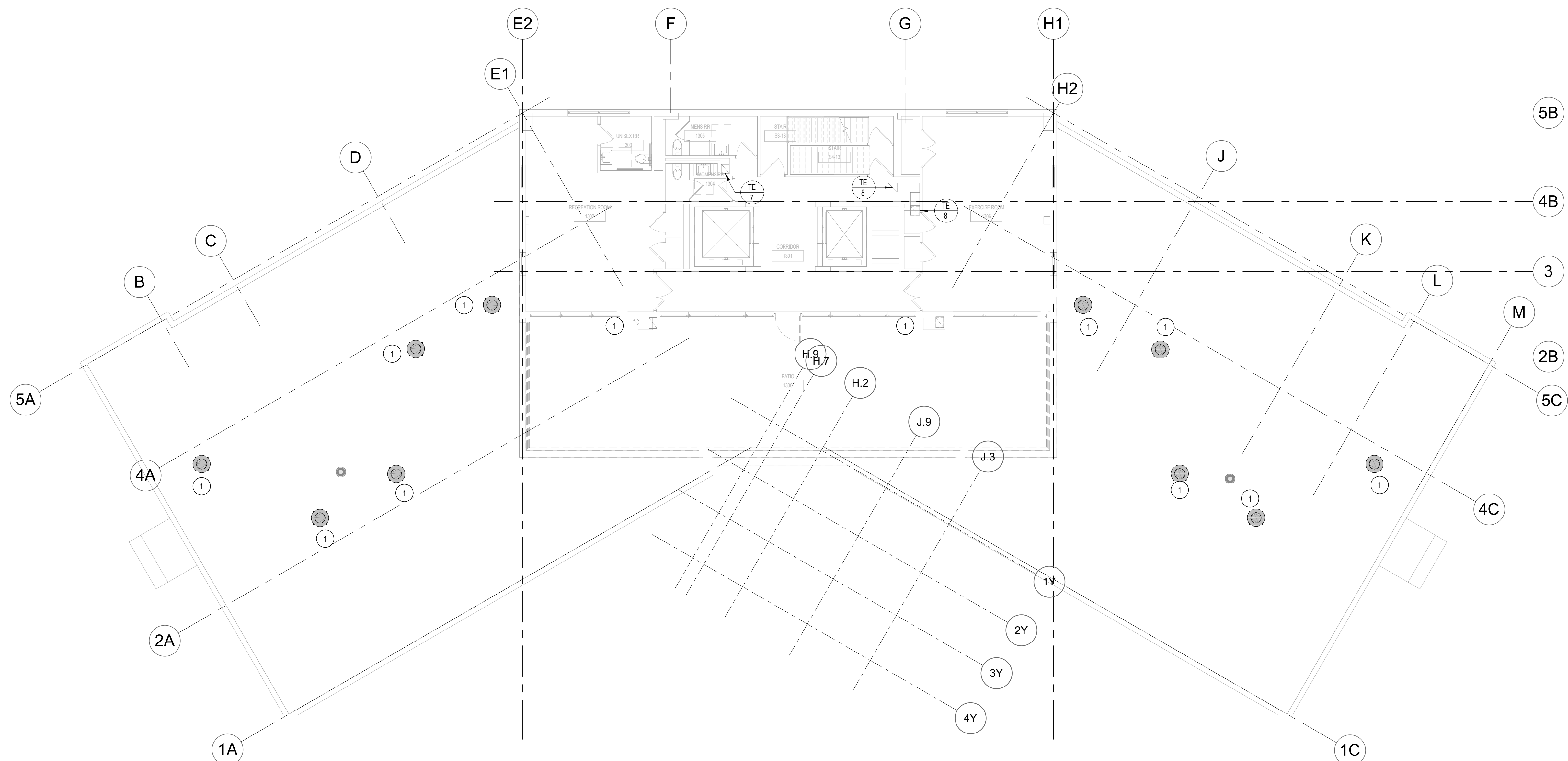
ISSUANCE		
MARK	DESCRIPTION	DATE
	BID & PERMIT	01.08.21

CHA CONTRACT NO: P1805  
TITLE  
**MECHANICAL CITY OF CHICAGO**

SHEET  
**M0.1**

**MECHANICAL SCOPE NOTES**

1 REPLACE EXISTING ROOFTOP TOILET EXHAUST FANS WITH NEW FANS AND ROOF CURBS. EXISTING EXHAUS. EXTEND DUCTWORK THROUGH NEW ROOF CURBS.



1 LEVEL 13-MECH. DUCT DEMO PLAN  
1/8" = 1'-0"

**DEMOLITION LEGEND**

- NOT IN CONTRACT
- AREA OF WORK
- TO BE DEMOLISHED
- EXISTING TO REMAIN (HALFTONE PER ELEMENT)
- DEMOLITION NOTE



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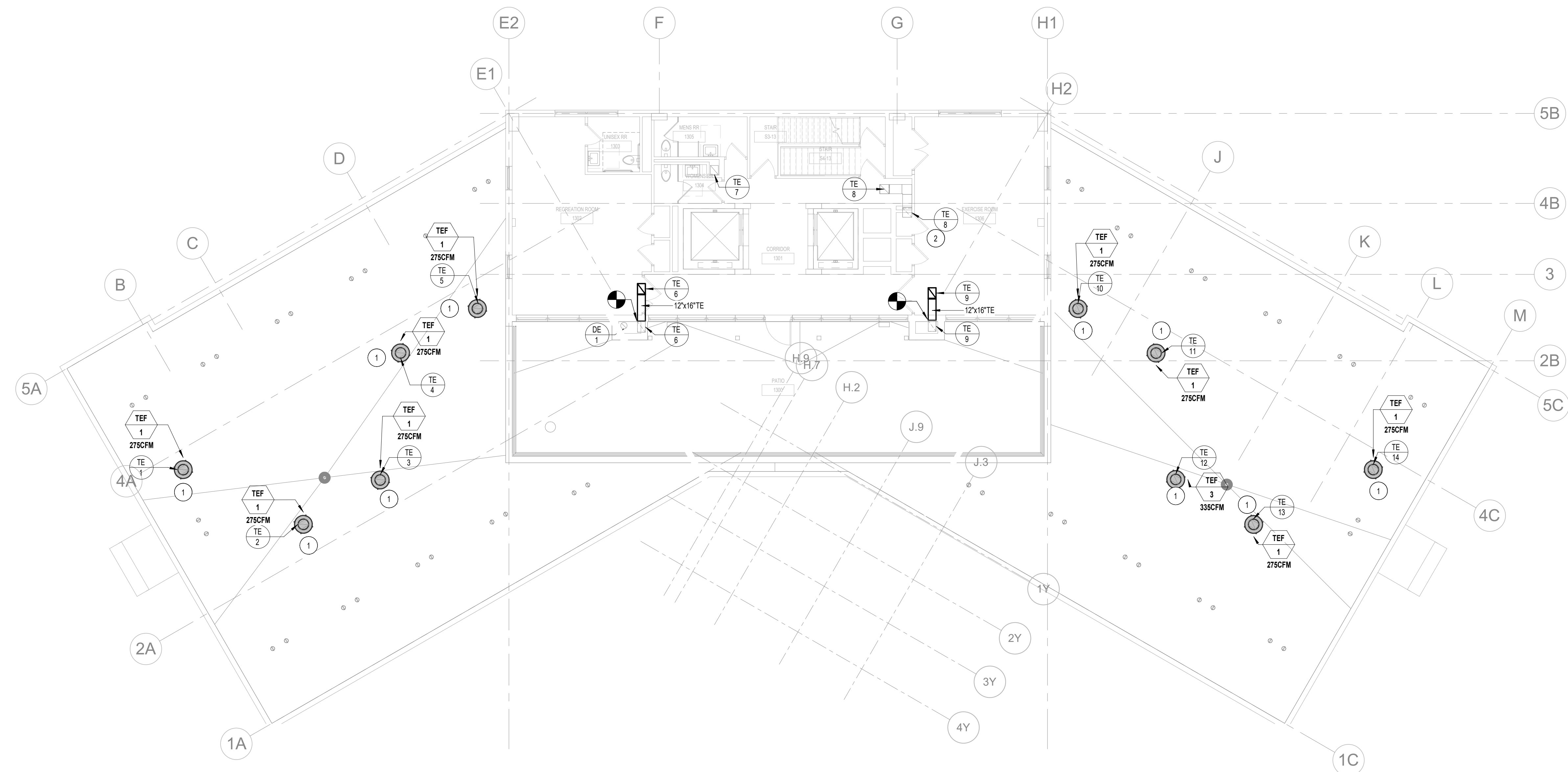
CHA CONTRACT NO.: P1805

TITLE  
**MECHANICAL DEMOLITION PLAN**

SHEET  
**MD1.12**

**MECHANICAL SCOPE NOTES**

- 1 REPLACE EXISTING TOILET EXHAUST FANS WITH NEW FANS AND ROOF CURBS. EXTEND DUCTWORK THROUGH NEW ROOF CURBS. 10% OF EXISTING EXHAUST DUCT RISERS ARE TO BE CLEANED AND PRESSURE TESTED. PROVIDE REPORT OF CONDITION TO CHA.
- 2 EXISTING DUCTWORK SHOWN FOR INFORMATION, FIELD VERIFY.



1 LEVEL 13-MECH\_DUCT PLAN  
1/8" = 1'-0"



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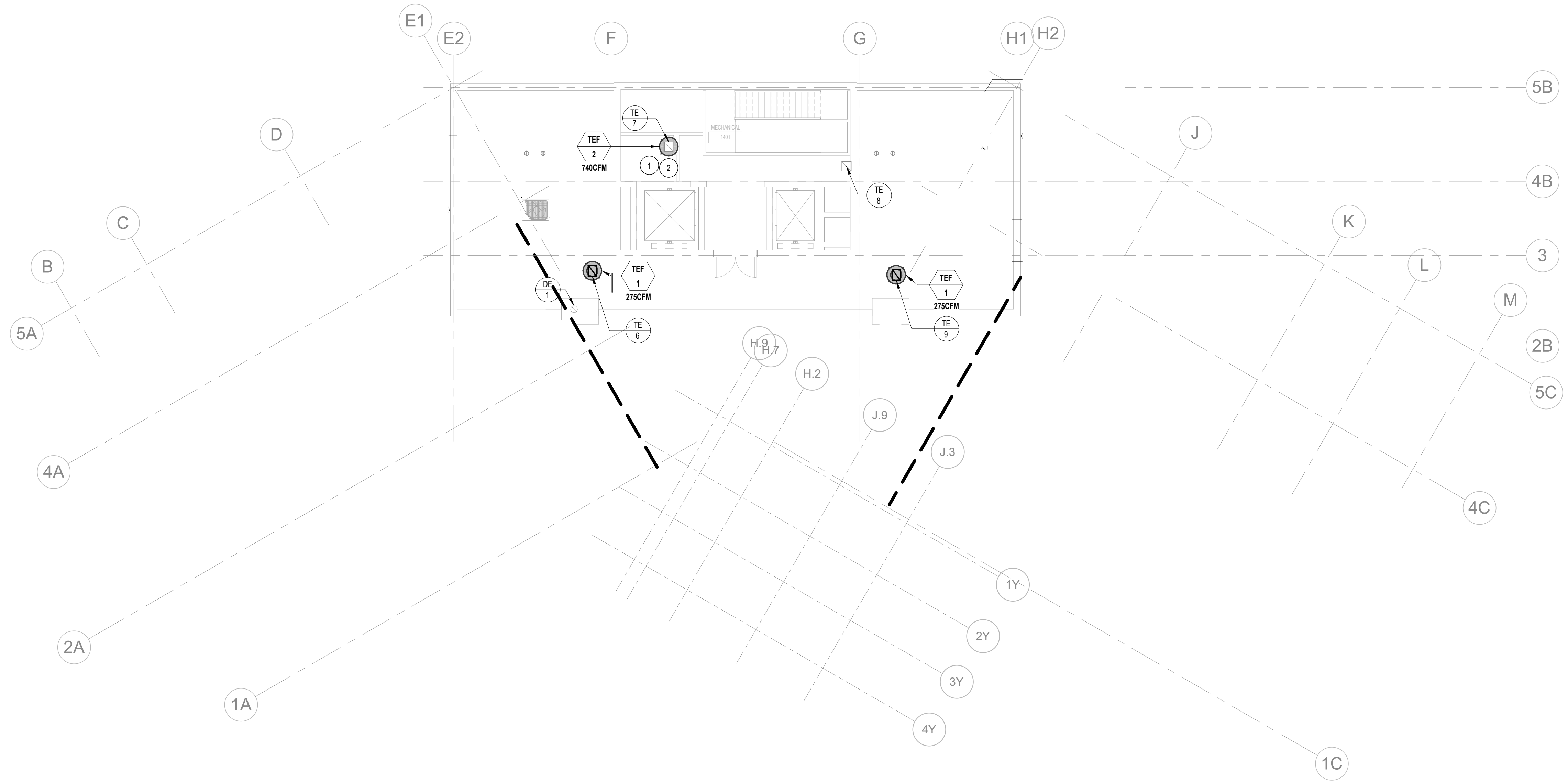
CHA CONTRACT NO: P1805

TITLE  
**HVAC FLOOR PLAN  
LEVEL 13**

SHEET  
**M1.13**

**MECHANICAL SCOPE NOTES**

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- 2 ON ROOF ABOVE.



1 PENTHOUSE-MECH\_DUCT PLAN  
1/8" = 1'-0"



**JUDGE WENDELL GREEN APARTMENTS**  
4030 S LAKE PARK AVE  
CHICAGO, IL 60653

ARCHITECT OF RECORD:  
CANOPY ARCHITECTURE + DESIGN, LLC  
180 W WASHINGTON STREET, SUITE 200  
CHICAGO, IL 60602

CIVIL & STRUCTURAL ENGINEERS:  
DAVID MASON + ASSOCIATES  
464 N MILWAUKEE AVENUE  
CHICAGO, IL 60654

LANDSCAPE ARCHITECT:  
MCKAY LANDSCAPE ARCHITECTS  
5215 N RAVENSWOOD AVENUE  
CHICAGO, IL 60640

MEP ENGINEER:  
dbHMS  
303 ERIE STREET #510  
CHICAGO, IL 60654

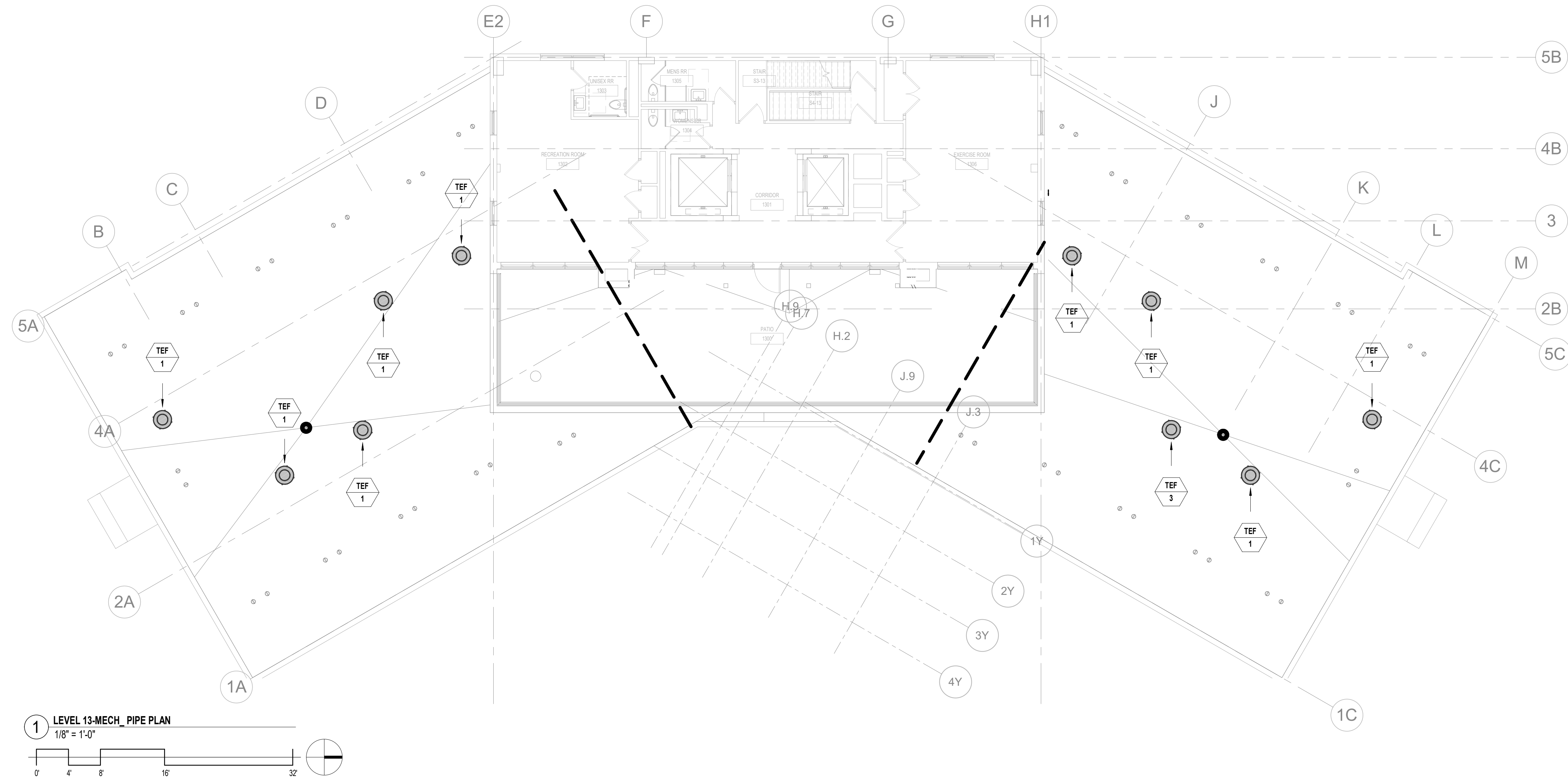
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ISSUANCE		
MARK	DESCRIPTION	DATE
	BID & PERMIT	01.08.21

CHA CONTRACT NO: P1805

TITLE  
**HVAC FLOOR PLAN  
PENTHOUSE LEVEL**

SHEET  
**M1.14**



1 LEVEL 13-MECH. PIPE PLAN  
1/8" = 1'-0"



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MEP ENGINEER:  
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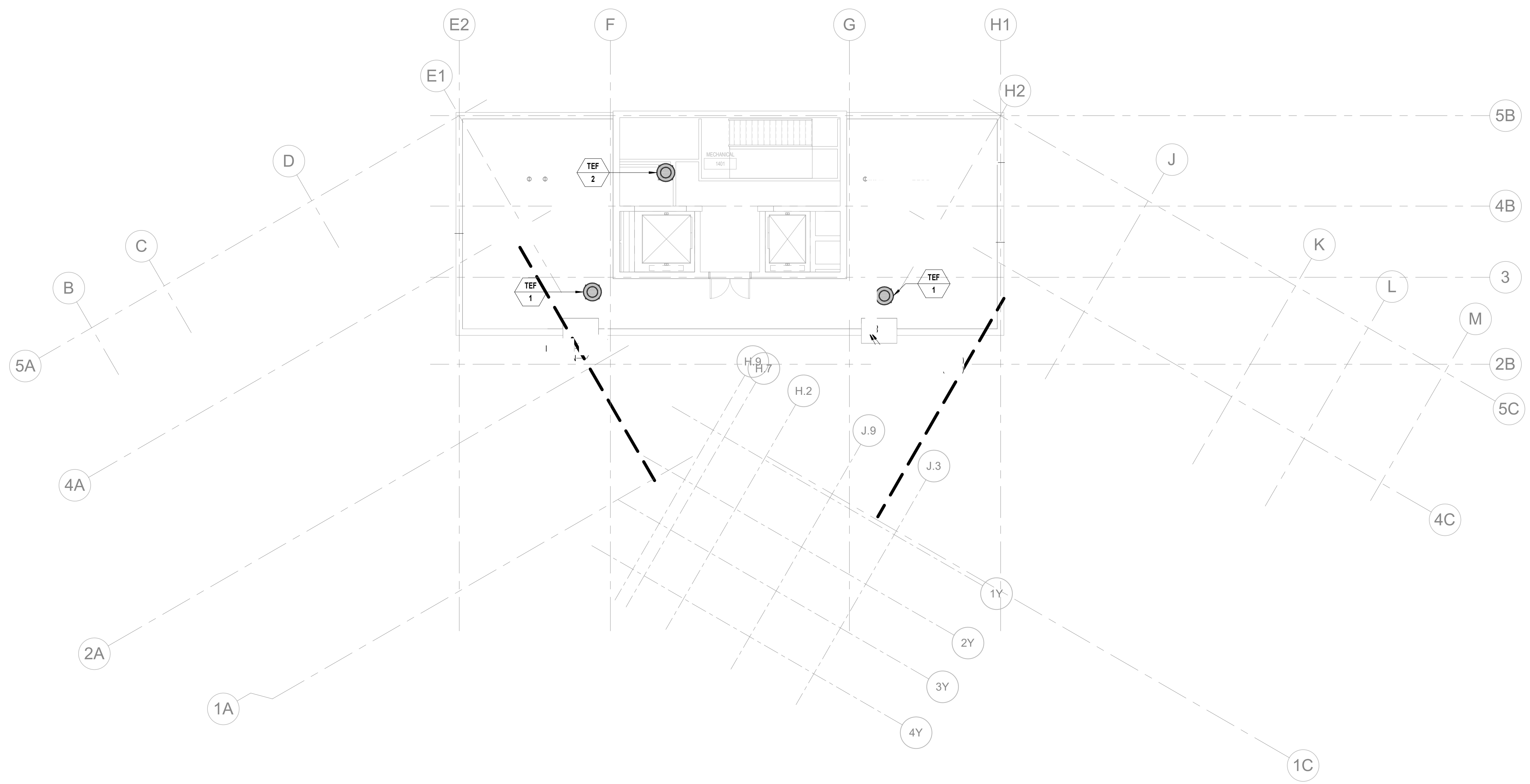
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ISSUANCE		
MARK	DESCRIPTION	DATE
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CHA CONTRACT NO: P1805

TITLE  
**PIPING FLOOR PLAN  
LEVEL 13**

SHEET  
**M2.13**



1 PENTHOUSE-MECH\_PIPE PLAN  
 1/8" = 1'-0"



**JUDGE WENDELL  
 GREEN  
 APARTMENTS**  
 4030 S LAKE PARK AVE  
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 DAVID MASON + ASSOCIATES  
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 CHICAGO, IL 60654

LANDSCAPE ARCHITECT:  
 MCKAY LANDSCAPE ARCHITECTS  
 5215 N RAVENSWOOD AVENUE  
 CHICAGO, IL 60640

MEP ENGINEER:  
 djhms  
 303 ERIE STREET #510  
 CHICAGO, IL 60654

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CHA CONTRACT NO: P1805

TITLE  
**PIPING FLOOR PLAN  
 PENTHOUSE LEVEL**

SHEET  
**M2.14**



SCOPE NOTES:  
1. EXISTING TOILET EXHAUST DUCT RISERS SHALL REMAIN IN PLACE.



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JBM/HMS  
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ISSUANCE		
MARK	DESCRIPTION	DATE
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CHA CONTRACT NO: P1805

TITLE  
**MECHANICAL RISER  
DIAGRAMS - AIRSIDE**

SHEET

**M4.1**

FANS																			
TAG		LOCATION	QUANTITY	SYSTEM SERVED	CFM	F.S.P. IN WC	FAN DATA			ELECTRICAL DATA					UNIT WEIGHT (LBS)	MANUFACTURER	MODEL	REMARKS	
ABBR.	#						TYPE	RPM	DRIVE	BHP	HP	VOLTS	PH	HZ					
TEF	1	ROOF	11	RESIDENTIAL TOILET EXHAUST	275	0.75	DOWNBLAST	1480	DIRECT	0.09	1/4	120 V	1	60	40	GREENHECK	G-103HP-VG		
TEF	3	ROOF	1	RESIDENTIAL AND FIRST FLOOR TOILET EXHAUST	335	1	DOWNBLAST	1480	DIRECT	0.09	1/4	120 V	1	60	40	GREENHECK	G-103HP-VG		
TEF	2	ROOF	1	RESIDENTIAL TOILET EXHAUST	740	1.375	DOWNBLAST	1660	DIRECT	0.34	1/2	120 V	1	60	50	GREENHECK	G-143HP-VG		

- 1 VFD CONTROLLED
- 2 PROVIDE SPACE PRESSURE SENSOR
- 3 INTERLOCKED WITH MOTORIZED DAMPER



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 djhms  
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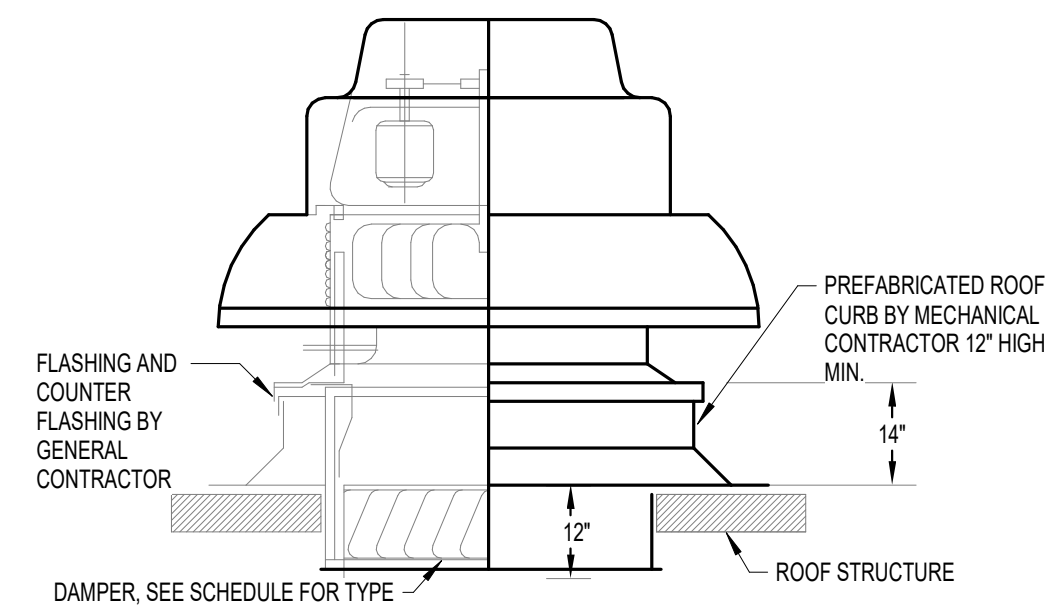
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TITLE

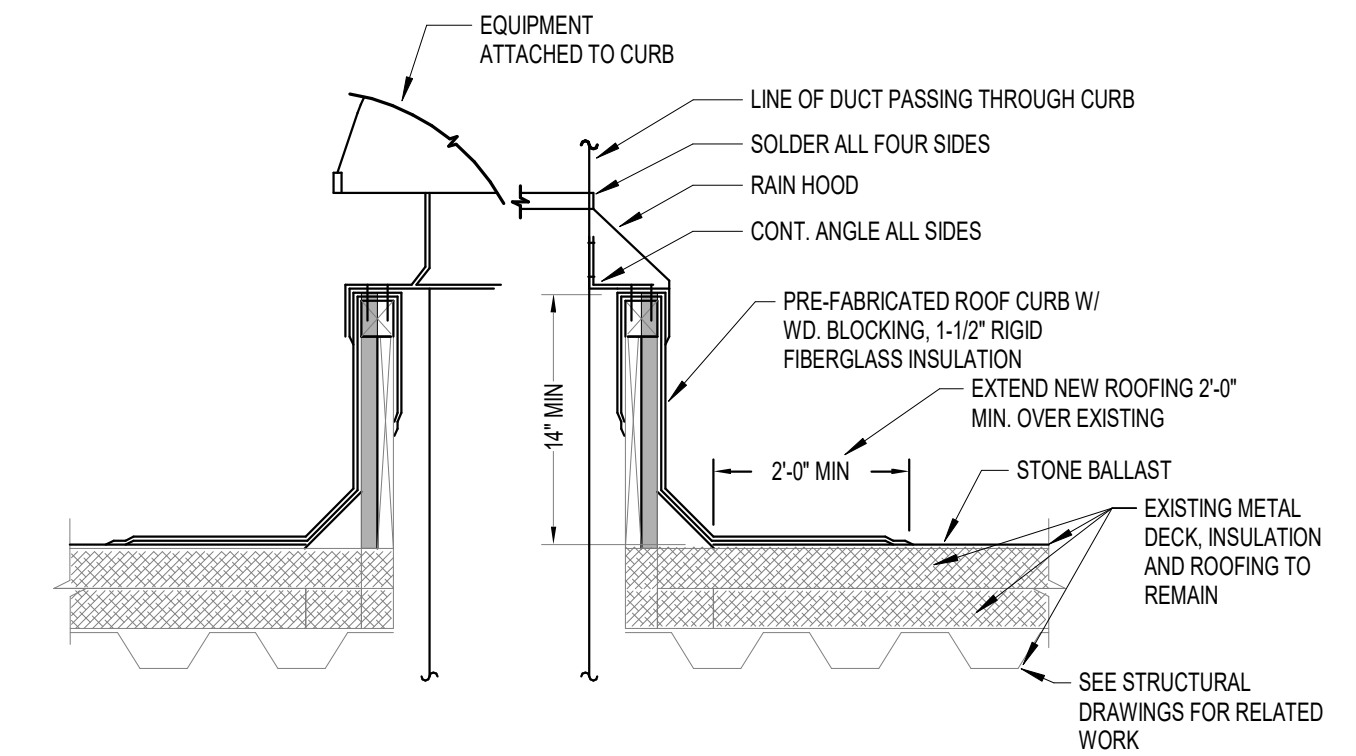
**MECHANICAL  
SCHEDULES**

SHEET

**M5.2**



6 MD ROOF EXHAUST FAN  
NTS



5 MD ROOF CURB  
NTS



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CHA CONTRACT NO: P1805

TITLE

**MECHANICAL DETAILS**

SHEET

**M6.1**