



CHICAGO PLAN COMMISSION

Department of Planning and Development

**Residential-Business Planned Development #896 Amendment:
Chicago Fire Football Club Performance Centre**

**Property bounded by Roosevelt Rd./Ashland Ave./15th St./Loomis St.
(28th Ward/Ald. Jason Ervin)**

Applicant: City of Chicago, Department of Planning and Development

9/15/22



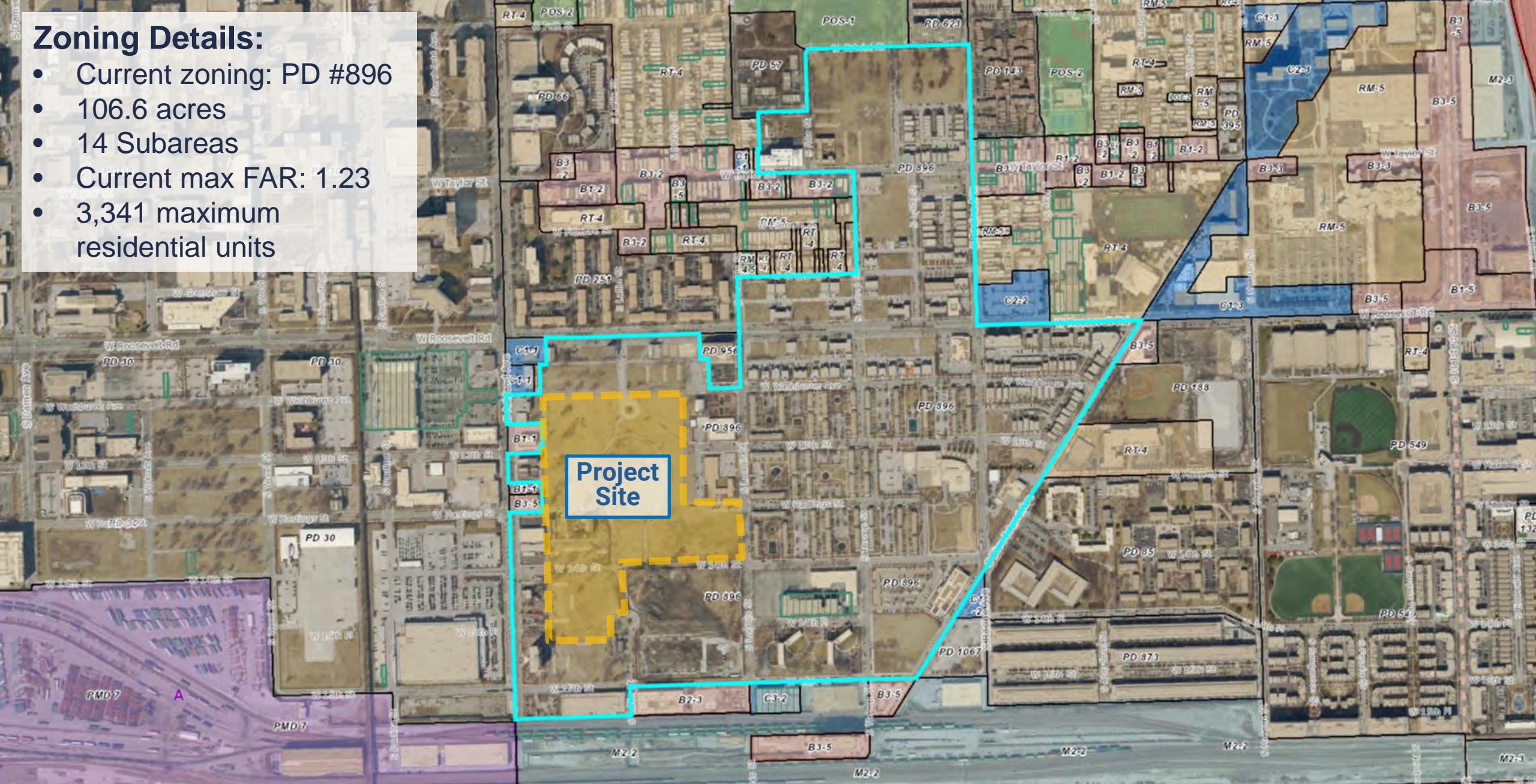
Project Description

The Applicant is proposing the following:

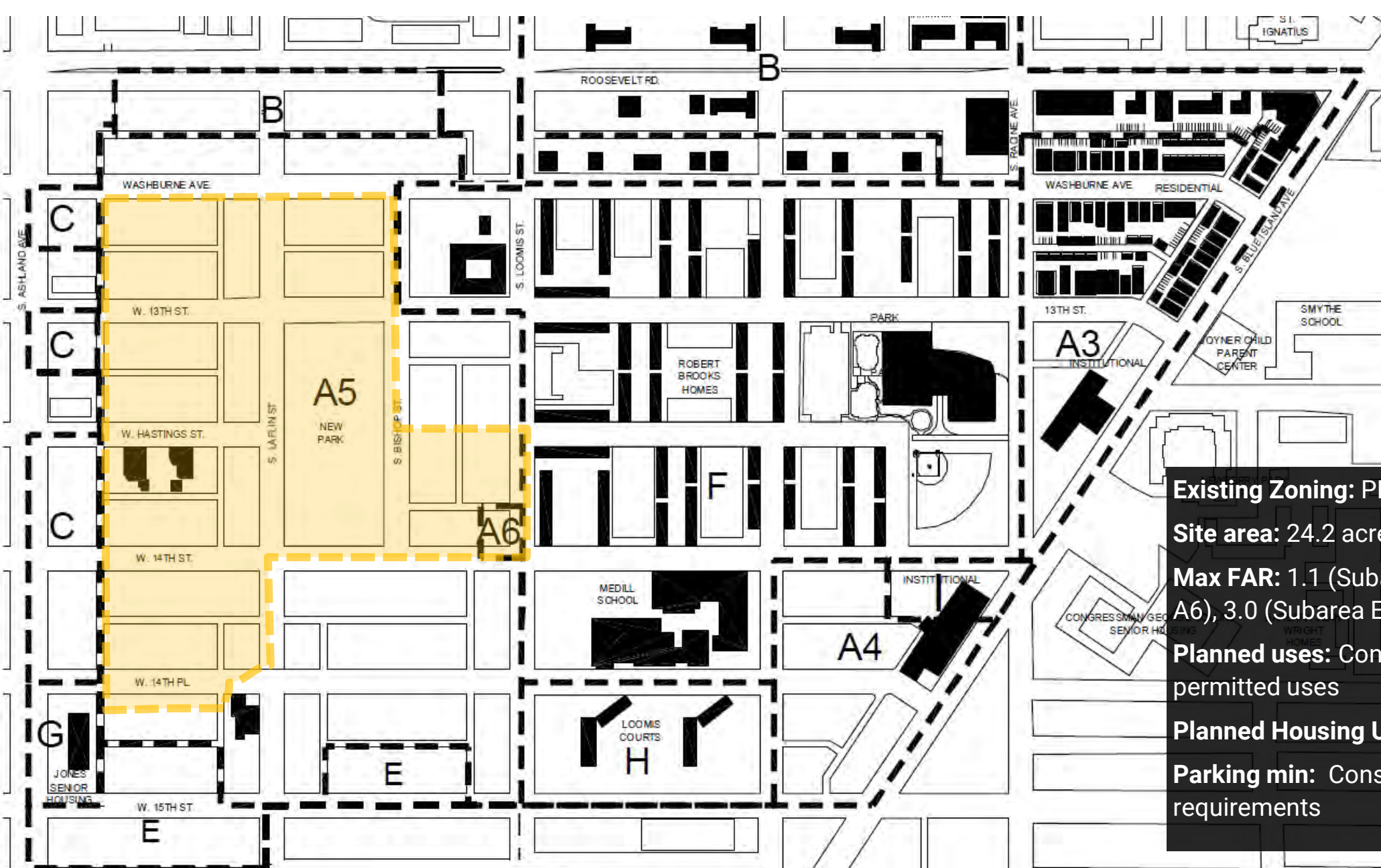
- Amend Planned Development #896 to revise the PD boundary, subarea map, statements and bulk table
- Develop a training facility for the Chicago Fire Football Club that will consist of a two-story, roughly 51,500 square foot office building, 142 vehicle parking spaces, five full-size soccer pitches and one partial soccer pitch
- Install a temporary inflatable dome over one of the pitches for the cold-weather months (roughly November through March)

Zoning Details:

- Current zoning: PD #896
- 106.6 acres
- 14 Subareas
- Current max FAR: 1.23
- 3,341 maximum residential units



Project Site



Existing Zoning: PD 896, Subarea A5, A6, E
Site area: 24.2 acres
Max FAR: 1.1 (Subarea A5), 1.2 (Subarea A6), 3.0 (Subarea E)
Planned uses: Consistent with RT-4 permitted uses
Planned Housing Units: 867 (A5)
Parking min: Consistent with RT-4 requirements

EXISTING SUBAREAS WITH PROJECT SITE

Background: ABLA Homes/Roosevelt Square



The redevelopment area now known as Roosevelt Square was formerly the site of the ABLA Homes, named after the four developments located on the site: the Jane Adams Homes, Brooks Homes, Loomis Homes and Abbott Apartments



A combination of CHA, affordable and market-rate units are planned for the redevelopment area. Roughly 2,500 units in total.



IMD

Jewel

Brooks Homes

Fosco Park

Heliport

Costco

Addams Rec Ctr

Loomis Courts

UP Rail Yard

24.2 acres

Site Conditions:

- Current use: vacant land
- Net site area: 24.2 acres
- Ownership: CHA



BIRDS EYE VIEW – LOOKING NORTHEAST



Jones Senior Apts.

Costco

Jewel

UIC Healthcare

Comed Rec Center

Loomis Courts

CHA

Brooks Homes

BIRDS EYE VIEW – LOOKING NORTHWEST



EXISTING CONDITIONS – ASHLAND/14TH ST., LOOKING NORTH



EXISTING CONDITIONS – ASHLAND/14TH ST., LOOKING SOUTH



EXISTING CONDITIONS – LOOMIS/13TH ST., LOOKING NORTH



EXISTING CONDITIONS – LOOMIS/13TH ST., LOOKING SOUTH

Planning Context

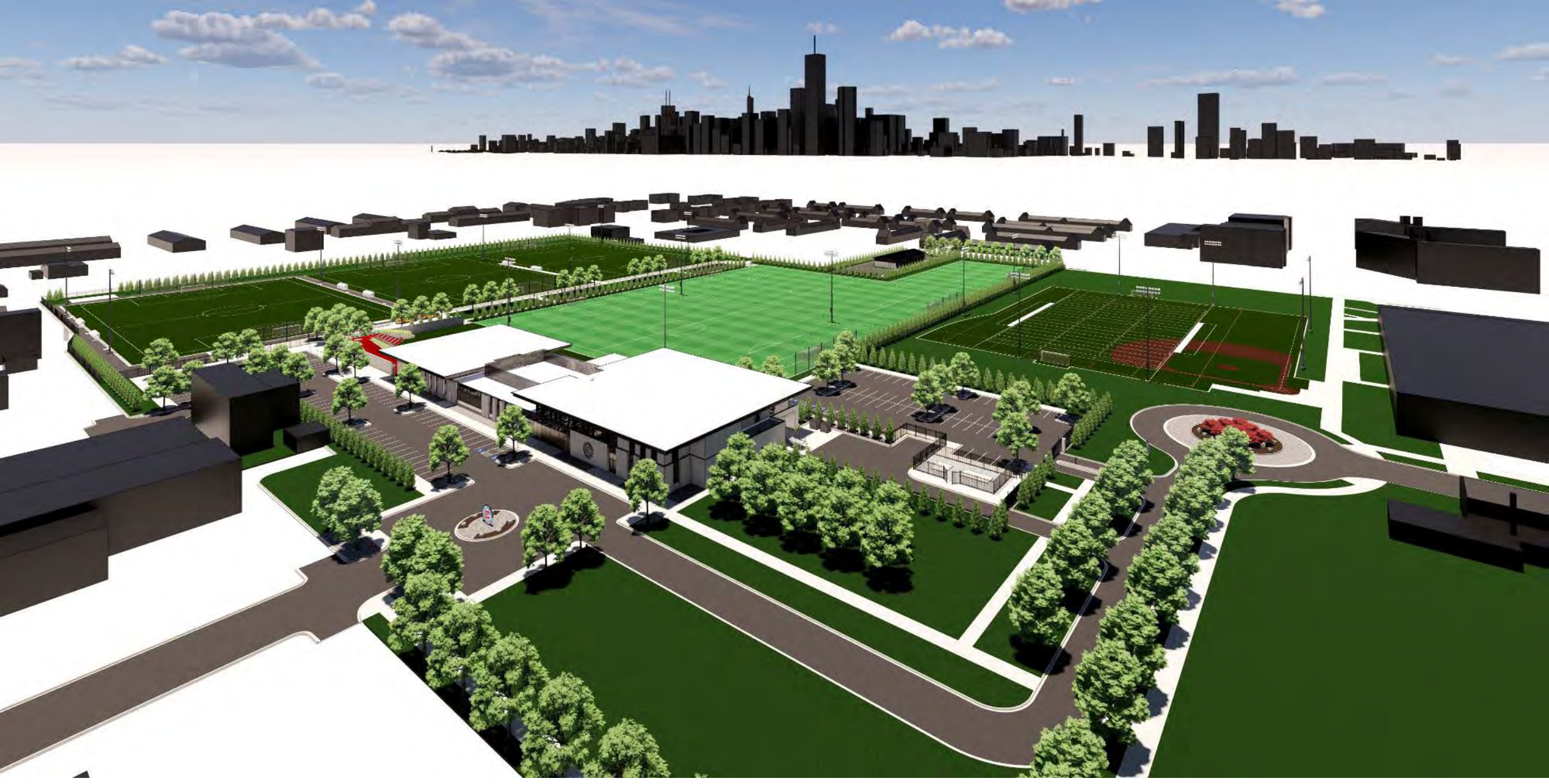


Greater Roosevelt Square Master Plan (2016)

- Led by CHA
- Related Midwest is Master Developer for CHA
- Recommendations:
 - Mixed-income housing with a variety of products
 - Restore street grid through redevelopment area
 - Integrate open space

Project Timeline

- **April 2021:** CHA stakeholder outreach for CFFC proposal
- **May 2021:** CHA community meetings for CFFC proposal
- **June 2021:** PD application filed
- **July 2022:** Community meeting with Related and 28th Ward to present Master Plan update
- **August 2022:** DPD community meeting on CFFC proposal



THE NEW PERFORMANCE CENTRE FOR THE CHICAGO FIRE FOOTBALL CLUB (CFFC) IS PROPOSED ON CHICAGO PUBLIC HOUSING AUTHORITY'S PROPERTIES LOCATED WITHIN THE BOUNDARIES OF ADDAMS/MEDILL PARK AND IN THE CONTEXT OF THE WEST SIDE NEIGHBORHOOD AREA, ON APPROXIMATELY 24.20 ACRES. THE EXISTING ZONING OF THE PROPERTY IS PD 896 AND IS PROPOSED TO BE MAINTAINED AND AMENDED.

ORGANIZED AROUND OUTDOOR SOCCER FIELDS (PITCHES), THE NEW CFFC PERFORMANCE CENTRE REPURPOSES AND ENHANCES EXISTING OPEN SPACE AREAS WHILE CONSTRUCTING A NEW TRAINING, PERFORMANCE, AND HEADQUARTERS BUILDING THAT IS RESPONSIVE TO AND COMPATIBLE WITH THE DESIGN CHARACTERISTICS OF THE ADJACENT DEVELOPMENTS.

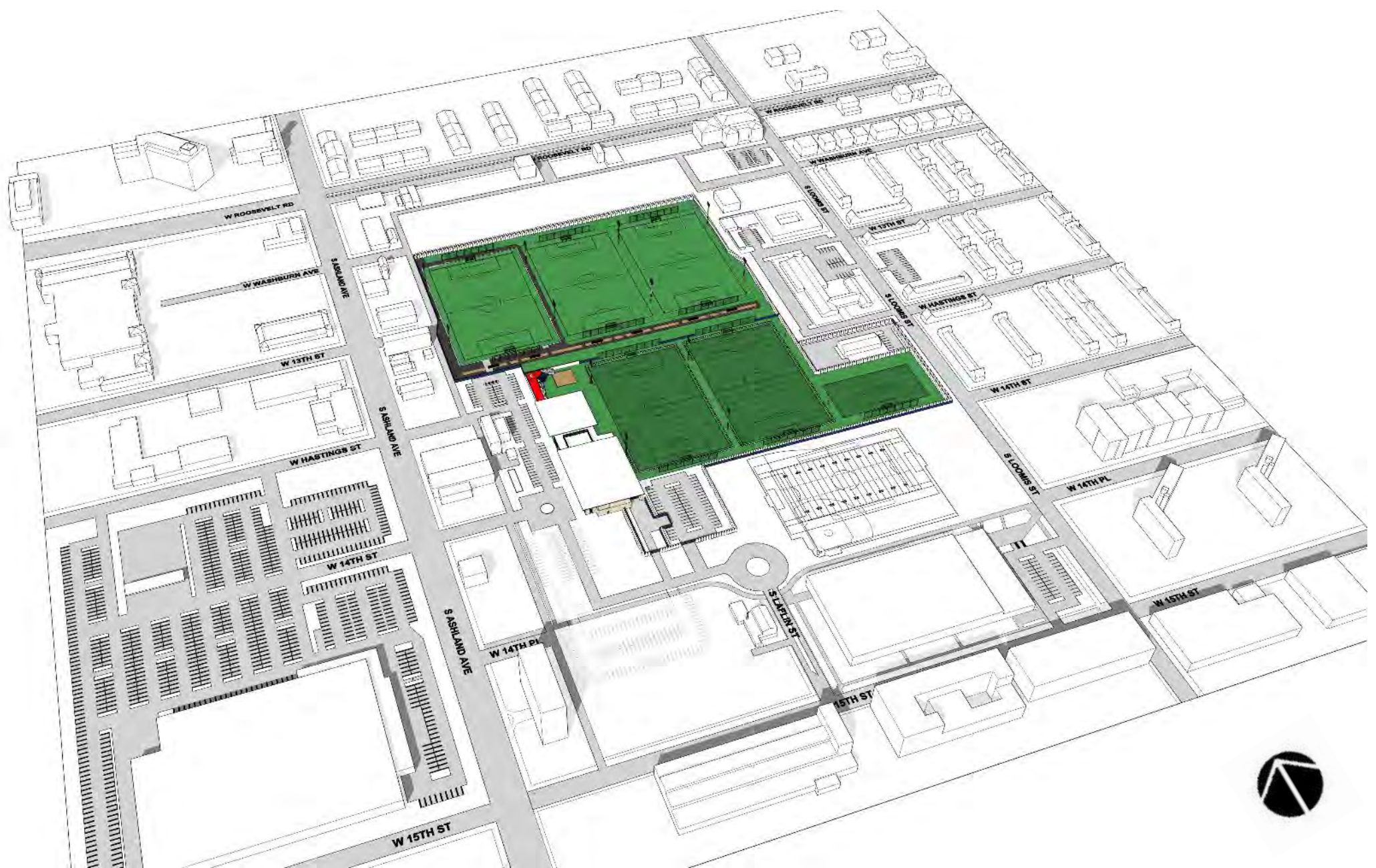
GOALS & OBJECTIVES:

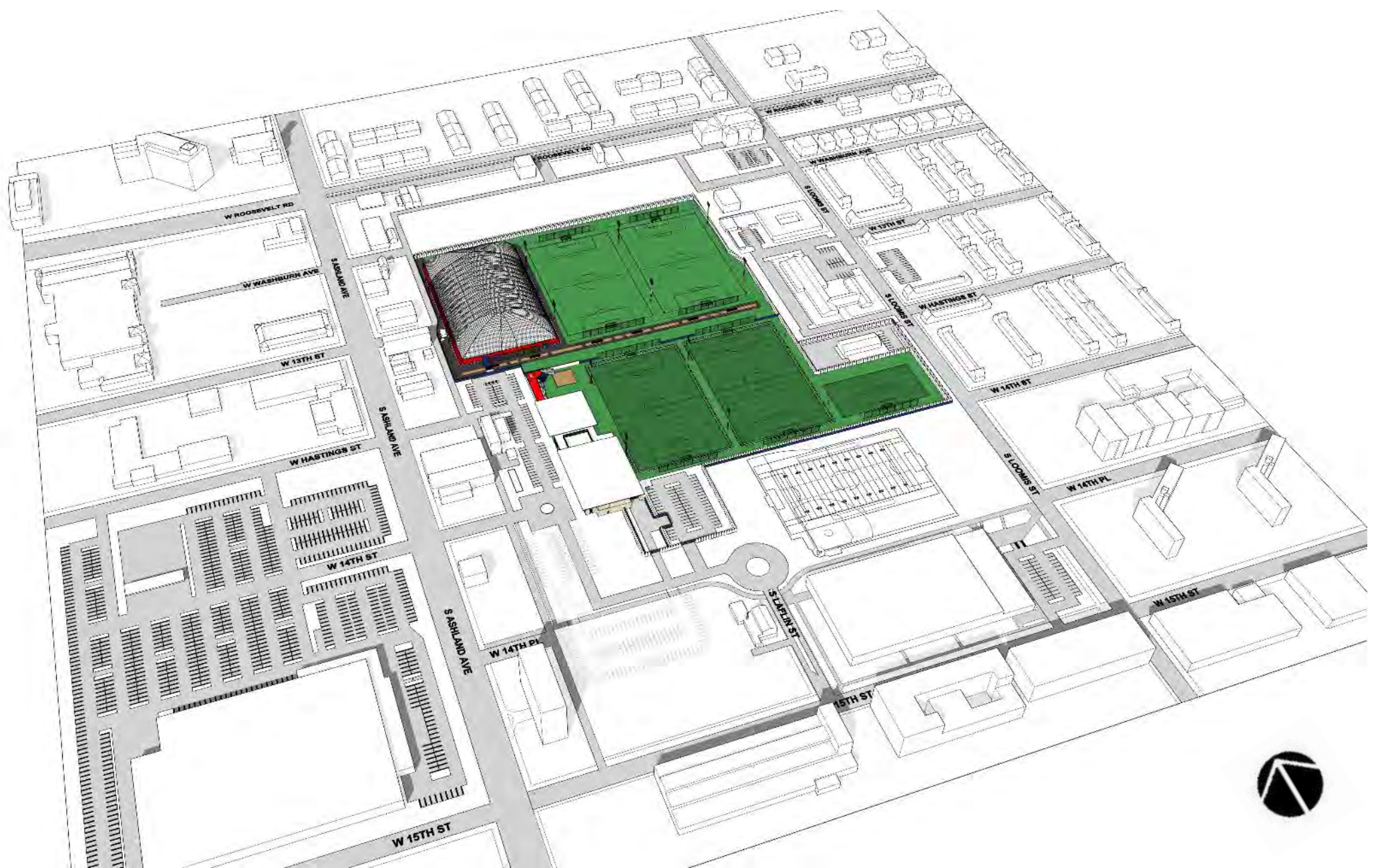
1. CREATE A FACILITY THAT ACCOMMODATES THE CONTINUED GROWTH AND EVOLUTION OF THE CHICAGO FIRE FOOTBALL CLUB AND FACILITY TRENDS WITHIN MAJOR LEAGUE SOCCER (MLS).
2. MAXIMIZE FLEXIBILITY FOR FUTURE ALTERATIONS INCLUDING THE ABILITY TO SHARE SPACES (DUAL USES) WHERE POSSIBLE.
3. CREATE A FACILITY THAT IS ATTRACTIVE TO FREE AGENTS AND EXISTING PLAYERS AND COACHES. SPECIFICALLY, CFFC REQUIRES ATTRACTIVE AND FUNCTIONAL FACILITIES THAT ARE COMPETITIVE WITH PEER FACILITIES AS THEY SEEK TO RECRUIT AND RETAIN PERSONNEL.
4. IMPROVE INTERACTION AMONGST STAFF WHILE CREATING A SENSE OF COMMUNITY.
5. REINFORCE AND ENHANCE THE CFFC BRAND WHILE PROMOTING THE CLUBS' MISSION AS IT RELATES TO PUBLIC/COMMUNITY OUTREACH.
6. CREATE AN ENVIRONMENT THAT PROMOTES EXCELLENCE – BOTH ON AND OFF THE PITCH.
7. CREATE A STRONG ANCHOR FOR FUTURE DEVELOPMENT ON SITE.
8. CREATE A LEGACY PROJECT THAT REFLECTS THE VALUES OF THE CFFC ORGANIZATION.

THE FOLLOWING BUILDINGS AND SITE FEATURES ARE PROPOSED:

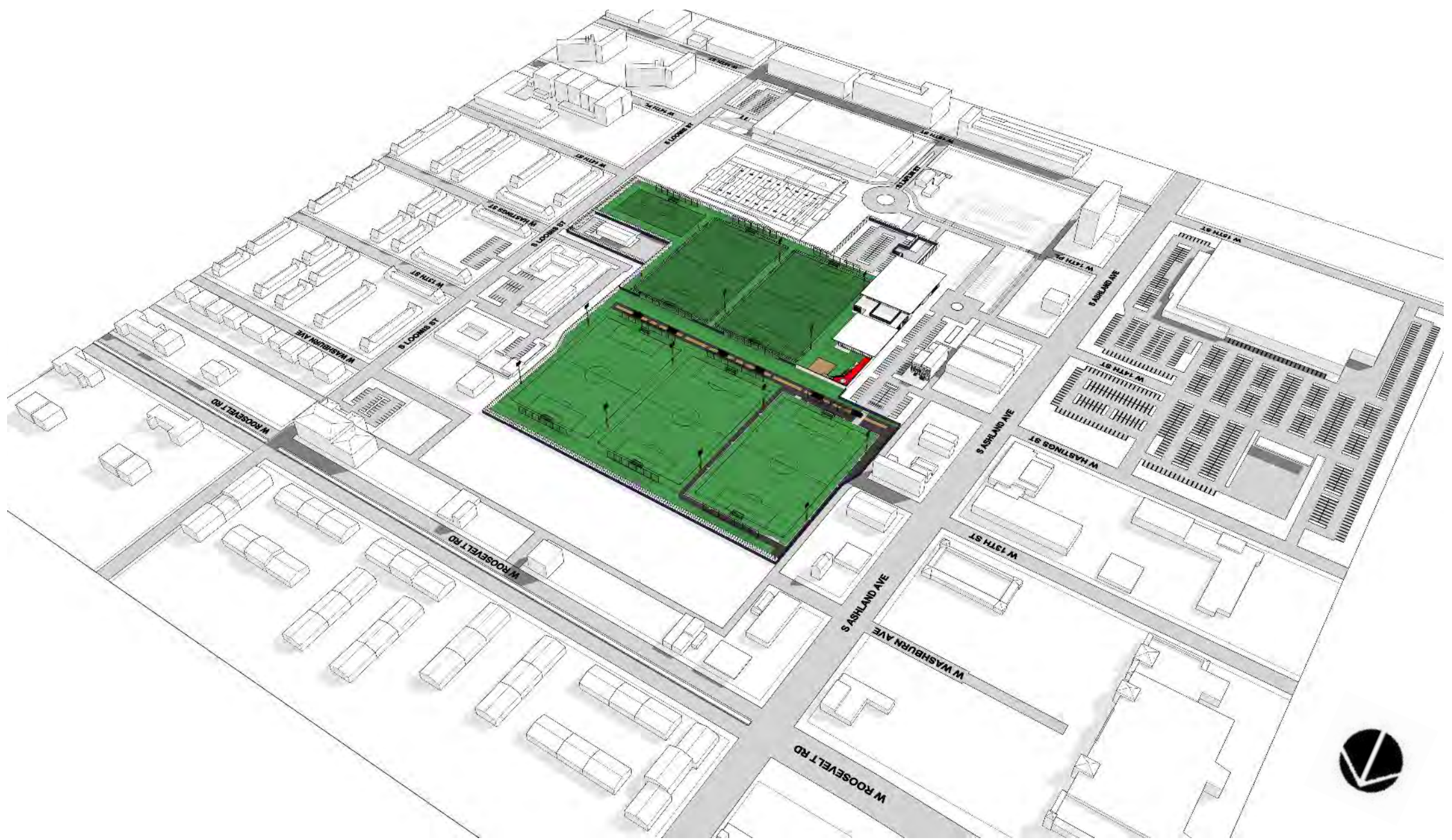
1. OUTDOOR PITCHES, CFFC FIRST TEAM: TWO (2) HYBRID GRASS PITCHES + GOALKEEPER PITCH WITH SITE FENCING, SPORTS LIGHTING, UNDERSOLE HEATING SYSTEM, SAND PIT AND OUTDOOR TRAINING STEPS AND INCLINED RAMPS.
2. OUTDOOR PITCHES, CFFC ACADEMY TEAMS: THREE (3) SYNTHETIC TURF PITCHES WITH SITE FENCING AND SPORTS LIGHTING.
3. CFFC PERFORMANCE CENTRE | HEADQUARTERS OFFICE BUILDING: ±50,000 TO ±80,000 TOTAL GROSS FLOOR AREA WITH EXPANSION CAPABILITIES, 2 TO 3 STORIES (50 FEET MAX.) IN HEIGHT EXCLUDING ROOF TOP MECHANICAL UNITS AND MECHANICAL SCREEN ELEMENTS.
4. ONE (1) AUXILIARY STRUCTURE FOR FIELD CREW, MAINTENANCE, AND STORAGE, 1 STORY (UP TO 22 FEET) HEIGHT.
5. NEW SURFACE PARKING FOR APPROXIMATELY ±147 AUTOMOBILES, WITH PARKING EXPANSION CAPABILITIES UP TO 339 TOTAL PARKING SPOTS.
6. THE DESIGN OF ONE ACADEMY PITCH WILL ACCOMMODATE THE INSTALLATION OF A TEMPORARY SEASONAL STRUCTURE; AN AIR-INFLATED DOME THAT WILL BE 1 STORY (APPROXIMATELY 80 FEET) IN HEIGHT. THIS STRUCTURE WILL BE INFLATED FOR APPROXIMATELY 6 MONTHS, YEARLY.
7. NEW PEDESTRIAN AND PRIVATE VEHICULAR CONNECTIONS FROM THE INTERSECTION OF W. 14TH PLACE AND S. LOOMIS STREET TO THE INTERSECTION OF W. 14TH PLACE AND S. ASHLAND AVENUE.
8. STREETScape AND ROADWAY IMPROVEMENTS ALONG THE WEST SIDE OF S. LOOMIS STREET ADJACENT TO THE PROPERTY.

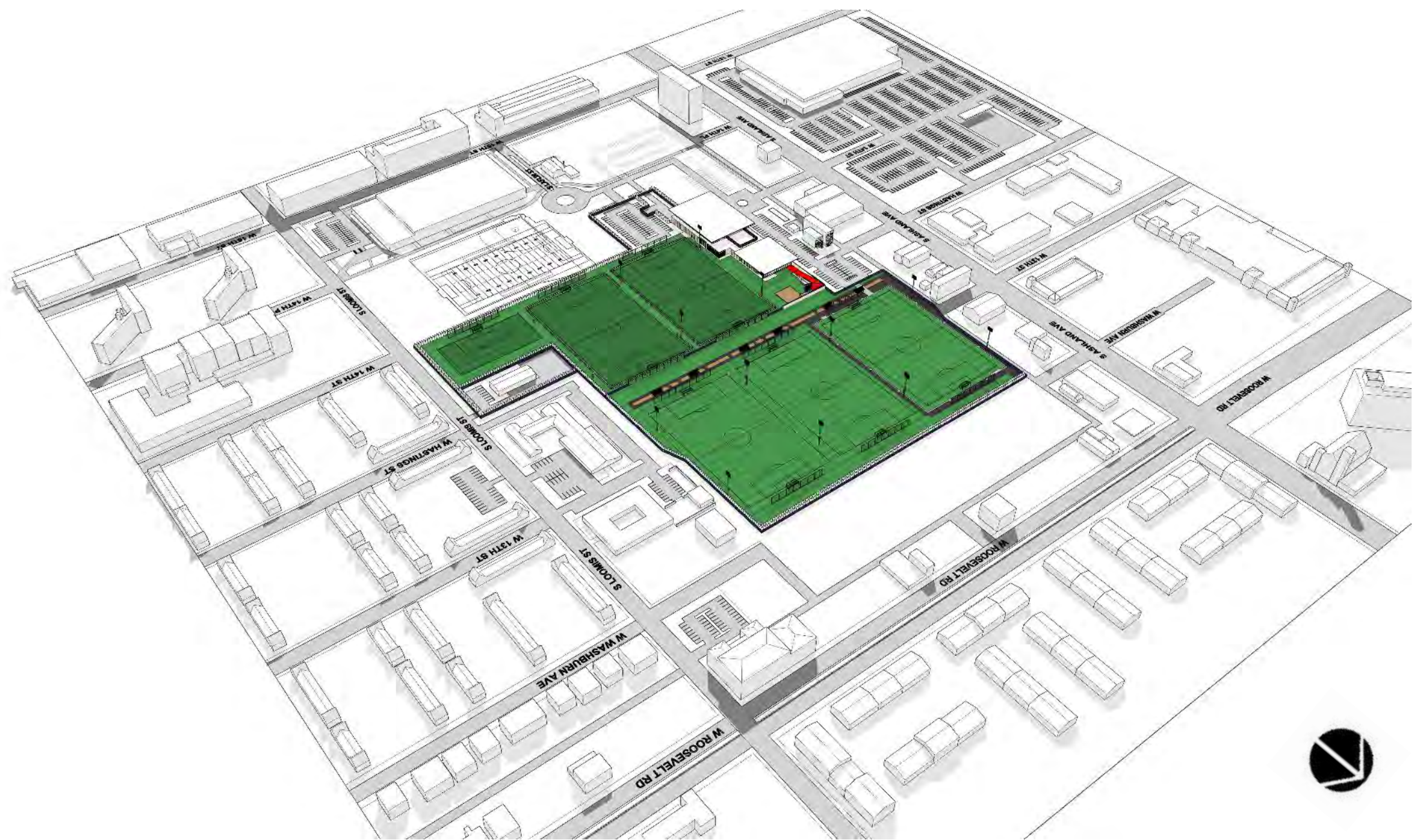


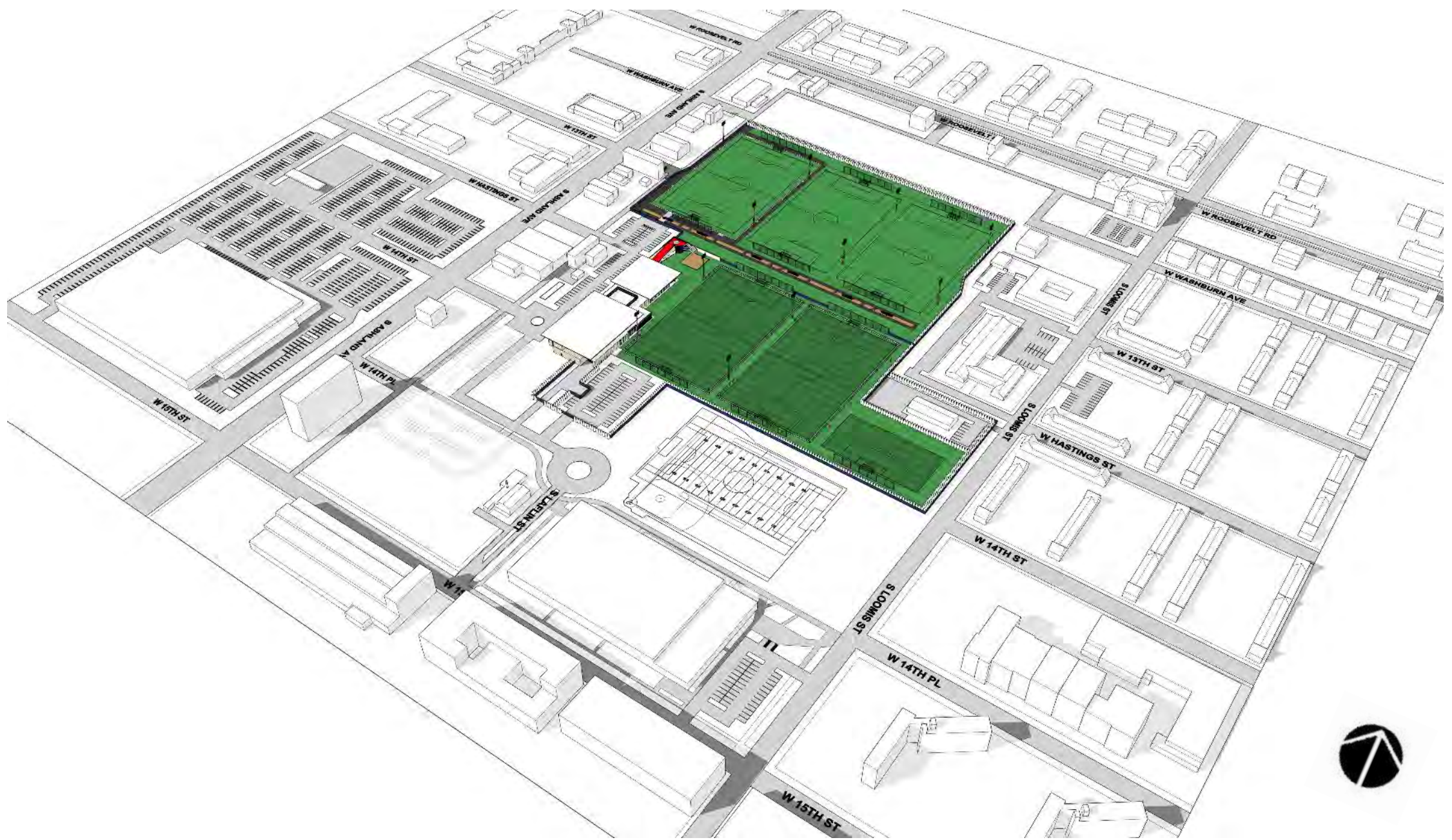


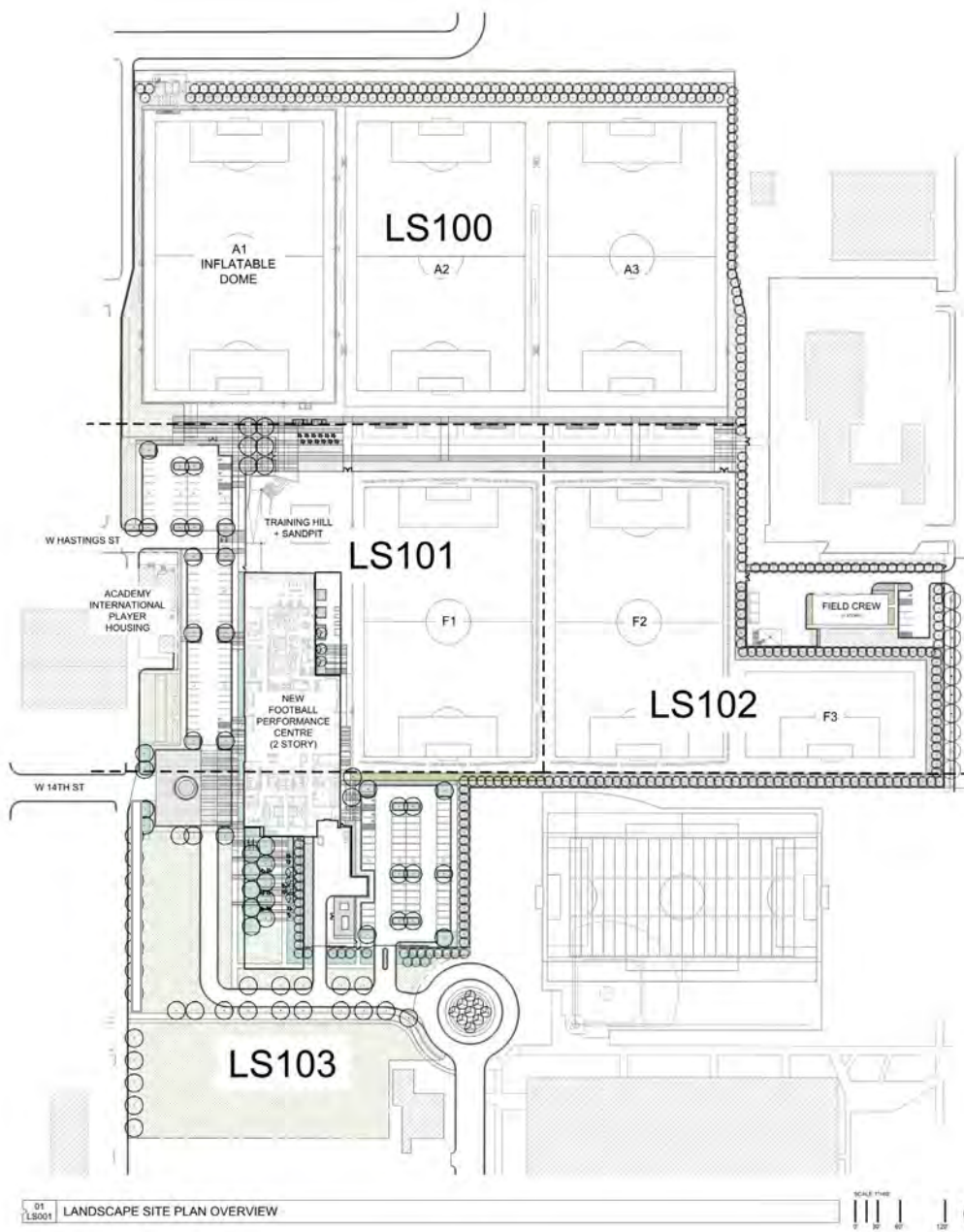


AXONOMETRIC SITE PLAN – SW WITH TEMPORARY DOME









01
LS001 LANDSCAPE SITE PLAN OVERVIEW

LANDSCAPE ORDINANCE ANALYSIS

PARKWAY PLANTING

SOUTH LOOMIS STREET

LENGTH (LINEAR FEET)	297'
NUMBER OF TREES REQUIRED (1 PER 25 LF)	12
NUMBER OF EXISTING TREES TO REMAIN	0
NUMBER OF ADDITIONAL TREES TO BE PROVIDED	10 TREES ARE PROVIDED. ADDITIONAL TREES BEYOND THIS NUMBER CANNOT BE PROVIDED DUE TO CURB CUT ACCESS

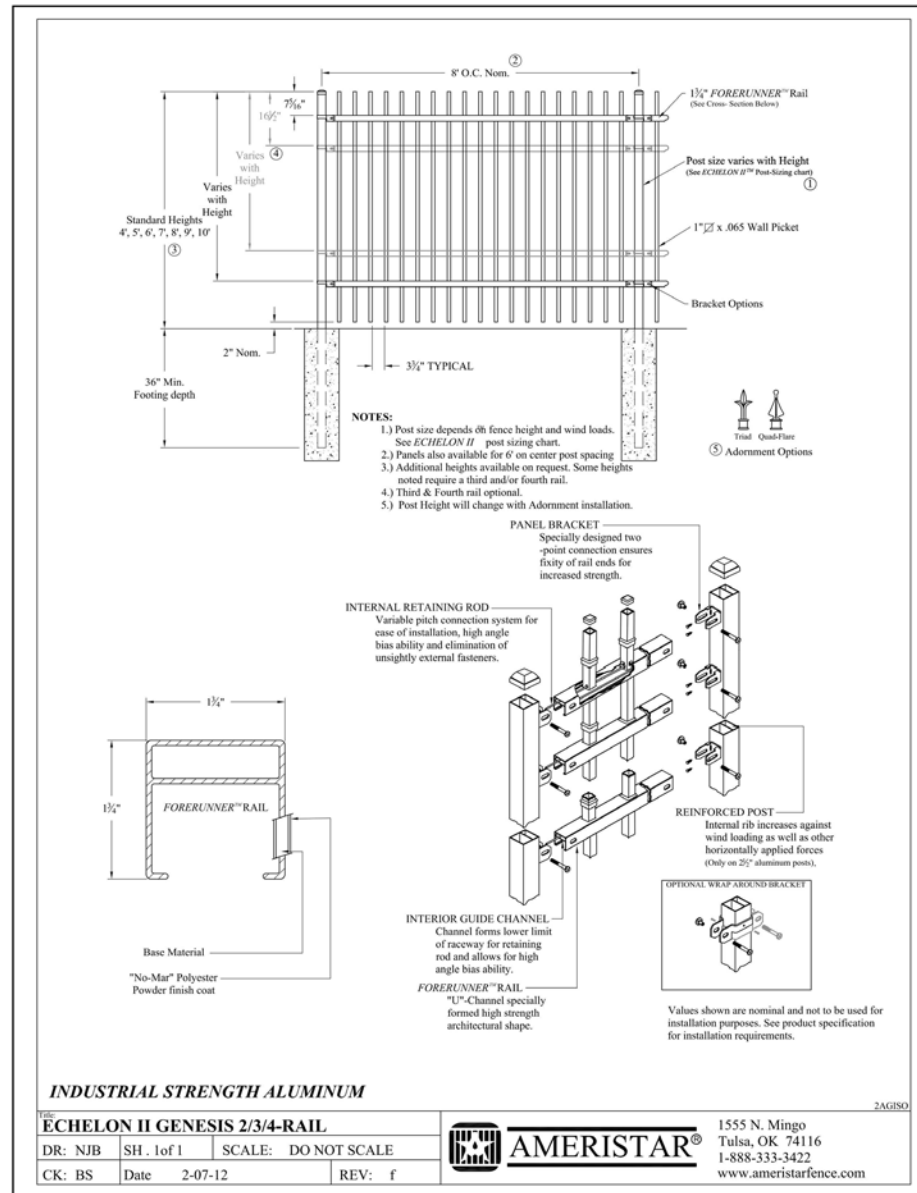
VEHICULAR USE AREA SCREENING

SOUTH LOOMIS STREET

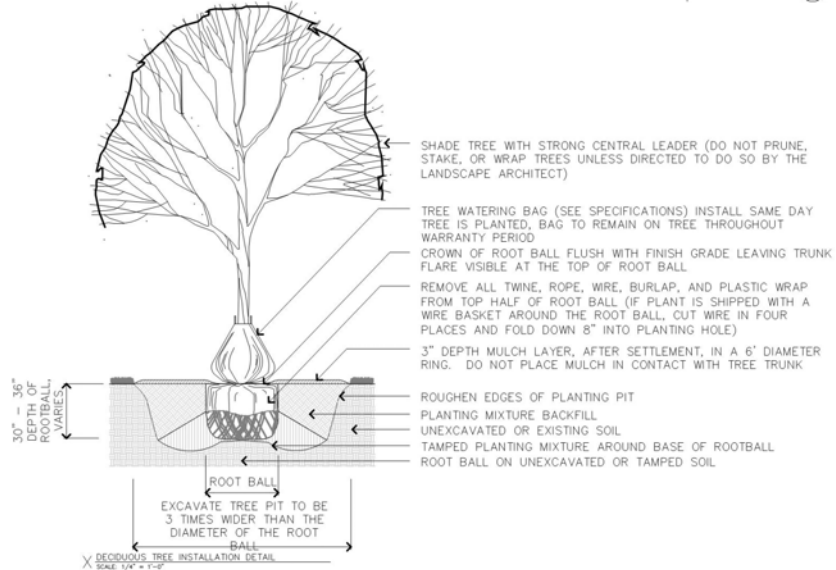
LENGTH (LINEAR FEET)	297'
NUMBER OF TREES REQUIRED (1 PER 25 LF)	12
NUMBER OF EXISTING TREES TO REMAIN	0
NUMBER OF ADDITIONAL TREES TO BE PROVIDED	VEHICULAR USE AREA IS SCREENED FROM PUBLIC R.O.W. BY A MIN 5' HT. FENCE
SCREENING	

VEHICULAR USE AREA INTERNAL PLANTING

TOTAL VEHICULAR USE AREA	97,517 SF
INTERNAL PLANTING AREA REQUIRED (10% OF 97,517)	9,751 SF
INTERNAL PLANTING AREA PROPOSED	±10,750 SF
NUMBER OF TREES REQUIRED (9,751 / 125)	78
NUMBER OF ADDITIONAL TREES TO BE PROVIDED	7 + 352 EVERGREENS (PERIMETER SCREENING)

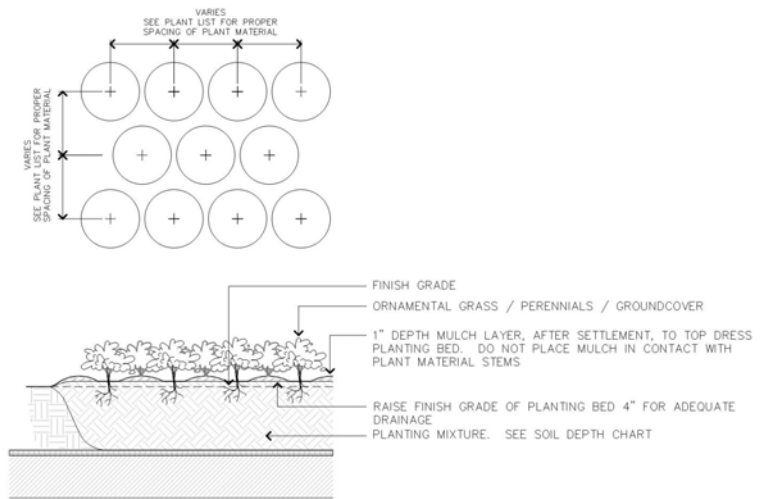


FENCE DETAIL (PERIMETER FENCE 8' TALL, ORNAMENTAL PARKING LOT FENCE 4' TALL)
SCALE: NOT TO SCALE



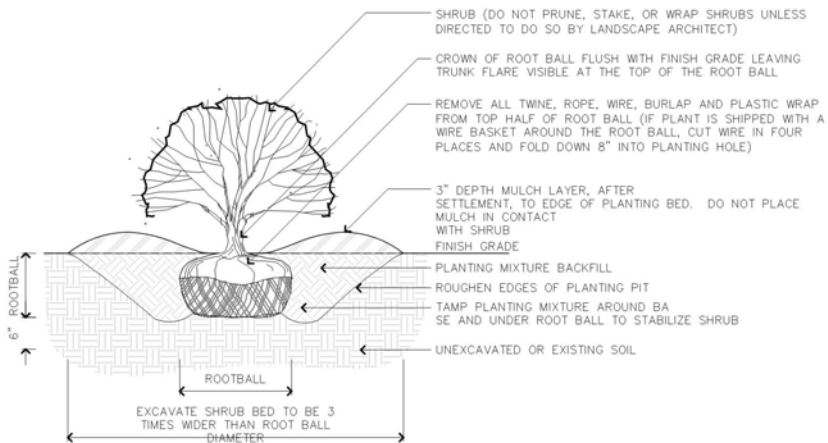
DECIDUOUS TREE INSTALLATION DETAIL

SCALE:
1/2"=1'-0"



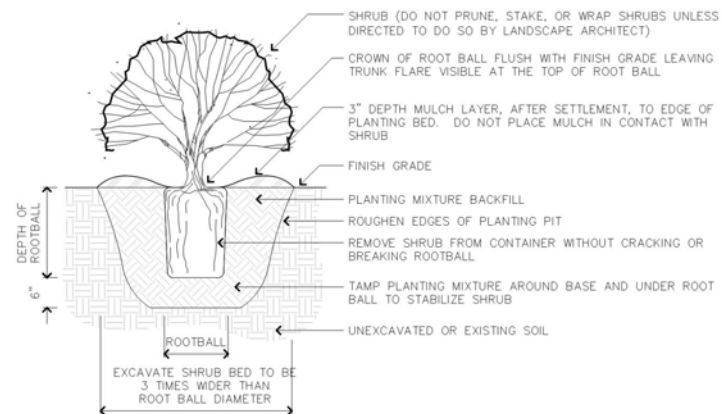
ORNAMENTAL GRASS, PERENNIAL AND GROUNDCOVER INSTALLATION DETAIL

SCALE:
1/2"=1'-0"



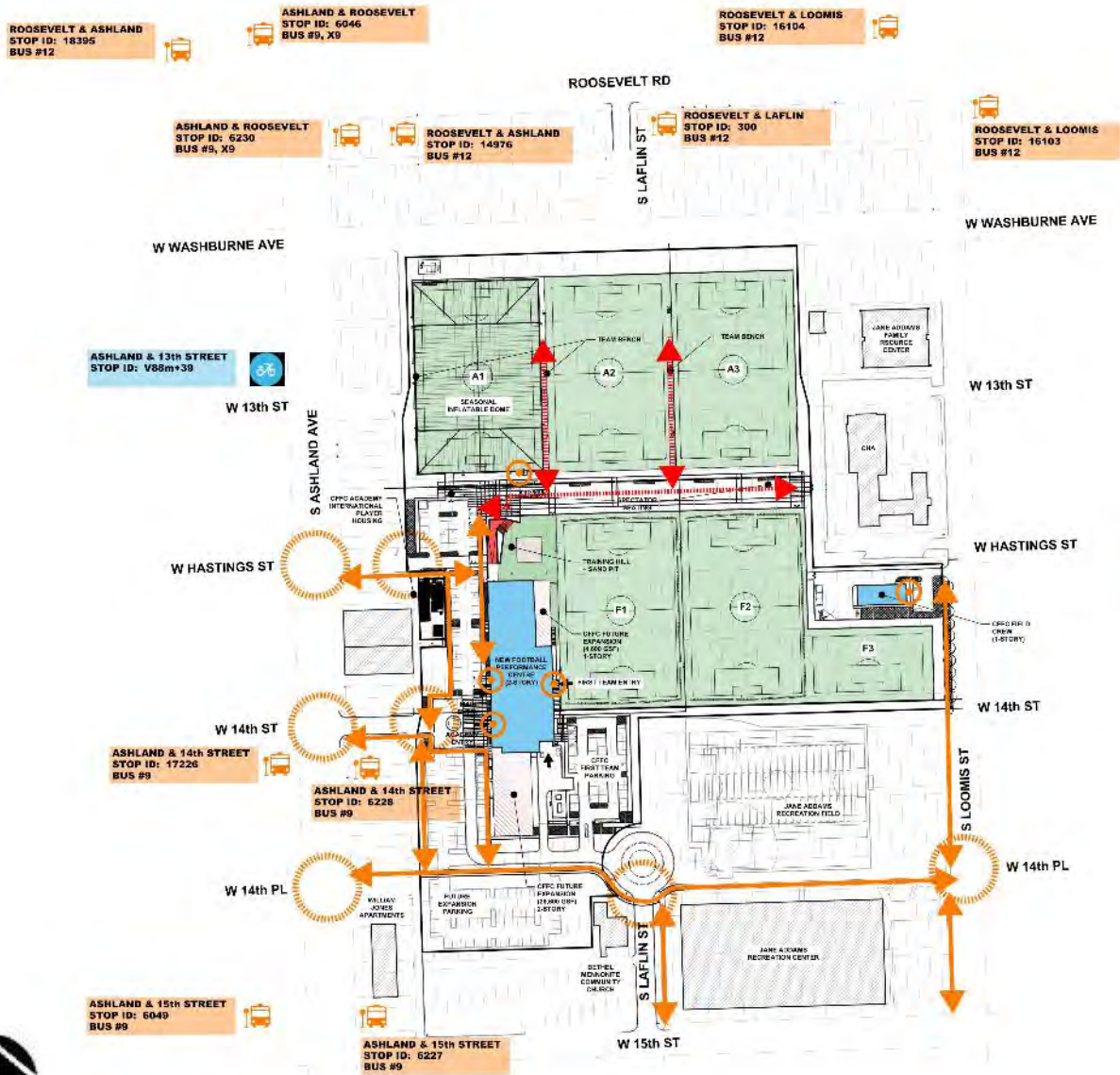
B&B SHRUB INSTALLATION DETAIL

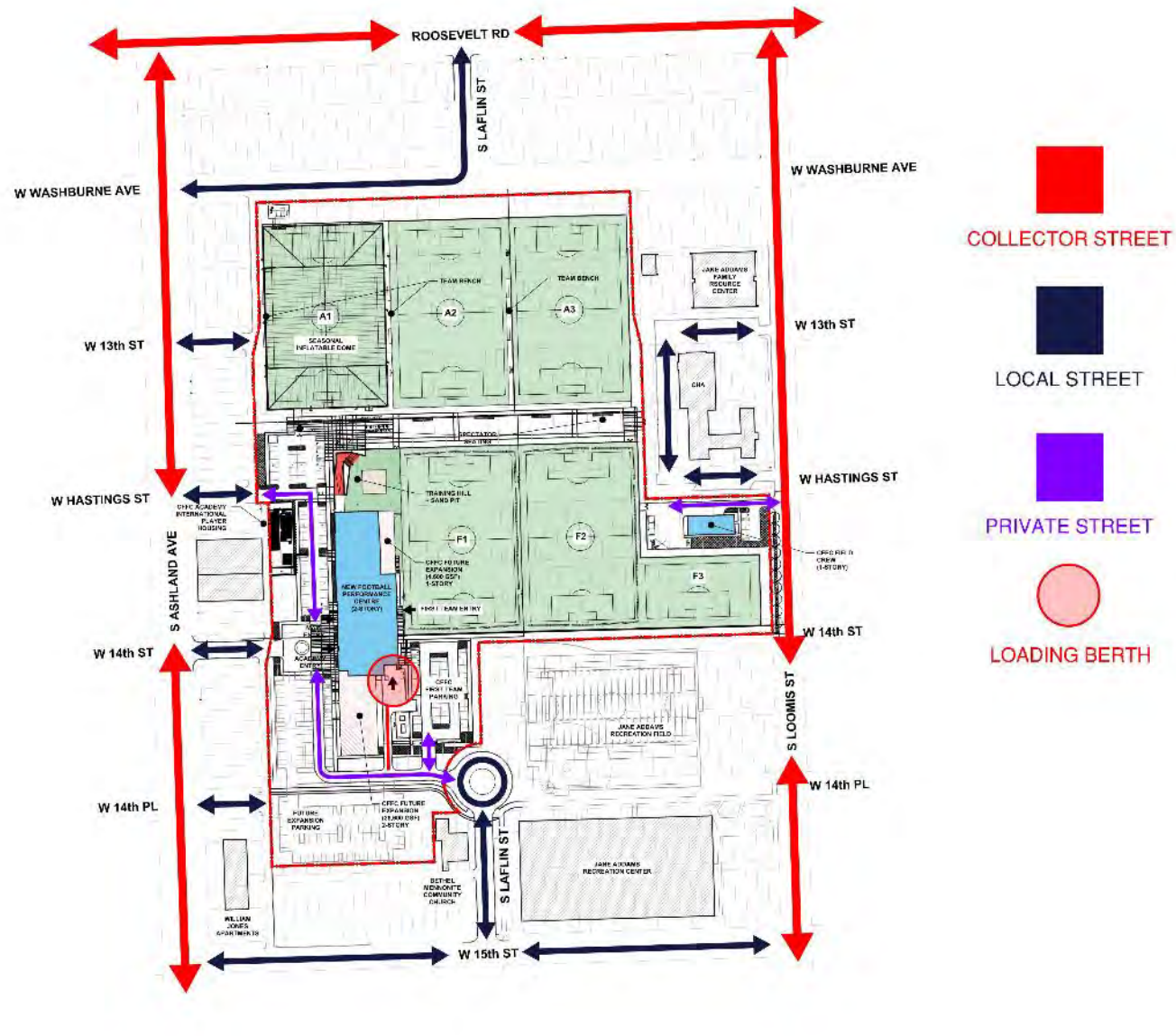
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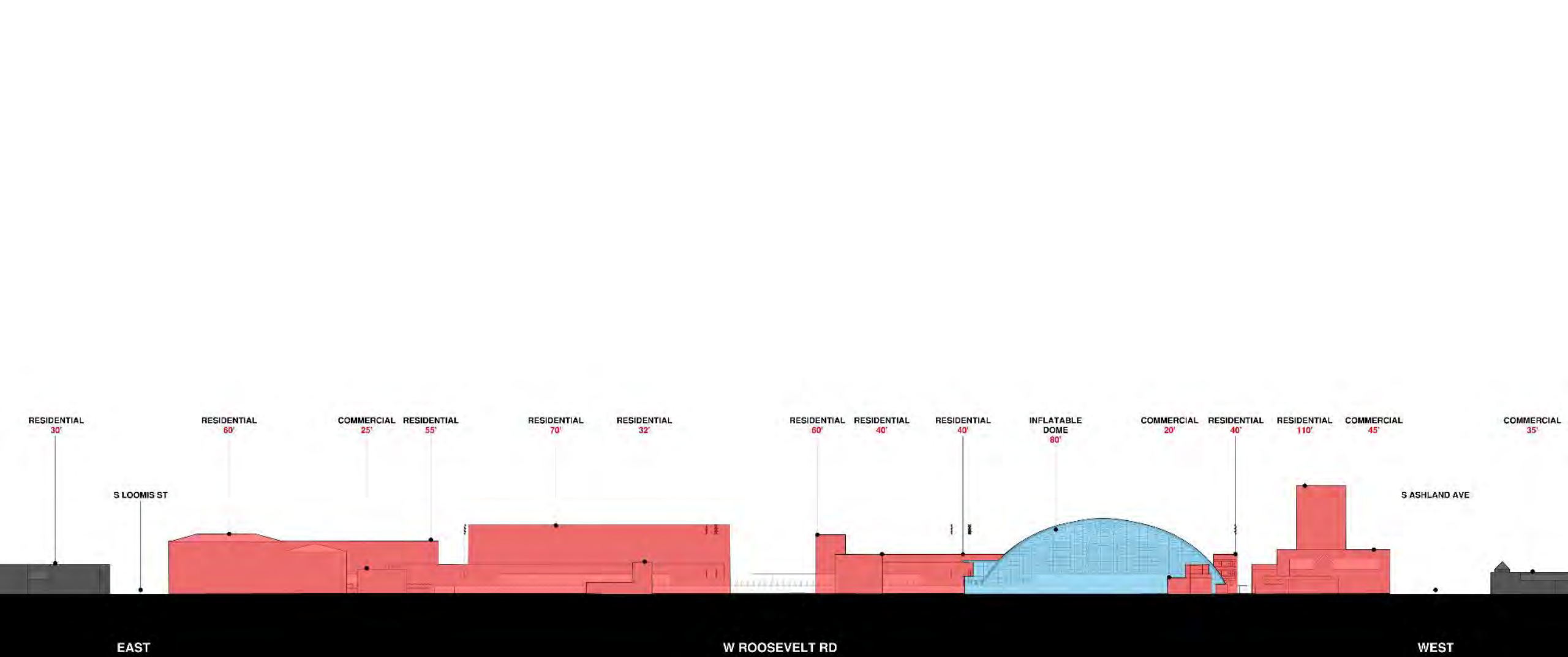
CONTAINER SHRUB INSTALLATION DETAIL

SCALE: NOT TO SCALE



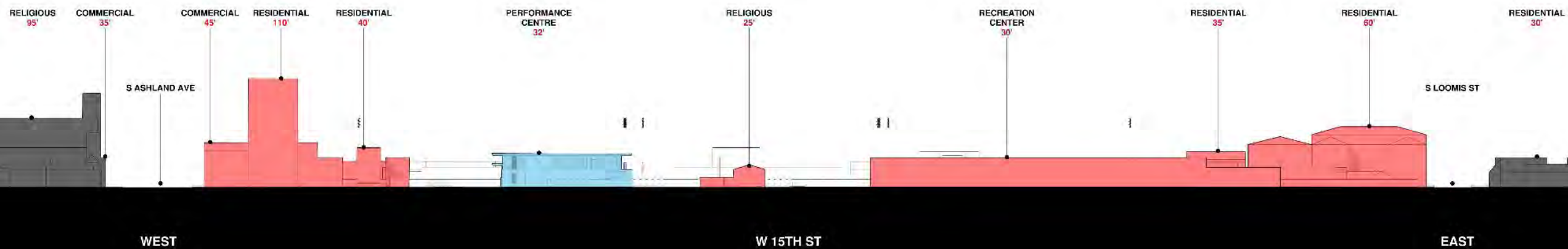


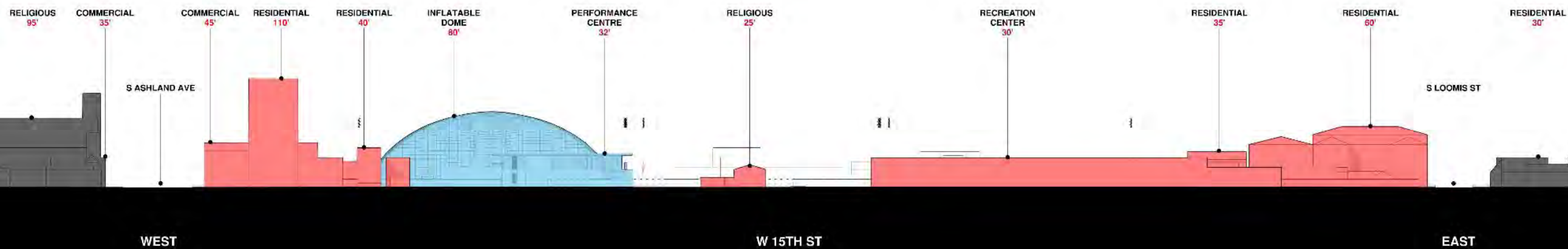


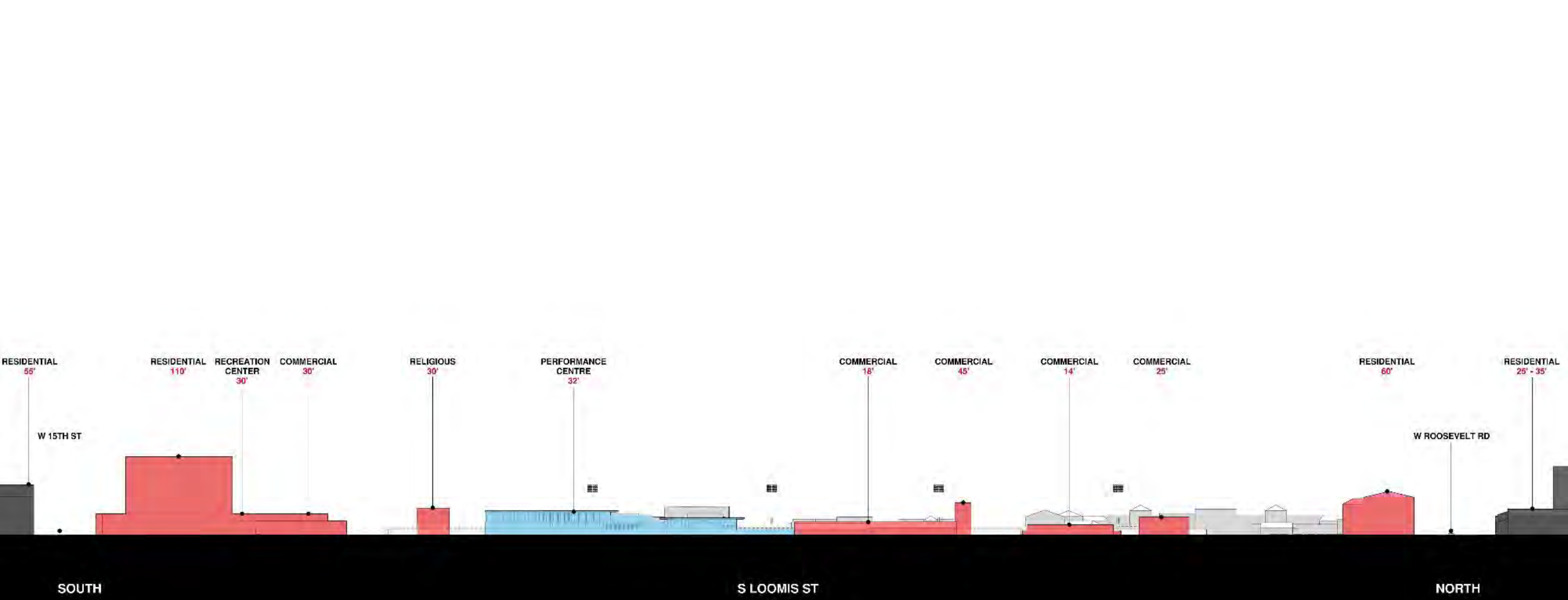


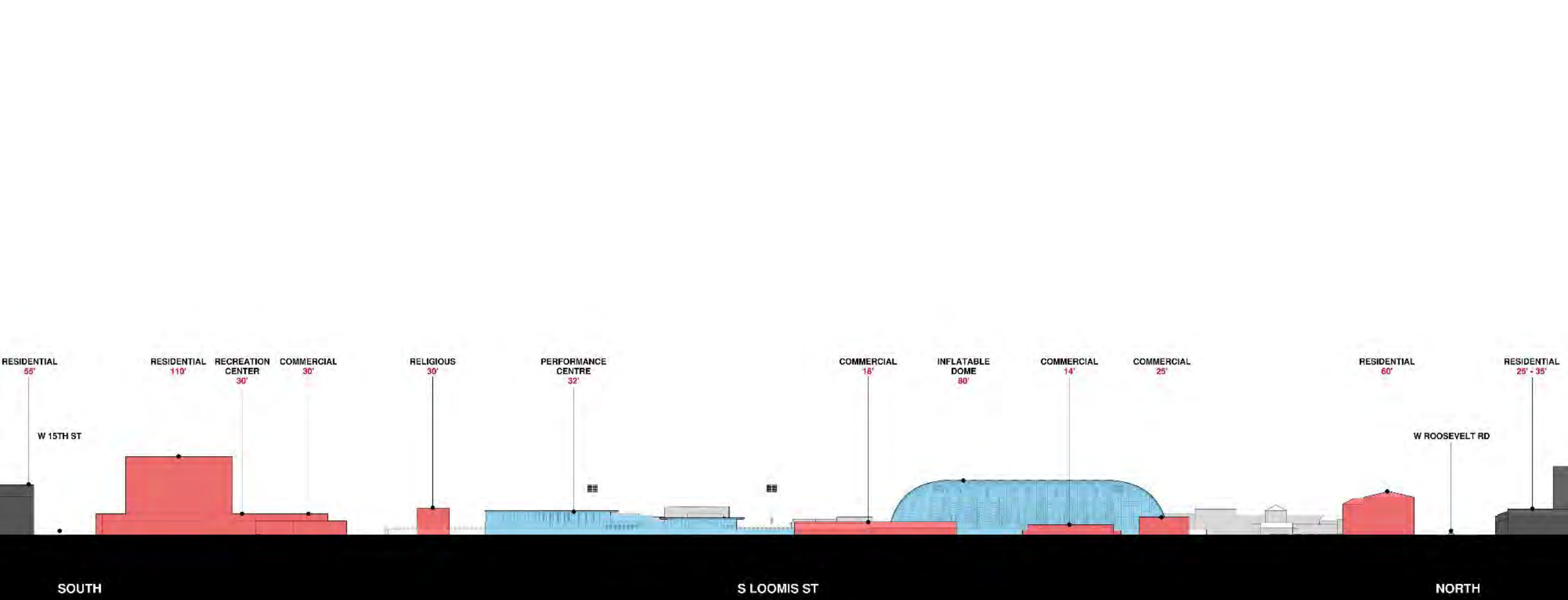












MATERIAL SYSTEM LEGEND

- ① CURTAIN WALL - VISION GLAZING
- ② STOREFRONT - VISION GLAZING
- ③ ARCHITECTURAL METAL PANEL
- ④ PRECAST CONCRETE PANEL
- ⑤ FACE BRICK
- ⑥ PERFORATED METAL SCREEN
- ⑦ GLASS OVERHEAD DOOR
- ⑧ ALUMINUM OVERHEAD DOOR
- ⑨ METAL LOUVERS

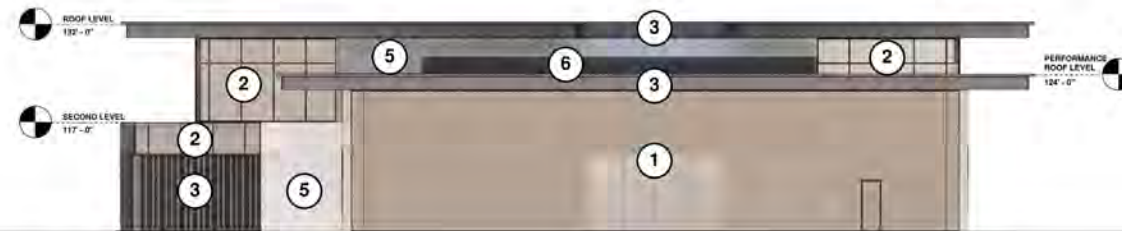


SOUTH ELEVATION



MATERIAL SYSTEM LEGEND

- ① CURTAIN WALL - VISION GLAZING
- ② STOREFRONT - VISION GLAZING
- ③ ARCHITECTURAL METAL PANEL
- ④ PRECAST CONCRETE PANEL
- ⑤ FACE BRICK
- ⑥ PERFORATED METAL SCREEN
- ⑦ GLASS OVERHEAD DOOR
- ⑧ ALUMINUM OVERHEAD DOOR
- ⑨ METAL LOUVERS

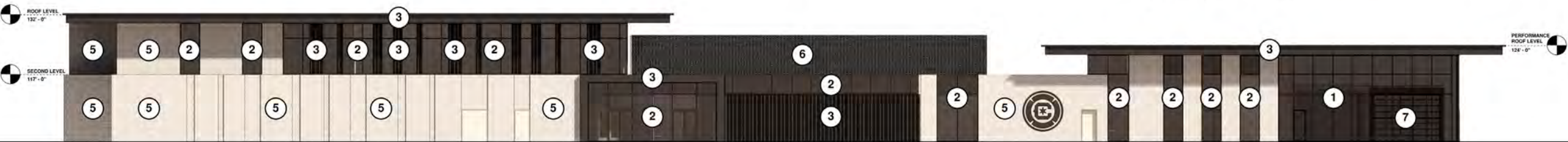


NORTH ELEVATION



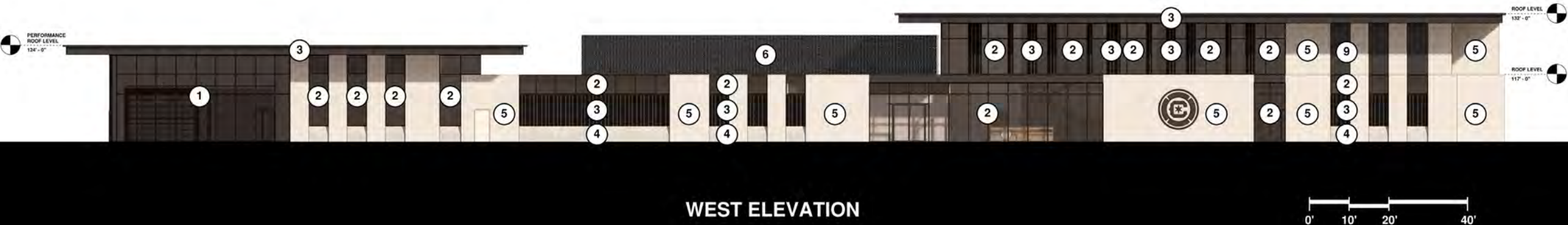
MATERIAL SYSTEM LEGEND

- ① CURTAIN WALL - VISION GLAZING
- ② STOREFRONT - VISION GLAZING
- ③ ARCHITECTURAL METAL PANEL
- ④ PRECAST CONCRETE PANEL
- ⑤ FACE BRICK
- ⑥ PERFORATED METAL SCREEN
- ⑦ GLASS OVERHEAD DOOR
- ⑧ ALUMINUM OVERHEAD DOOR
- ⑨ METAL LOUVERS



EAST ELEVATION





MATERIAL SYSTEM LEGEND

- ① STOREFRONT - VISION GLAZING
- ② ARCHITECTURAL METAL PANEL
- ③ CONCRETE MASONRY UNIT
- ④ ALUMINUM OVERHEAD DOOR



WEST ELEVATION

MATERIAL SYSTEM LEGEND

- ① STOREFRONT - VISION GLAZING
- ② ARCHITECTURAL METAL PANEL
- ③ CONCRETE MASONRY UNIT
- ④ ALUMINUM OVERHEAD DOOR



NORTH ELEVATION

MATERIAL SYSTEM LEGEND

- ① STOREFRONT - VISION GLAZING
- ② ARCHITECTURAL METAL PANEL
- ③ CONCRETE MASONRY UNIT
- ④ ALUMINUM OVERHEAD DOOR



SOUTH ELEVATION

MATERIAL SYSTEM LEGEND

- ① STOREFRONT - VISION GLAZING
- ② ARCHITECTURAL METAL PANEL
- ③ CONCRETE MASONRY UNIT
- ④ ALUMINUM OVERHEAD DOOR



EAST ELEVATION

CURTAIN WALL GLAZING



SSG



TRADITIONAL



UNITIZED

- Curtain wall systems are used when spanning multiple floors. Often attached to and extending past the face of floor slabs of the building
- Each lite of glass is weeped separately.
- Unitized curtain wall systems are comprised of large units that are assembled and glazed in factory then shipped to site for assembly.
- Stick systems are installed and connected piece by piece with all components being fabricated then shipped to site for assembly.

STOREFRONT GLAZING



SSG



TRADITIONAL



UNITIZED



SSG



TRADITIONAL



UNITIZED

- Storefront systems are intended to be single span structures, with anchors at the head and sill only.
- The entire elevation is weeped at the sill. Any water entering the system is directed down the vertical mullion to the sill, where it is then weeped to the exterior of the building.
- Storefront systems should be located below the 4th floor of a building in areas that are protected from the weather. The more protected, the better it will perform.
- Frames are "stick built" from extrusion and may be fabricated in the shop. Pre-fabricated frames can be brought to the site and assembled into the openings.
- Typical glazing systems for storefronts include conventional and two-sided, structural-sealant-glazed.











LEED v4.1 BD+C
Project Checklist

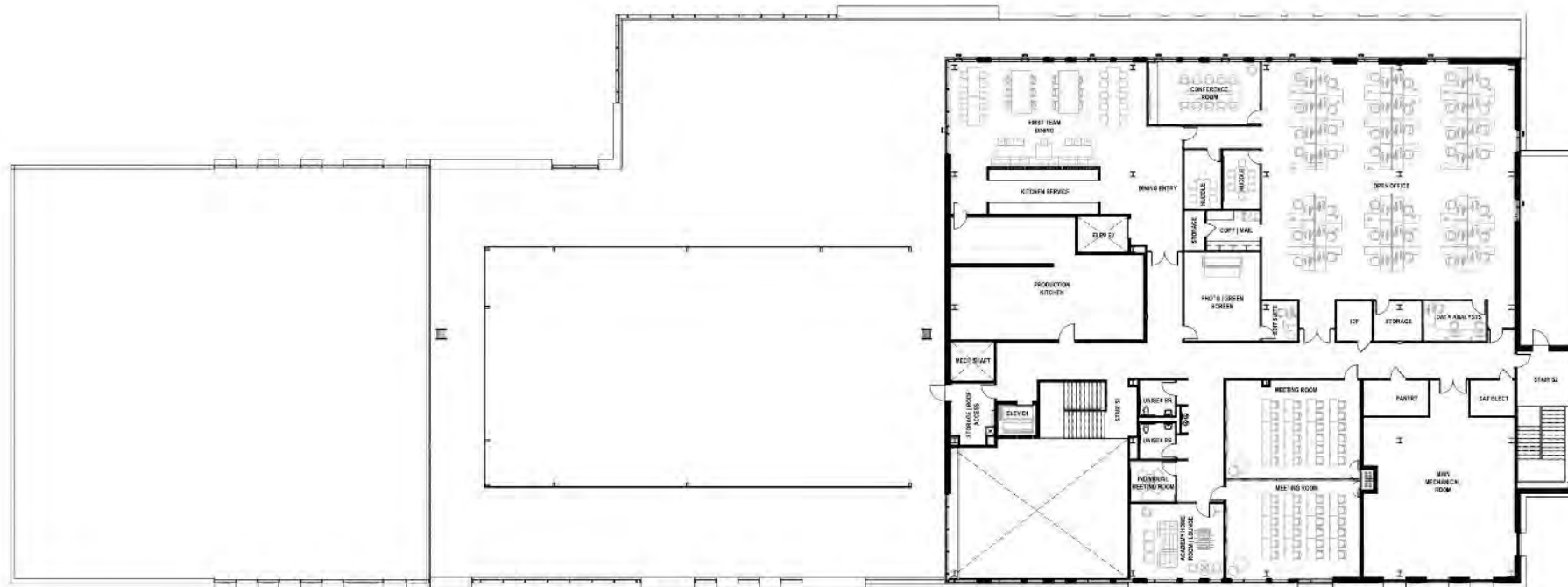
Project Name: Chicago Fire FC Performance Centre
Date: Updated September 6, 2022

Y ? N
1 0 0

Y	?	N	Credit	Description	Points
1	0	0	Credit	Integrative Process	1
10	2	20		Location and Transportation	32
1	0	16	Credit	LEED for Neighborhood Development Location	16
1	0	1	Credit	Sensitive Land Protection	1
0	2	0	Credit	High Priority Site	2
2	0	3	Credit	Surrounding Density and Diverse Uses	5
5	0	0	Credit	Access to Quality Transit	5
1	0	0	Credit	Bicycle Facilities	1
0	1	0	Credit	Reduced Parking Footprint	1
1	0	0	Credit	Electric Vehicles	1
4	1	5		Sustainable Sites	10
Y	0	0	Prereq	Construction Activity Pollution Prevention	Required
1	0	0	Credit	Site Assessment	1
0	2	0	Credit	Protect or Restore Habitat	2
1	0	0	Credit	Open Space	1
0	3	0	Credit	Rainwater Management	3
2	0	0	Credit	Heat Island Reduction	2
1	0	0	Credit	Light Pollution Reduction	1
5	0	6		Water Efficiency	11
Y	0	0	Prereq	Outdoor Water Use Reduction	Required
Y	0	0	Prereq	Indoor Water Use Reduction	Required
Y	0	0	Prereq	Building-Level Water Metering	Required
0	2	0	Credit	Outdoor Water Use Reduction	2
4	0	2	Credit	Indoor Water Use Reduction	6
0	2	0	Credit	Cooling Tower Water Use	2
1	0	0	Credit	Water Metering	1
10	8	15		Energy and Atmosphere	33
Y	0	0	Prereq	Fundamental Commissioning and Verification	Required
Y	0	0	Prereq	Minimum Energy Performance	Required
Y	0	0	Prereq	Building-Level Energy Metering	Required
Y	0	0	Prereq	Fundamental Refrigerant Management	Required
6	0	0	Credit	Enhanced Commissioning	6
9	2	7	Credit	Optimize Energy Performance	18
0	1	0	Credit	Advanced Energy Metering	1
0	2	0	Credit	Grid Harmonization	2
0	5	0	Credit	Renewable Energy	5
1	0	0	Credit	Enhanced Refrigerant Management	1

Y	?	N	Credit	Description	Points
Y	0	0	Prereq	Storage and Collection of Recyclables	Required
Y	0	0	Prereq	Construction and Demolition Waste Management Planning	Required
3	2	0	Credit	Building Life-Cycle Impact Reduction	5
1	1	0	Credit	Building Product Disclosure and Optimization - Environmental Product Declarations	2
1	1	0	Credit	Building Product Disclosure and Optimization - Sourcing of Raw Materials	2
2	0	0	Credit	Building Product Disclosure and Optimization - Material Ingredients	2
2	0	0	Credit	Construction and Demolition Waste Management	2
9	1	6		Indoor Environmental Quality	16
Y	0	0	Prereq	Minimum Indoor Air Quality Performance	Required
Y	0	0	Prereq	Environmental Tobacco Smoke Control	Required
2	0	0	Credit	Enhanced Indoor Air Quality Strategies	2
3	0	0	Credit	Low-Emitting Materials	3
1	0	0	Credit	Construction Indoor Air Quality Management Plan	1
0	2	0	Credit	Indoor Air Quality Assessment	2
1	0	0	Credit	Thermal Comfort	1
1	1	0	Credit	Interior Lighting	2
0	3	0	Credit	Daylight	3
0	1	0	Credit	Quality Views	1
1	0	0	Credit	Acoustic Performance	1
6	0	0		Innovation	6
5	0	0	Credit	Innovation-Green Ed; 100% LED; Design for Active occ; ACP Energy Calc; LCA Ex. Perf.	5
1	0	0	Credit	LEED Accredited Professional	1
2	0	2		Regional Priority	4
1	0	0	Credit	Regional Priority: Surrounding Density and Diverse Uses	1
1	0	0	Credit	Regional Priority: Indoor Water Use Reduction @ 40%	1
0	1	0	Credit	Regional Priority: Specific Credit	1
0	1	0	Credit	Regional Priority: Specific Credit	1
56	14	56		TOTALS	Possible Points: 126

Certified: 40 to 49 points, Silver: 50 to 59 points, Gold: 60 to 79 points, Platinum: 80 to 110



Public Benefits

- 200 estimated temporary construction jobs
- Local youth soccer programming
- Community internship programs
- Community mentorship programs
- Community focused events

Minority- and Women-Owned Business Enterprise Goals

- Minimum 26% Participation from Qualified Minority Business Enterprises
- Minimum 6% Participation from Qualified Women Business Enterprises
- Blended goal of 40% Participation from Qualified Minority & Women Owned Business Enterprises

Stormwater Compliance Summary:

Detention Storage Calculations

(Based on Bulletin 70 Rainfall Data)

STORM EVENT (5,10,25,50 or 100) =

100

Allowable release rate 9.336 cfs

Storm Duration (minutes)	Runoff Coefficient C	Rainfall Intensity (in/hr)	Drainage Area A (acres)	Inflow Rate Q=CIA (cfs)	Total Storm Vol (cu ft)	Release Rate Qo (cfs)	Storage Rate Qi-Qo (cfs)	Storage Volume Rate (Qi-Qo)*t*60 (cu ft)
5	0.66	10.920	24.17	173.96	52,189	9.336	164.63	49,388
10	0.66	10.020	24.17	159.62	95,775	9.336	150.29	90,173
15	0.66	8.200	24.17	130.63	117,568	9.336	121.29	109,165
30	0.66	5.600	24.17	89.21	160,580	9.336	79.87	143,775
60	0.66	3.560	24.17	56.71	204,166	9.336	47.38	170,556
120	0.66	2.235	24.17	35.60	256,355	9.336	26.27	189,133
180	0.66	1.617	24.17	25.75	278,148	9.336	16.42	177,316
360	0.66	0.947	24.17	15.08	325,748	9.336	5.74	124,085
720	0.66	0.549	24.17	8.75	377,937	9.336	-0.59	-25,390
1080	0.66	0.387	24.17	6.17	399,730	9.336	-3.17	-205,261
1440	0.66	0.316	24.17	5.03	434,713	9.336	-4.30	-371,941
2880	0.66	0.170	24.17	2.71	467,976	9.336	-6.63	-1,145,333
4320	0.66	0.122	24.17	1.94	503,533	9.336	-7.39	-1,916,430
7200	0.66	0.083	24.17	1.32	571,206	9.336	-8.01	-3,462,066
14400	0.66	0.046	24.17	0.74	638,879	9.336	-8.60	-7,427,665
							Required Detention Volume (cu ft)	189,133
							Required Detention Volume (Ac-ft)	4.342

Note: 1) the calculation assumes that the rising and recessing limb of inflow and outflow hydrograph are vertical

PER DISCUSSIONS WITH THE STORMWATER DIVISION OF THE DEPARTMENT OF BUILDINGS, RATE CONTROL AND VOLUME CONTROL WILL BE HANDLED BY UNDERGROUND DETENTION VAULTS IN CONJUNCTION WITH THE STONE SECTION BENEATH PITCHES A1-A3 AND F1-F3. THE SITE WILL MIMIC EXISTING DRAINAGE CONDITIONS, BY DIRECTING STORMWATER RUNOFF TO THE WEST AND TO THE EAST, SPLIT BY THE MWRD INTERCEPTOR BISECTING THE SITE. IN SUMMARY:

TOTAL DISTURBED AREA = +/-24.20 AC

ESTIMATED RATE CONTROL REQUIRED PER STORMWATER TOOL = +/-4.30 AC-FT

ESTIMATED RATE CONTROL PROVIDED IN DETENTION VAULTS = +/-3.20 AC-FT

ESTIMATED RATE CONTROL PROVIDED IN PITCH STONE SECTIONS = +/-1.30 AC-FT

ESTIMATED VOLUME CONTROL REQUIRED PER STORMWATER TOOL = +/-0.50 AC-FT

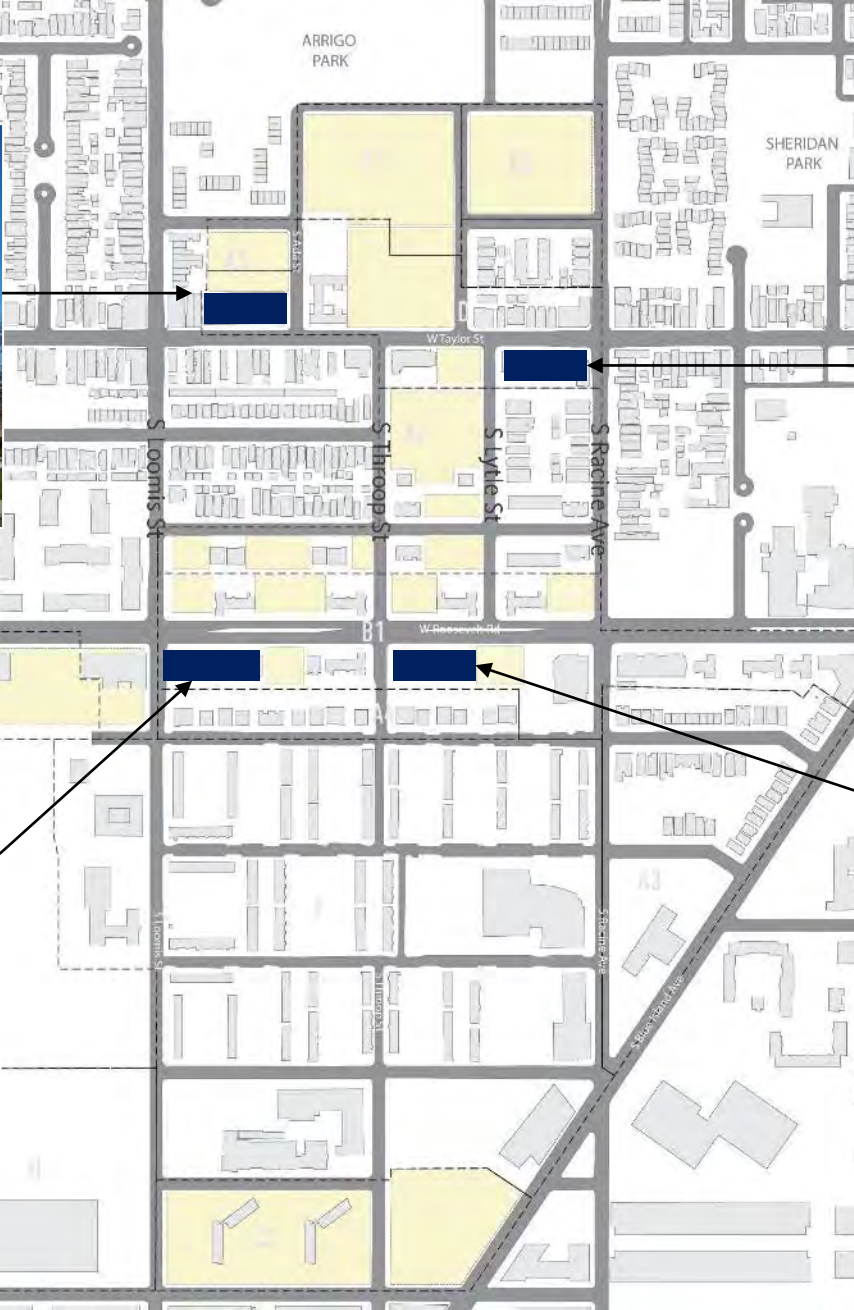
VOLUME CONTROL TO BE PROVIDED AS PART OF PITCH STONE SECTIONS (+/-1.30 AC-FT)

Achieving Volume Control Measures

Achieve I. or II. below in accordance with the Ordinance.

Capture 0.5" of runoff from impervious surfaces. Storage required =	23,458	cubic feet	Go to spreadsheet 2.1 BMP Volume Summary if electing volume control storage option
Reduce proposed imperviousness to:	-	percent	

Roosevelt Square Master Plan Update






ROOSEVELT SQUARE MASTER PLAN – RECENTLY APPROVED PROJECTS

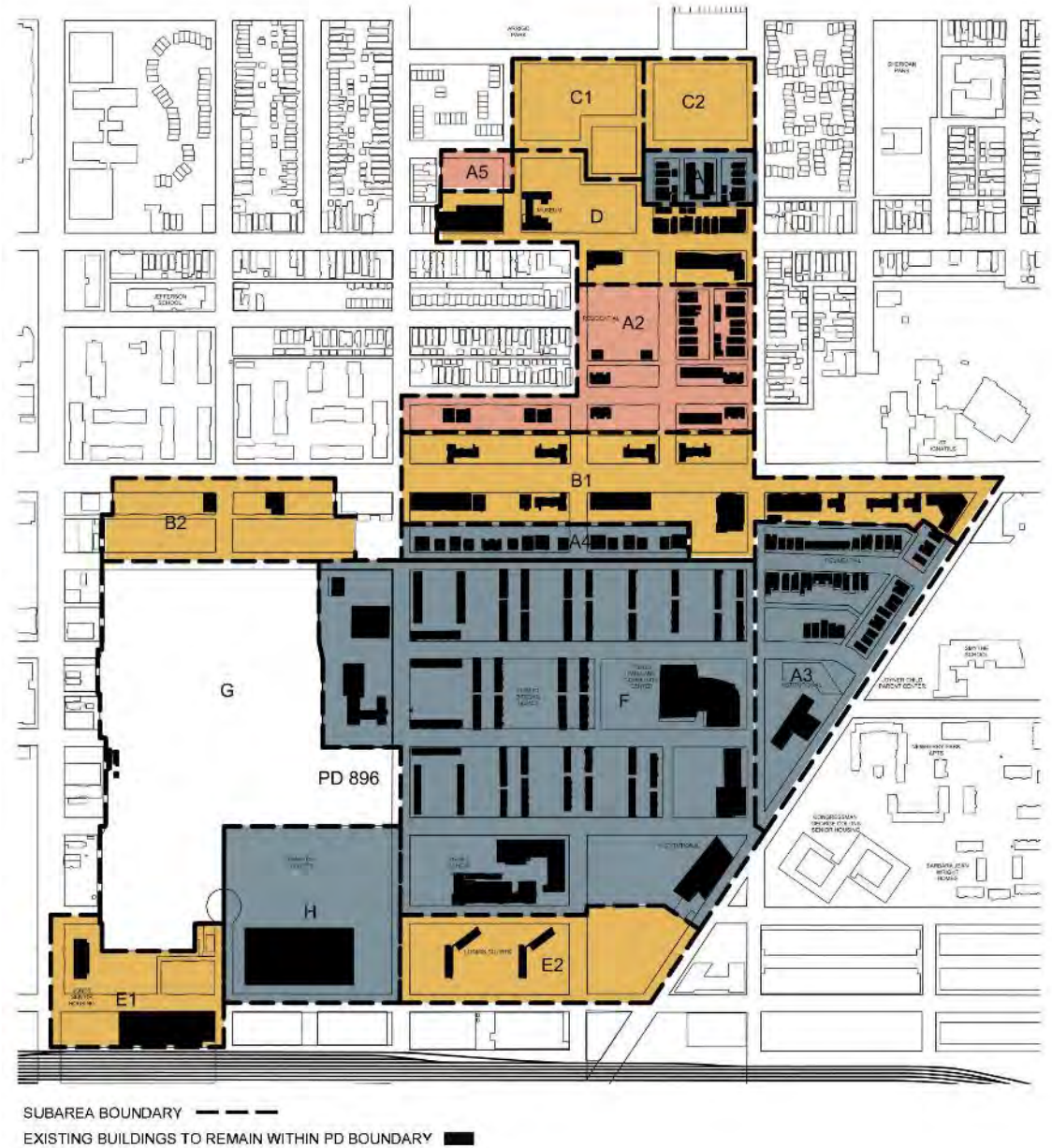
2021 Approved Unit Count: 3,086

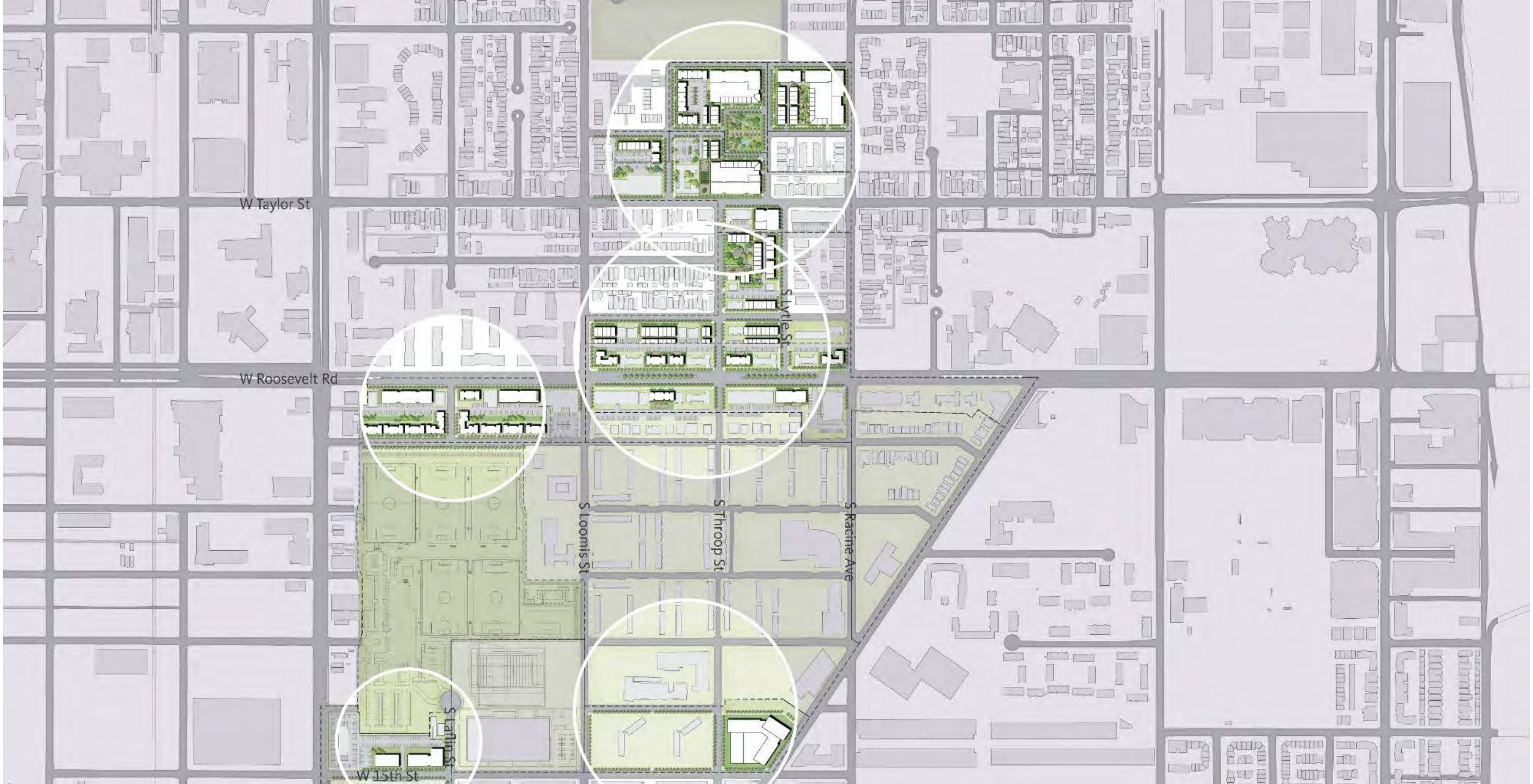
2021 Approved FAR: 1.23

2022 Proposed Unit Count: 3,070

2022 Proposed FAR: 1.1

-  Completed Sub-Areas
-  Sub-Areas with No Change (Future Infill)
-  New Sub-Areas with Increased Density





W Taylor St

W Roosevelt Rd

S Hyde St

S Loomis St

S Throop St

S Racine Ave

S Taylor St

W 15th St

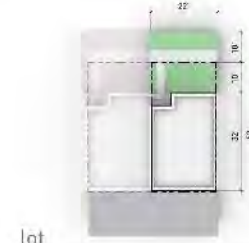
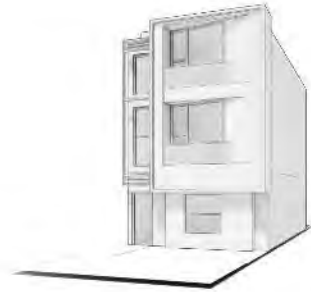
ROOSEVELT SQUARE MASTER PLAN

TOWN TYPE 1: TUCK UNDER

Bedrooms	3-4 br
Square Footage	1200sf - 1600sf
Building Depth	32'
Building Width	20' - 22'

Lot

Lot Depth	52'
Lot Width	20' - 22'
Parking	2 spaces/unit



lot



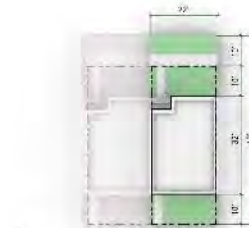
typical floor plans

TOWN TYPE 2: SURFACE PARK

Bedrooms	3-4 br
Square Footage	1200sf - 2000 sf
Building Depth	32'
Building Width	20' - 22'

Lot

Lot Depth	62'
Lot Width	20' - 22'
Parking	1-2 spaces/unit



lot



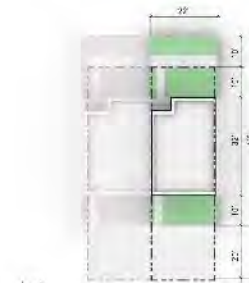
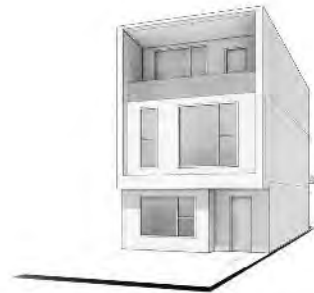
typical floor plans

TOWN TYPE 3: GARAGE

Bedrooms	2-4 br
Square Footage	1200sf - 2000sf
Building Depth	32'
Building Width	20' - 22'

Lot

Lot Depth	82'
Lot Width	20' - 22'
Parking	2 spaces/unit



lot



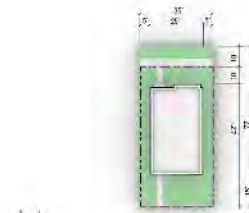
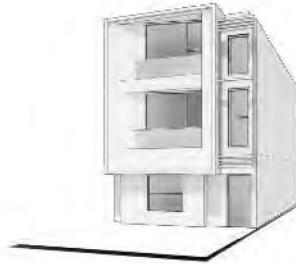
typical floor plans

THREE FLAT

Bedrooms	three 2br units
Square Footage	700-750 sf each
Building Depth	42'
Building Width	25'

Lot

Lot Depth	67' min
Lot Width	35' min
Parking	.5 space/unit



lot



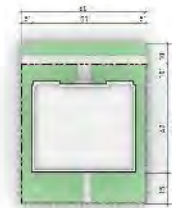
typical floor plan

SIX FLAT

Bedrooms	six 2br units
Square Footage	700-750 sf each
Building Depth	42'
Building Width	50'

Lot

Lot Depth	67' min
Lot Width	60' min
Parking	.5 space/unit



lot



typical floor plan

MULTIFAMILY

Bedrooms	1br, 2br, 3br
Square Footage	500-1000sf each
Building Depth	60'
Parking	.5 space/unit



lot



typical floor plan



S Loomis St

S Ada St

S Ada St

S Lytle St

S Racine Ave

W Arthington St

W Arthington St

W Taylor St

S Troop St

S Lytle St

C1-1

C2-1

A5-1

D-1

D-2



ROOSEVELT SQUARE MASTER PLAN – VIEW FROM THE NORTHWEST AND ARRIGO PARK (Conceptual)



ROOSEVELT SQUARE MASTER PLAN – VIEW FROM THE NORTHEAST (Conceptual)



ROOSEVELT SQUARE MASTER PLAN – VIEW FROM LYTLE STREET PARK (Conceptual)



ROOSEVELT SQUARE MASTER PLAN – VIEW FROM LYTLE AND TAYLOR STREETS (Conceptual)



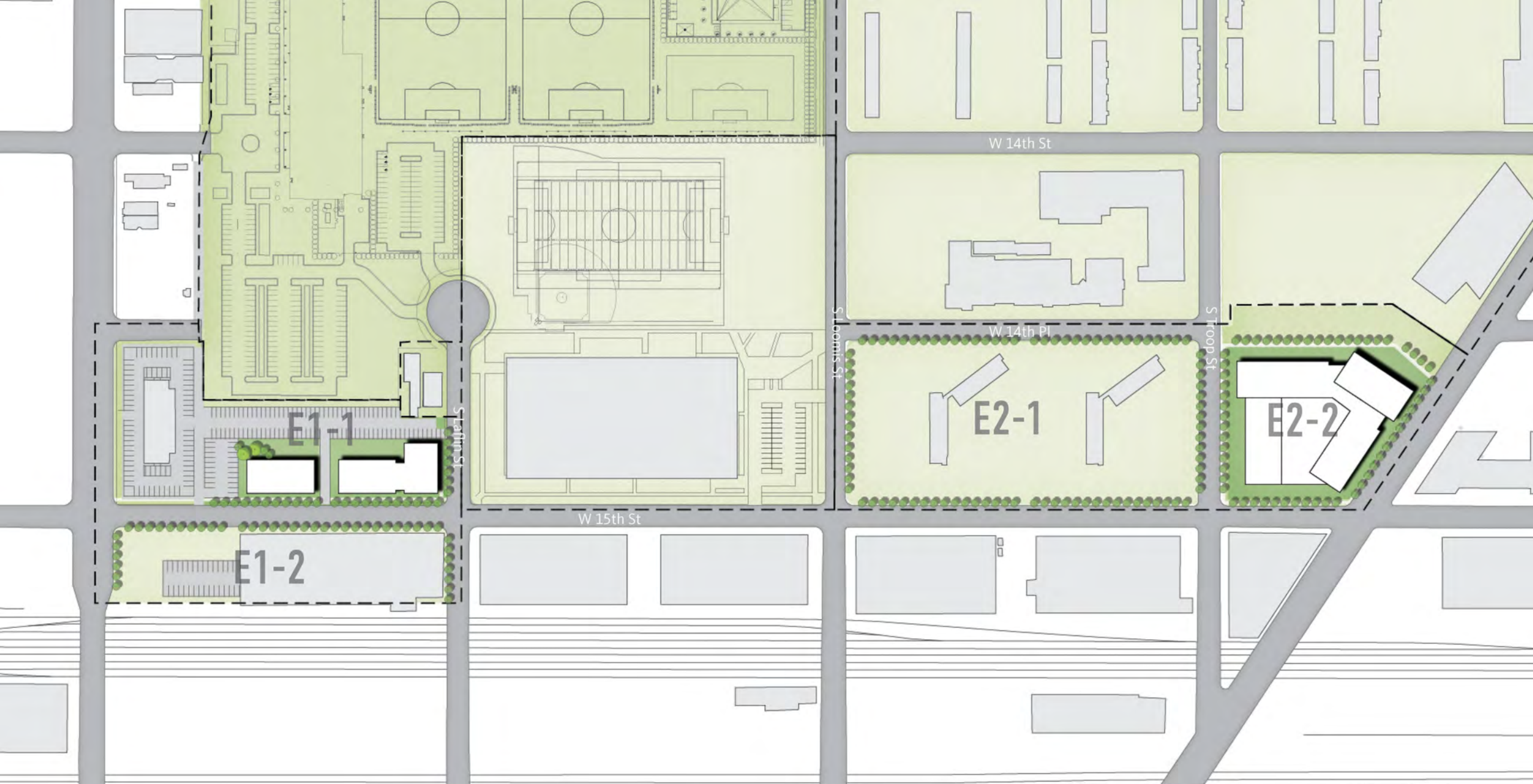
ROOSEVELT SQUARE MASTER PLAN – VIEW FROM ARTHINGTON AND RACINE STREETS (Conceptual)



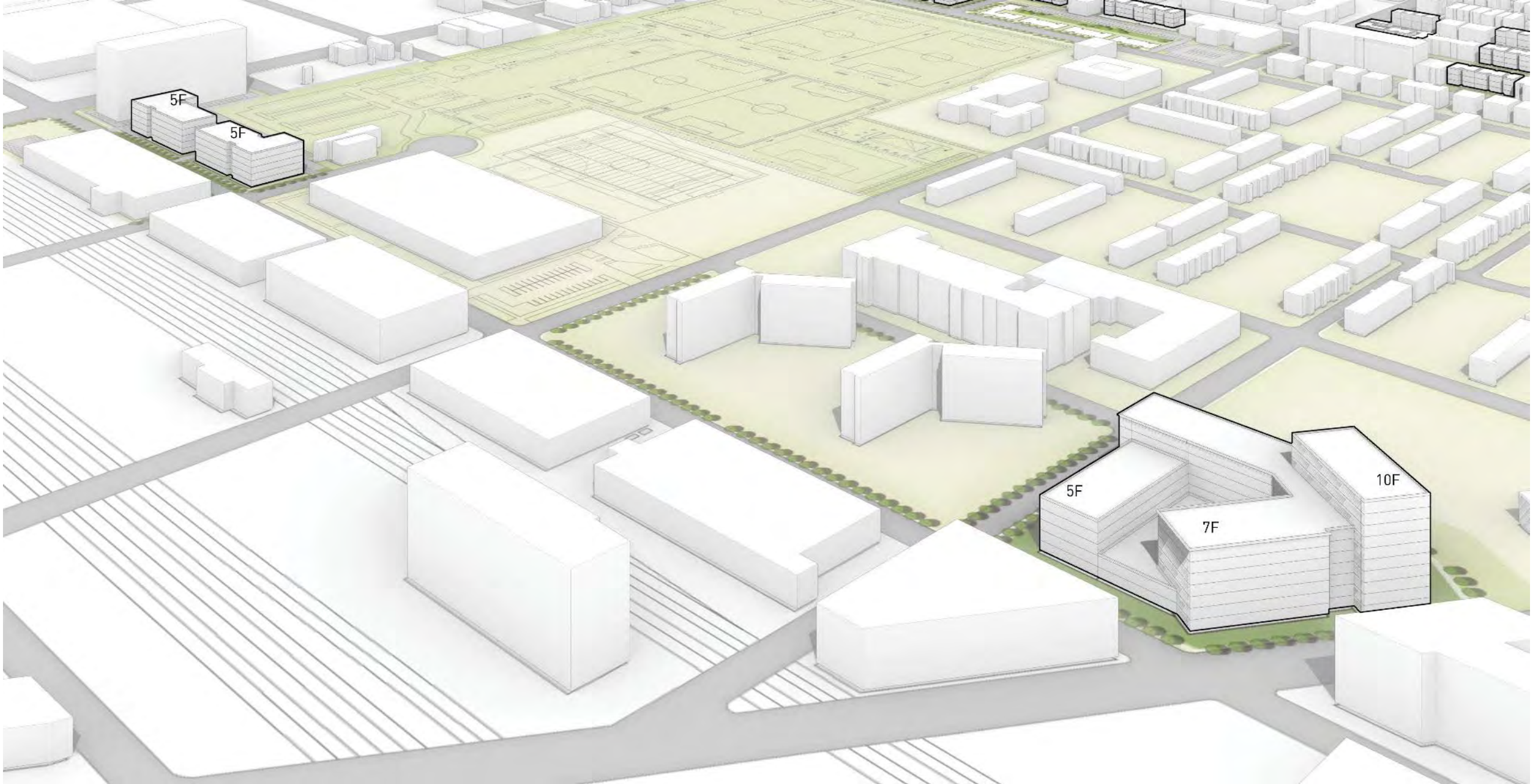
ROOSEVELT SQUARE MASTER PLAN – SOUTH OF TAYLOR STREET



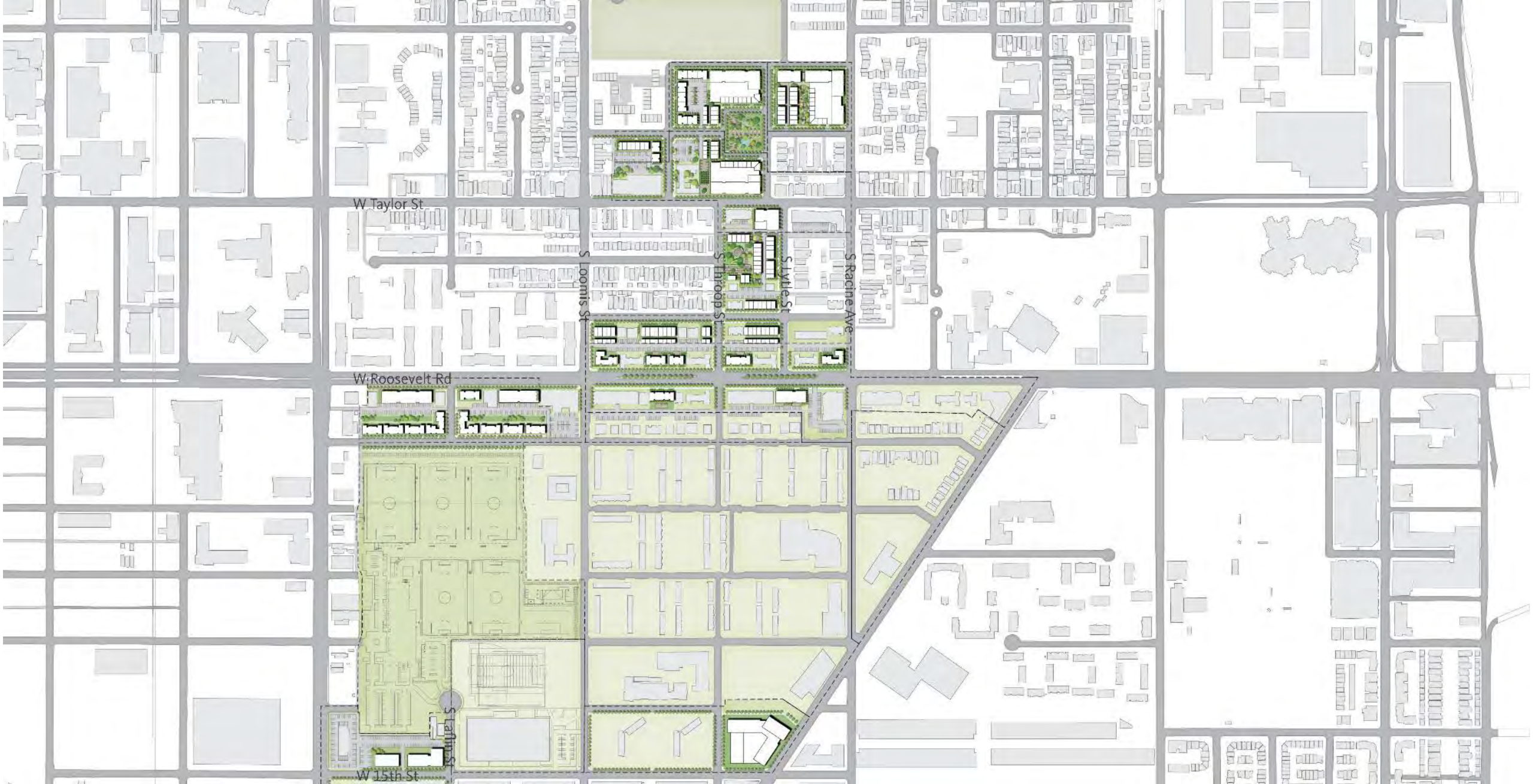
ROOSEVELT SQUARE MASTER PLAN – ROOSEVELT ROAD FROM THE NORTHWEST



ROOSEVELT SQUARE MASTER PLAN – 15TH STREET



ROOSEVELT SQUARE MASTER PLAN – 15TH STREET FROM THE SOUTHEAST



W Taylor St

W Roosevelt Rd

W 15th St

S Loomis St

S Throop St

S Lytle St

S Racine Ave

S Taylor St

ROOSEVELT SQUARE MASTER PLAN



DPD Recommendations

DPD Recommendation: Approve zoning map amendment to PD #896 to revise the boundary and subarea map and facilitate the development of a training facility for the Chicago Fire Football Club that will consist of a two-story, roughly 51,500 square foot office building with 142 vehicle parking spaces

After reviewing application materials and analyzing with respect to the factors addressed in previous slides, DPD recommends approval for the amendment for the following justifications:

- Encourages unified planning and development (17-8-0102)
- Promotes economically beneficial development patterns that are compatible with the character of existing neighborhoods. (17-8-0103)
- Promotes transit, pedestrian and bicycle use; ensures accessibility for persons with disabilities and minimizes conflicts with existing traffic patterns. (17-8-0904-A-1– A-3)
- Reinforces desirable urban features found within the surrounding area; creates seamless or gradual transitions in bulk and scale when high-intensity development occurs in or near areas with a lower-intensity character (17-8-0906)

It is the recommendation of the Department of Planning and Development that the application for a zoning map amendment for PD #896 be approved and recommended for passage to the City Council Committee on Zoning, Landmarks and Building Standards.